



Oak Park

# Application for Public Hearing VARIANCE

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if Applicable): \_\_\_\_\_

Address/Location of Property in Question: 802 Home Avenue, Oak Park IL 60304

Property Identification Number(s)(PIN): 16-18-130-001-0000

Name of Property Owner(s): David and Lauren Hyde

Address of Property Owner(s): 802 Home Avenue, Oak Park IL 60304

E-Mail of Property Owner(s): davidfhyde@gmail.com; lchhyde27@gmail.com 630.772.1229

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) \_\_\_\_\_

Name of Applicant(s) (if different than Property Owner): \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Applicant's Contact Information: Phone \_\_\_\_\_ E-Mail \_\_\_\_\_

Other: \_\_\_\_\_

Property Interest of Applicant:  Owner  Legal Representative  Contract Purchaser  Other

(If Other - Describe): \_\_\_\_\_

Property Type:  1 or 2 Family Residential  Multiple-Family  Commercial  Mixed-Use  Hospital  Institutional

Zoning District:  R-1  R-2  R-3(50)  R-3(35)  R-4  R-5  R-6  R-7

DT (1 - 2 - 3)  GC  HS  MS  NA  NC  RR

H  OS  I

Describe Variance Proposal: We are requesting a variance of the front/side setback orientation for our home to allow for a proposed addition, the requested variance would interpret the front/side setback orientation such that Jackson Avenue side would be the side of the home.

Size of Parcel (from Plat of Survey): \_\_\_\_\_ Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	_____	_____
To the South:	_____	_____
To the East:	_____	_____
To the West:	_____	_____

Is the property in question currently in violation of the Zoning Ordinance? \_\_\_\_Yes  No  
If Yes, how? \_\_\_\_\_

Is the property in question currently subject to any zoning relief? \_\_\_\_Yes  No  
If Yes, how? \_\_\_\_\_  
If Yes, please provide relevant Ordinance No.'s \_\_\_\_\_

Is the subject property located within any Historic District? \_\_\_\_ Yes  No

If Yes:  Frank Lloyd Wright  Ridgeland/Oak Park  Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: \_\_\_\_\_ Section: \_\_\_\_\_  
Article: \_\_\_\_\_ Section: \_\_\_\_\_  
Article: \_\_\_\_\_ Section: \_\_\_\_\_

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

See attached.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

DAVID HYDE  
(Printed Name) Applicant

[Signature]  
(Signature) Applicant

12/18/23  
Date

Lauren Hyde  
(Printed Name) Owner

[Signature]  
(Signature) Owner

12/18/23  
Date

**Owner's Signature must be notarized**

SUBSCRIBED AND SWORN TO BEFORE ME THIS  
18th DAY OF December

[Signature]  
(Notary Public)



# PROPOSED ROOM ADDITION 802 S HOME OAK PARK, IL

## GENERAL CONDITIONS

THE STANDARD FORM OF THE GENERAL CONDITIONS, I.A. FORM A-201, LATEST EDITION, SHALL BE CONSIDERED BY ALL CONTRACTORS AS FORMING PART OF THEIR CONTRACT WITH THE OWNER. ALL CONTRACTORS ARE REQUIRED TO MAKE THEMSELVES FAMILIAR WITH THE I.A. GENERAL CONDITIONS, AS ALL WORK WILL BE CONDUCTED IN ACCORDANCE WITH CONDITIONS THEREIN CONTAINED.

IT IS THE INTENT OF THESE DRAWINGS TO HAVE ALL WORK DONE AND COMPLETED IN A GOOD AND WORKMANLIKE MANNER. ALL WORK SHALL BE FURNISHED AND INSTALLED IN EVERY DETAIL, READY FOR SATISFACTORY OPERATION, AND ALL REQUIRED APPARATUS AND MATERIAL SHALL BE FURNISHED EVEN THOUGH NOT SPECIFICALLY MENTIONED HEREIN. ALL WORK SHALL BE INSTALLED USING STANDARD CONSTRUCTION PRACTICES.

NO EXTRAS SHALL BE AUTHORIZED UNLESS THEY ARE APPROVED IN WRITING BY OWNER. ALL CONTRACTORS SHALL CARRY WORKMENS COMPENSATION AND LIABILITY INSURANCE IN AMOUNTS REQUESTED BY OWNER OR CITY IN WHICH WORK IS PERFORMED. GENERAL CONTRACTORS AND ALL SUB-CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT AND HIS AGENTS, OWNERS, AGAINST LOSS, DAMAGES, LIABILITY OR ANY EXPENSE ARISING IN ANY MANNER FROM THE WRONGFUL OR NEGLIGENCE OF THE CONTRACTOR OR SUB-CONTRACTORS AND INDEPENDENT CONTRACTORS AND THEIR RESPECTIVE EMPLOYEES; INCLUDED SHALL BE THE ILLINOIS LATEST SCAFFOLDING ACT. ALSO THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE FOLLOWING: 1. QUALITY OF WORKMANSHIP PERFORMED ON THE JOB. 2. SELECTION, QUALITY OF MATERIALS SELECTED NOR USED ON THE JOB. 3. ANY ON-SITE INSPECTIONS OF WORK OR PROGRESS OF WORK DATES, WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE DRAWINGS TO AVOID MISTAKES, THE ARCHITECT CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST VERIFY ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME. CONTRACTORS LIABILITY INSURANCE SHALL ALSO INCLUDE A "HOLD HARMLESS CLAUSE TO INDEMNIFY THE ARCHITECT AND OWNER AGAINST ANY AND ALL CLAIMS THAT MAY ARISE DURING THE LIFE OF THIS CONTRACT.

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN CONSTRUCTION TOOLS AND MATERIALS. SALES TAX SHALL BE INCLUDED IN ALL BIDS. THE GENERAL CONTRACTOR, AT THE DIRECTION OF THE OWNER, SHALL OBTAIN AND PAY ALL PERMITS AND FEES. HE/SHE SHALL KEEP AREAS CLEAN AT ALL TIMES AND REMOVE DEBRIS FROM THE PREMISES ON A DAILY BASIS. ALL WORK SHALL BE GUARANTEED IN WRITING FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

ALL CONTRACTORS AND SUB CONTRACTORS WORKING ON THIS CONTRACT SHALL STRICTLY ADHERE TO OSHA SUBPART M SECTIONS 1426.500, 1426.5001, 1426.502 AND 1426.503

THE AGREEMENT BETWEEN THE ARCHITECT AND ANY OTHER PARTY DOES NOT INCLUDE OBSERVATION, INSPECTION OR SUPERVISION. THE ARCHITECT CANNOT ACCEPT RESPONSIBILITY FOR UNSUPERVISED CONSTRUCTION. IT IS THE EXPRESS INTENT OF THE PARTIES HERETO THAT THE ARCHITECT IS EXCULPATED FROM ANY LIABILITY WHATSOEVER OCCASIONED BY THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR INADVERTENT ERRORS OR OMISSIONS.

ALL CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES, AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY. EACH AS REPRESENTATIVES OF THEIR EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE WITHIN GOOD SAFETY PRACTICES AND MEET ALL CONCERNED REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS OR DAMAGE, IF UNSATISFIED, THE CONTRACTOR SHALL INDICATE WHAT SO EVER ACTIONS OR DEVICES NECESSARY TO RENDER SAFETY CONDITIONS FOR LIFE AND PROPERTY AS ARE RELATED TO THEIR ACTIVITY. IF THE WORK OF OTHER PARTIES OUTSIDE OF THEIR ORGANIZATION IS UPON INSPECTION FOUND AT ANY TIME TO BE UNSAFE, THEY SHALL STOP WORK IMMEDIATELY AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE SATISFACTION, ACCEPTANCE OF A CONTRACT SHALL INDICATE ACCEPTANCE OF THESE REQUIREMENTS.

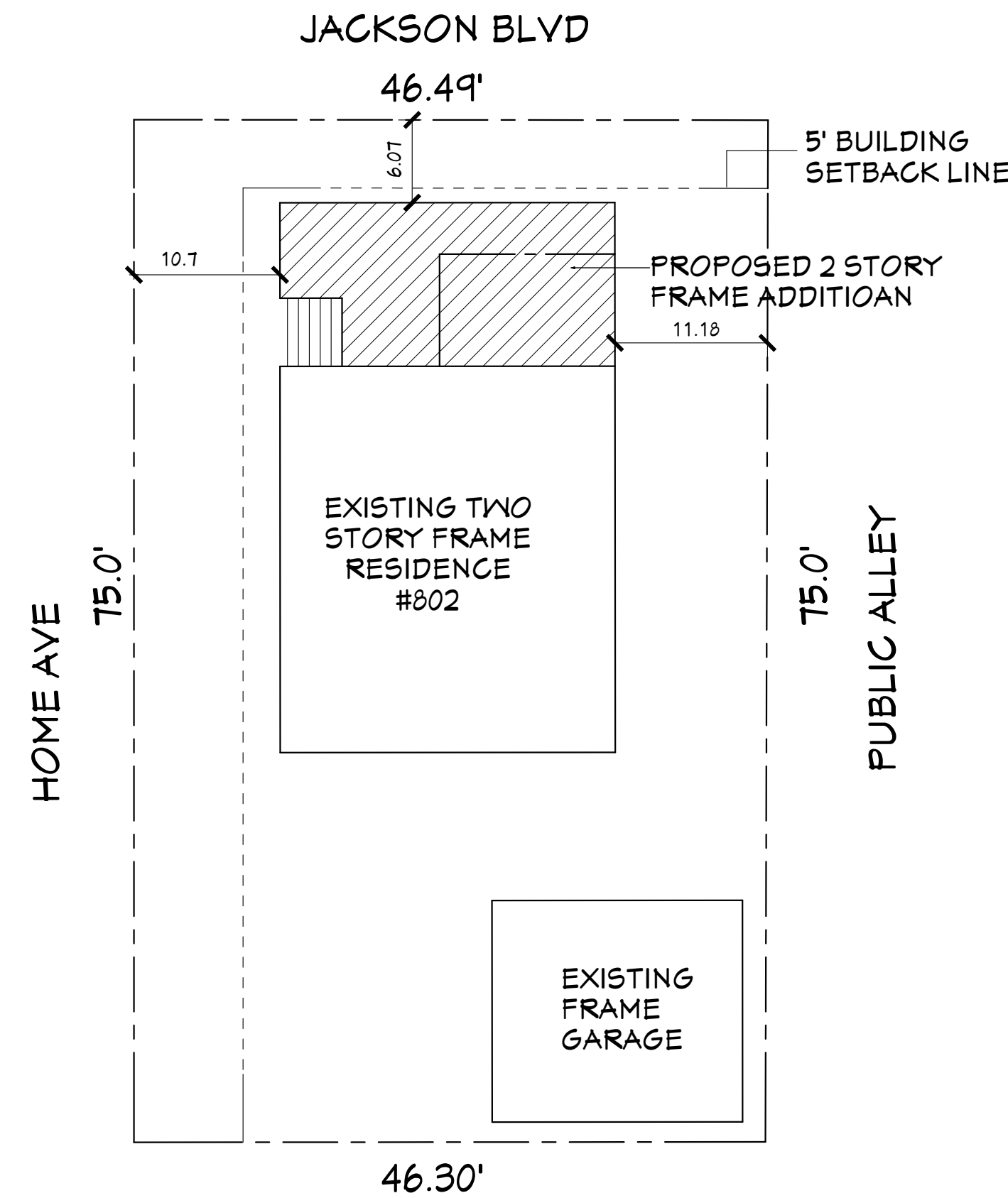
## BUILDING DESIGN CRITERIA

<b>FLOOR LOADS</b>	LL	DL
INTERIOR FLOOR LOADS	40 PSF	10 PSF
EXTERIOR DECKS	40 PSF	10 PSF
BALCONIES	100 PSF	15 PSF
<b>CEILING LOADS</b>		
LIMITED ATTIC STORAGE	20 PSF	10 PSF
FULL ATTIC STORAGE	40 PSF	10 PSF
<b>ROOF LOADS</b>		
ROOF (NO CEILING SUPPORT)	30 PSF	10 PSF
ROOF CATHEDRAL CEILING	30 PSF	15 PSF
<b>WALL LOADS</b>		
FRAME w/ SIDING	8 PSF (84 PLF FOR AN 8'-0" WALL)	
FRAME w/ FACE BRICK	40 PSF (320 PLF FOR AN 8'-0" WALL)	
<b>WIND LOADS</b>		
SEISMIC CATEGORY A	115 MPH (3 SECOND GUST)	
<b>INSULATION</b>		
EXTERIOR WALLS	R-23	
CEILING	R-41	
FLOORS (OVER UNHEATED)	R-30	
CRAWL SPACE	R-30	

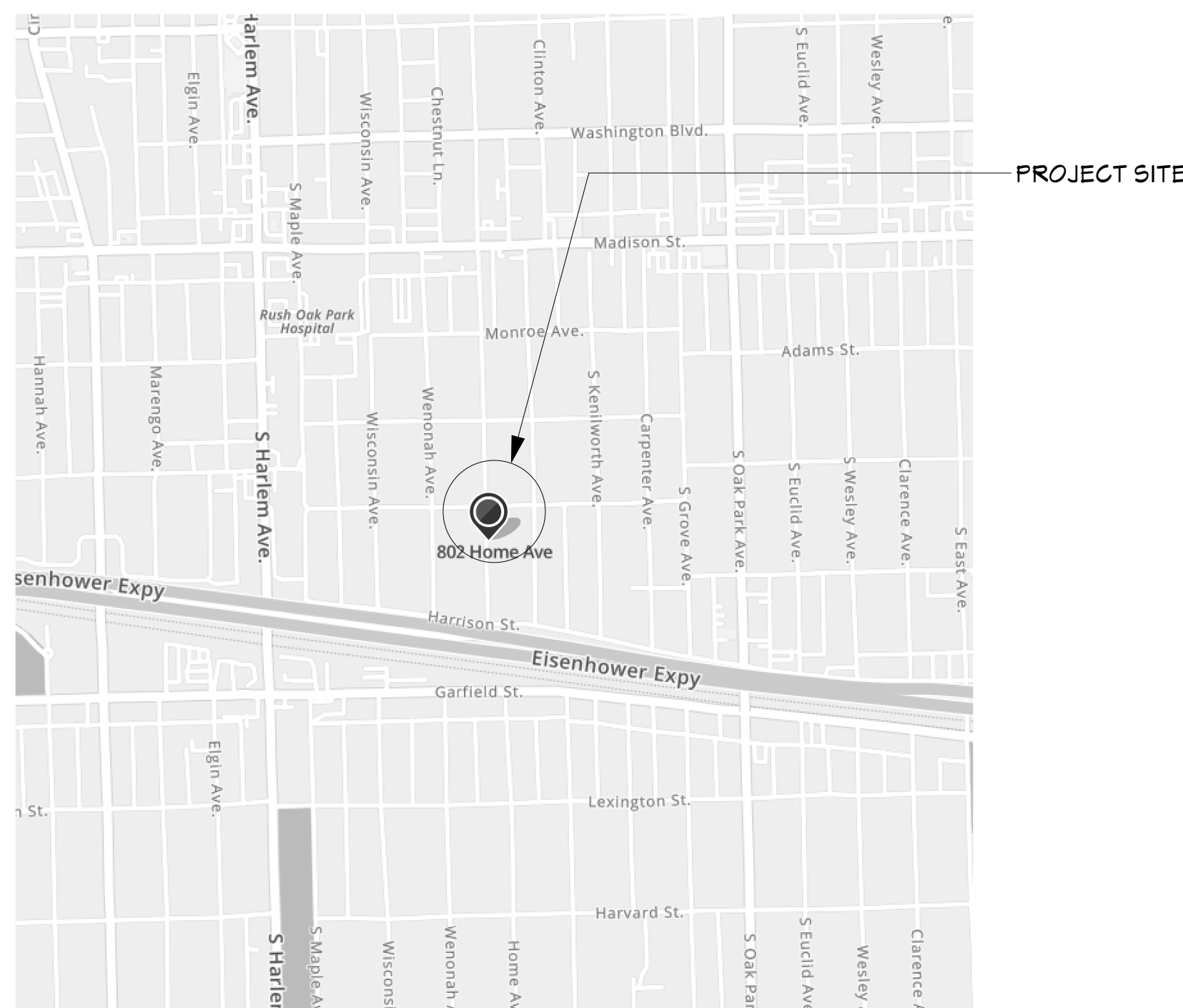
**MINIMUM STRUCTURAL VALUES**  
UNLESS SPECIFICALLY NOTED ON THE PLANS THE FOLLOWING MINIMUM VALUES SHALL APPLY TO ALL STRUCTURAL MEMBERS  
DIMENSIONAL LUMBER #2 HEM-FIR (DOMESTIC)  
F<sub>b</sub> = 850 PSI F<sub>v</sub> = 75 PSI F<sub>c</sub> = 405 PSI E = 1,300,000 PSI  
ALL DECK FRAMING LUMBER #2 SOUTHERN PINE (PRESSURE TREATED)  
ALL DECK EXPOSED FINISH LUMBER #1 SOUTHERN PINE (PRESSURE TREATED)  
TRUS/JOIST MacMILLAN LVL'S  
F<sub>b</sub> = 2600 PSI F<sub>v</sub> = 285 PSI F<sub>c</sub> = 750 PSI E = 1,900,000 PSI  
TRUS/JOIST MacMILLAN NOLMANIZED PSL'S (LEVEL 2)  
F<sub>b</sub> = 2030 PSI F<sub>v</sub> = 175 PSI F<sub>c</sub> = 385 PSI E = 1,740,000 PSI  
SOIL BEARING = 1500 PSF  
CAST IN PLACE CONCRETE  
(28 DAY COMPRESSIVE STRENGTH) = 3000 PSI

- ARRANGEMENTS, BENDING, DETAILING AND SUPPORT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI AND CRSI STANDARDS.
- WHERE REINFORCING BARS ARE SHOWN CONTINUOUS LAP BARS #4-20", #5-26", #6-33"
- REINFORCEMENT STEEL BARS - ASTM A615 GRADE 60 (60 KSI)
- MAXIMUM SIZE OF AGGREGATE IS 1 1/2"
- MAXIMUM SLUMP IS 3"

- MASONRY**
- MASONRY BRICK UNITS - S41 GRADE
  - MORTAR TO BE TYPE S - CONFORMING TO ASTM C270
  - INSTALL 20 GA GALV BRICK ANCHORS 8"OC VERT AND 32"OC HORIZ STAGGERED
  - INSTALL WEEP HOLES AT 48"OC



**PLOT PLAN**  
SCALE: 1" = 10'



**LOCATION MAP**

## APPLICABLE CODES

- V.O.P. BUILDING CODES & STANDARDS, VOLUME 2
- 2018 EDITION OF THE INTERNATIONAL BUILDING CODE
- 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE
- 2018 EDITION OF THE INTERNATIONAL EXISTING BUILDING CODE
- 2018 EDITION OF THE INTERNATIONAL MECHANICAL CODE
- 2018 EDITION OF THE INTERNATIONAL FUEL GAS CODE
- 2018 EDITION OF THE INTERNATIONAL FIRE CODE
- 2017 EDITION OF THE NATIONAL ELECTRIC CODE
- ILLINOIS PLUMBING CODE

## INDEX TO DRAWINGS

- A-1 COVER SHEET
- A-2 EXISTING FLOOR PLANS
- NOTES
- A-3 REVISED FLOOR PLANS
- A-4 ELEVATIONS
- SECTIONS
- A-5 ELECTRICAL PLAN
- PLUMBING PLAN

THESE DRAWINGS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CODES AND ORDINANCES OF THIS CITY/VILLAGE.

MARK LINDSTROM  
LIC#001-012178

PRINCIPAL ARCHITECT  
EXP: 11/30/2024



**MARK LINDSTROM**  
 ARCHITECT  
 734 DANMORRE LANE  
 BARTLETT, IL 60010  
 (630) 294-0252

PROPOSED ROOM ADDITION  
 802 S HOME  
 OAK PARK, IL

COVER SHEET

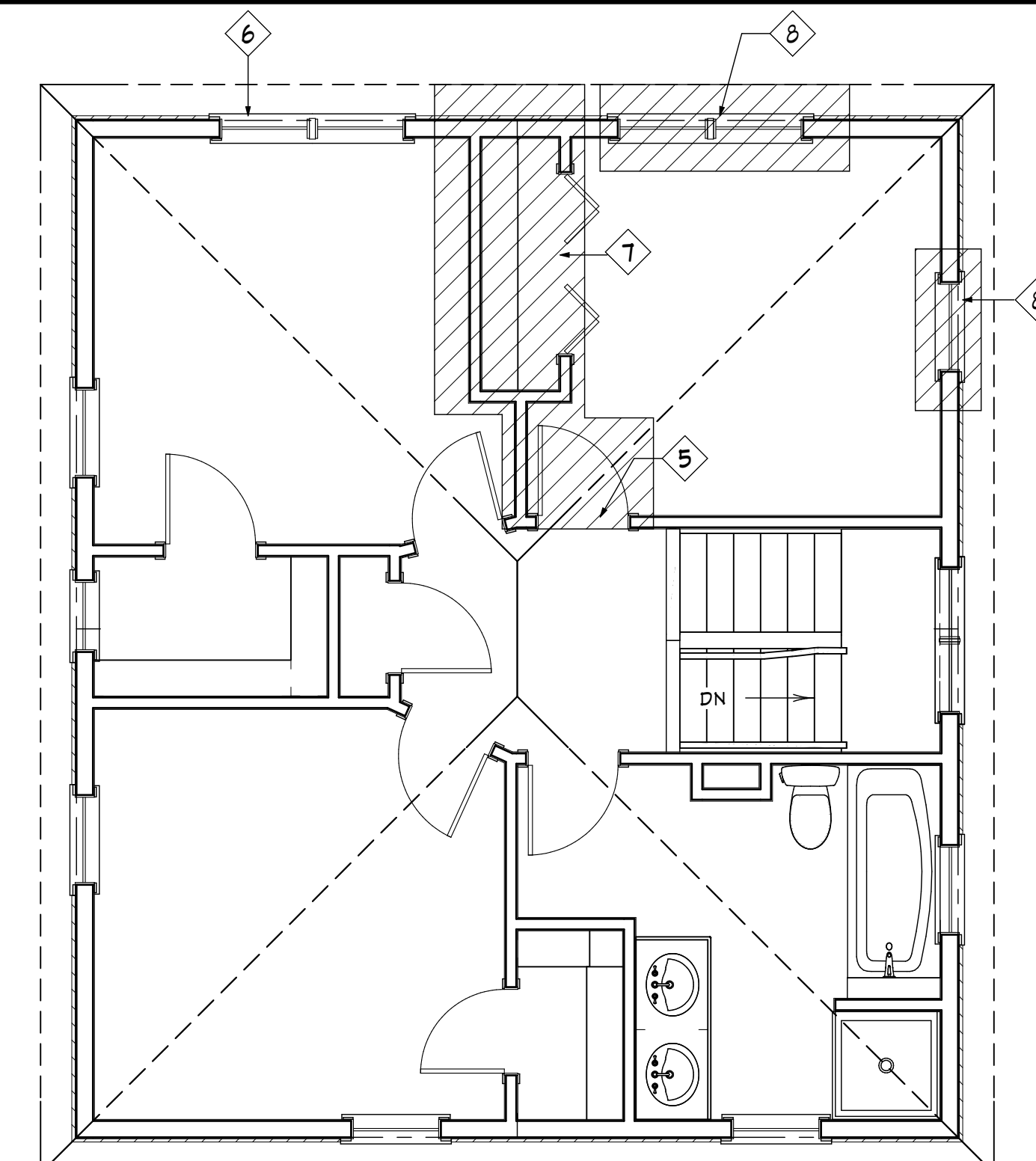
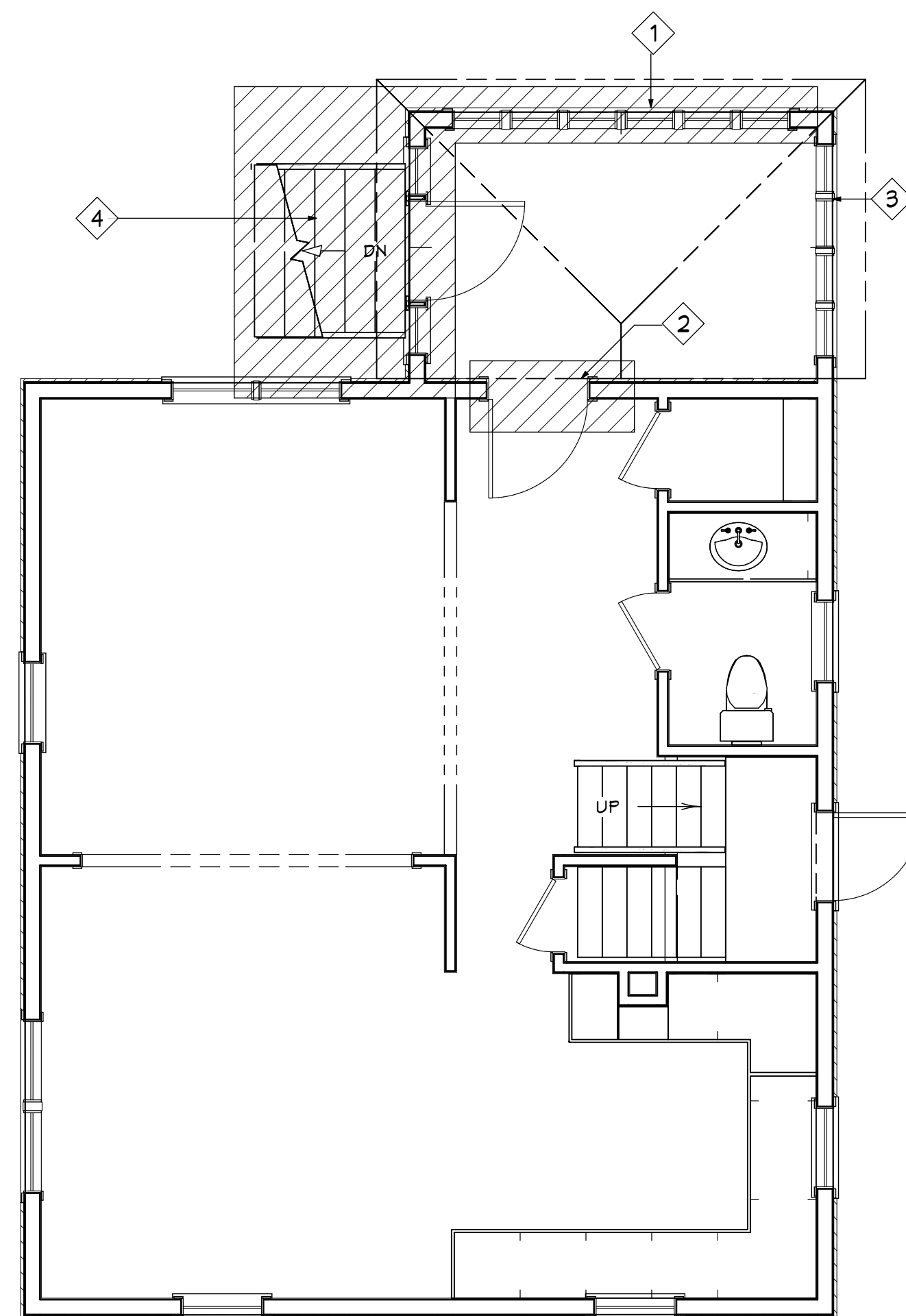
REVISIONS

SHEET

A-1

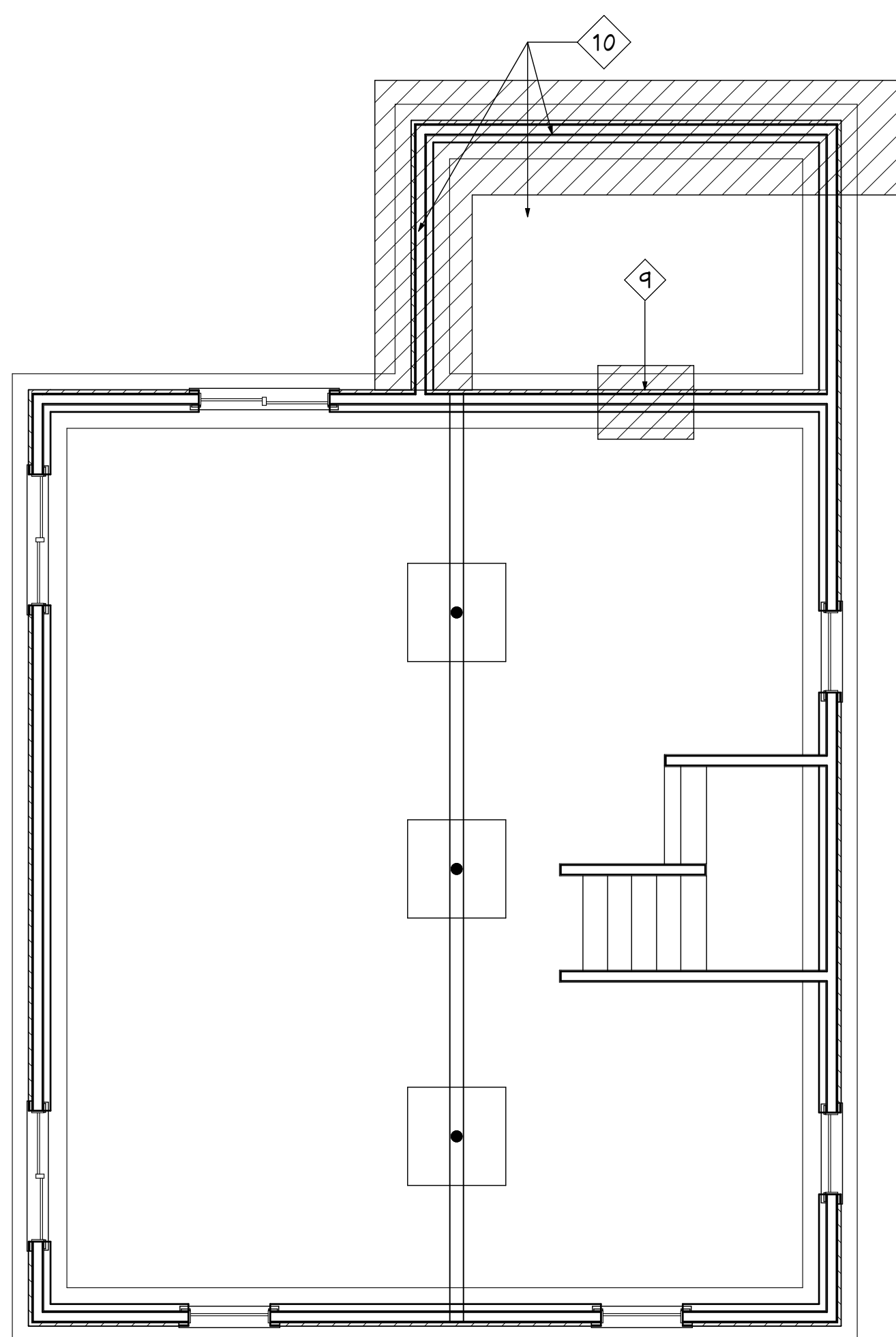
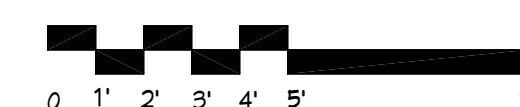


REMOVE EXISTING FRONT PORCH



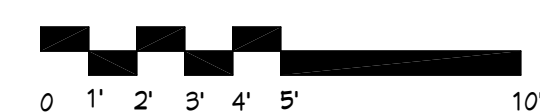
**EXISTING SECOND FLOOR FLOOR PLAN**

SCALE: 1/4" = 1'-0"



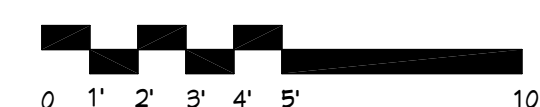
**EXISTING BASEMENT PLAN**

SCALE: 1/4" = 1'-0"



**EXISTING GROUND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

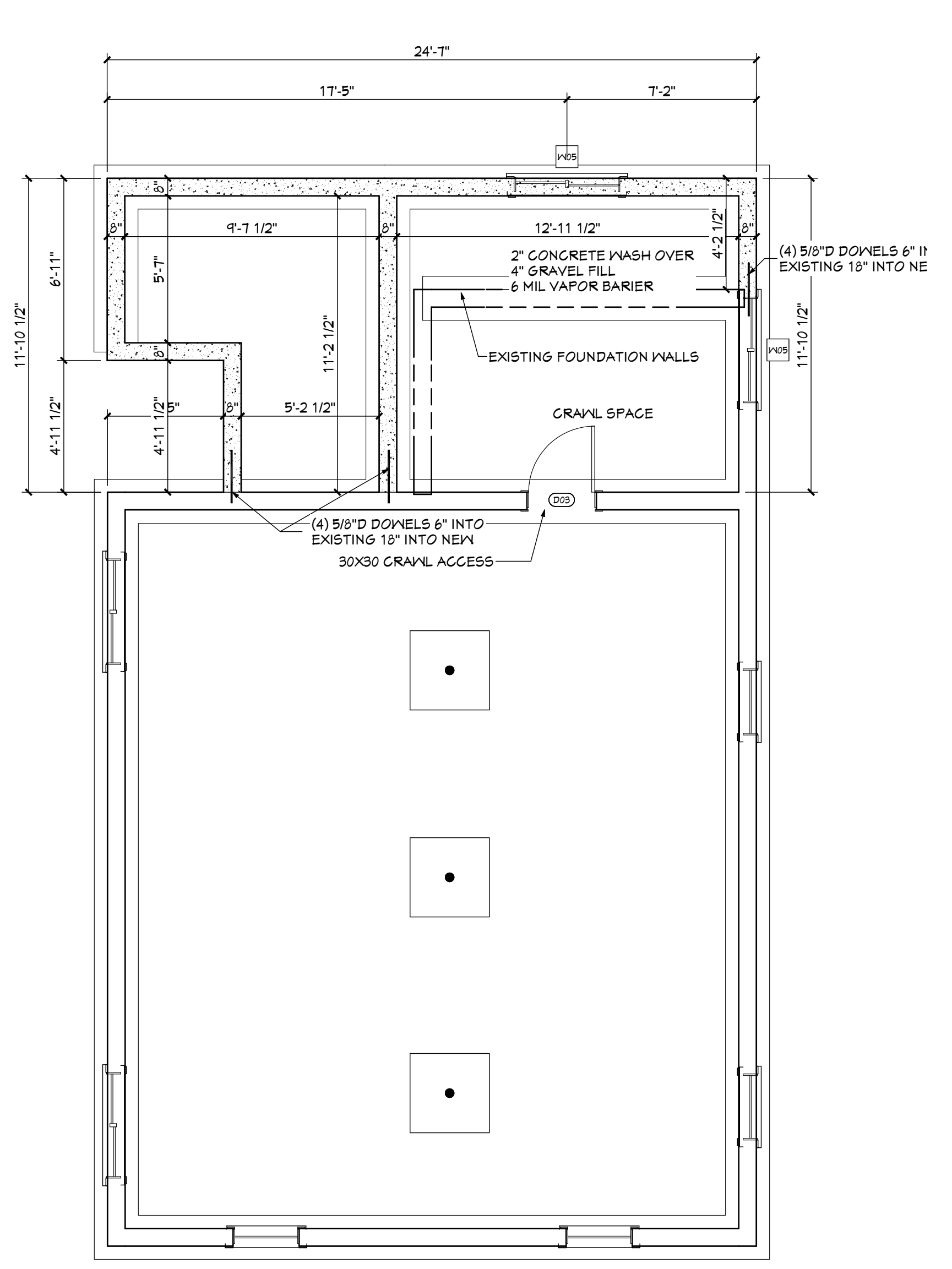


NOTE SCHEDULE	
1	REMOVE AND REPLACE EXISTING WINDOWS AND WALLS
2	REMOVE EXISTING DOOR AND PORTION OF EXISTING WALL FOR NEW ARCHED OPENING
3	REMOVE EXISTING ROOF IN ITS' ENTIRETY
4	REMOVE EXISTING STAIR, DOOR, WINDOWS AND WALL
5	REMOVE EXISTING DOOR
6	REMOVE EXISTING SIDING
7	REMOVE EXISTING WALLS
8	REMOVE EXISTING WINDOW
9	REMOVE PORTION OF EXISTING WALL TO MAKE A 30"x30" OPENING
10	REMOVE EXISTING WALLS AND FLOOR JOISTS

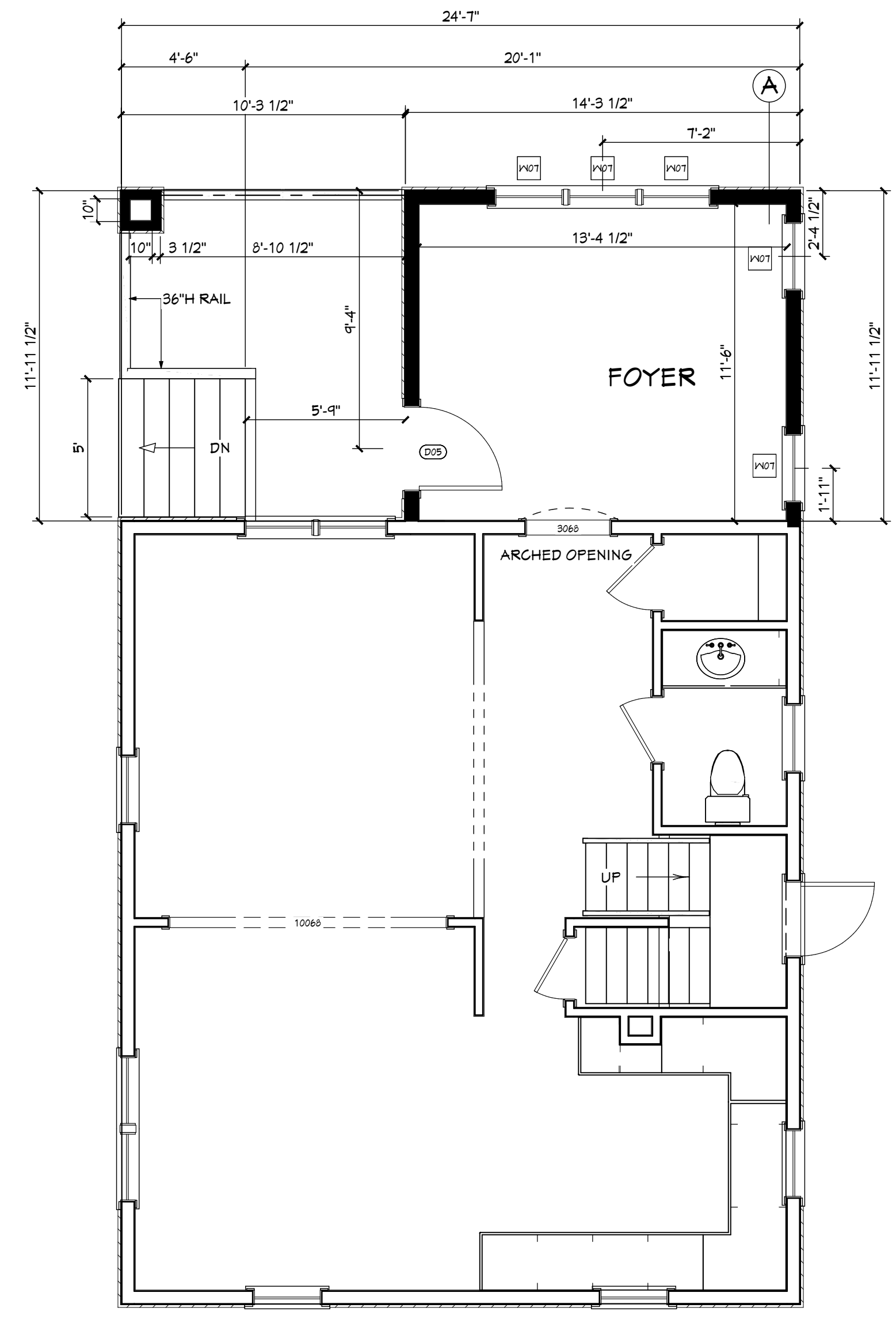
**DEMOLITION NOTES**

- VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO ARCHITECT.
- EXISTING SERVICES/SYSTEMS: MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, BEFORE PROCEEDING WITH SELECTIVE DEMOLITION PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING.
- CUT OFF PIPE OR CONDUIT IN WALLS OR PARTITIONS TO BE REMOVED. CAP, VALVE, OR PLUG AND SEAL REMAINING PORTION OF PIPE OR CONDUIT AFTER BYPASSING.
- CONDUCT SELECTIVE DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF BUILDING.
- PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN SELECTIVE DEMOLITION OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND NEW CONSTRUCTION, TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.
- PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS.
- COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT HAVE NOT BEEN REMOVED.
- COMPLY WITH REQUIREMENTS FOR TEMPORARY ENCLOSURES, DUST CONTROL, HEATING, AND COOLING.
- TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.
- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
- PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL.
- COMPLETE SELECTIVE DEMOLITION OPERATIONS ABOVE EACH FLOOR OR TIER BEFORE DISTURBING SUPPORTING MEMBERS ON THE NEXT LOWER LEVEL.
- NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. USE HAND TOOLS OR SMALL POWER TOOLS DESIGNED FOR SAWING OR RINDING, NOT HAMMERS AND CHOPPING, TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES. TEMPORARILY COVER OPENINGS TO REMAIN.
- CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES.
- REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE AT A STATE AND LOCAL PERMITTED FACILITIES.
- REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST GENERATION.
- LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.

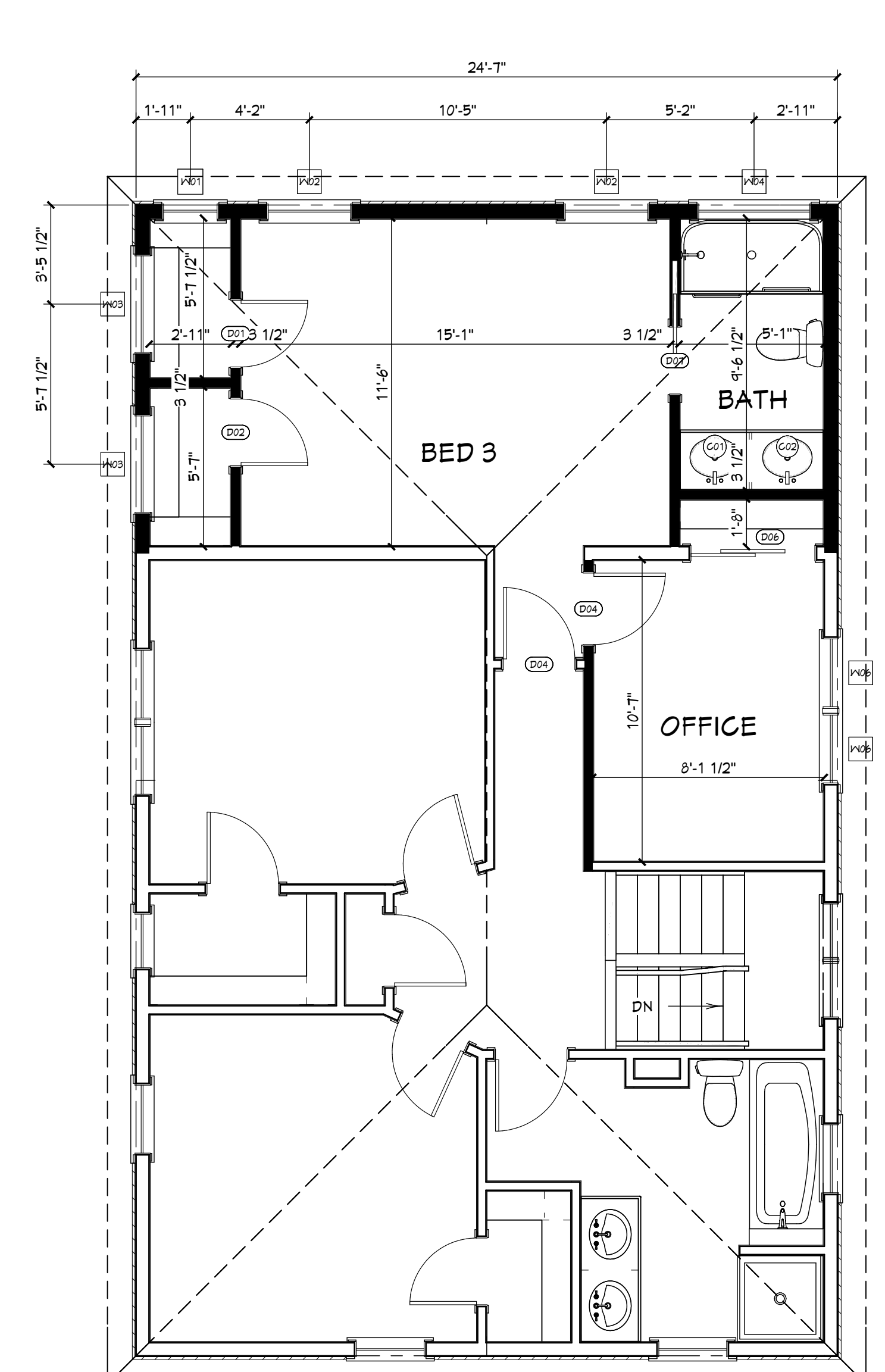




**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"  
0 1' 2' 3' 4' 5' 10'



**REVISED GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
0 1' 2' 3' 4' 5' 10'



**REVISED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
0 1' 2' 3' 4' 5' 10'

**GENERAL NOTES**

SOME CRITICAL MEASUREMENTS MUST BE VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION. IF ANY DISCREPANCIES ARE NOTED, CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. IT IS IMPORTANT THAT THE EXISTING CONDITIONS ARE VERIFIED PRIOR TO START OF WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLANS AND REPORT ANY ERRORS TO THE ARCHITECT FOR CLARIFICATION.

ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES OF COUNTY/CITY IN WHICH STRUCTURE IS ERECTED.

CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AND ADHERE TO SAFETY PRECAUTIONS DURING THE ENTIRE LIFE OF THE CONSTRUCTION CONTRACT.

ALL NOTES MARKED "TYPICAL" ON THE DRAWINGS ARE TO BE UNDERSTOOD AS "TYPICAL FOR ALL OTHER SIMILAR SITUATIONS ON THE DRAWINGS".

DO NOT ATTEMPT TO SCALE DRAWINGS. USE GIVEN DIMENSIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAINAGE OF THE CONSTRUCTION AREA AND DEMATERING OF CONSTRUCTION EXCAVATIONS.

ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL, EITHER OF WHICH MUST HAVE A MINIMUM BEARING CAPACITY OF 3000# PSF.

PROVIDE GRANULAR FILL, WHERE NECESSARY, MATERIAL COMPACTED TO A DENSITY OF 90% MAXIMUM DENSITY ACCORDING TO ASTM SPECIFICATION D 1557 OR 65% RELATIVE DENSITY ACCORDING TO ASTM SPECIFICATION D 2044.

FOOTING DRAINS AND 18" GRAVEL SURROUND SHALL BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE BASEMENT AREA AND SHALL BE INSTALLED PER BUILDING CODE AND CONNECTED TO THE SUMP PUMP.

ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF ACI 310, "BUILDING REQUIREMENTS FOR REINFORCED CONCRETE" AND ASTM C 150. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT TWENTY EIGHT DAYS.

ALL CONCRETE WORK SHALL CONFORM TO THE LATEST ADDITION OF ACI 310. GARAGE SLAB SHALL BE SCORED AT CENTER LINES OF SLAB IN BOTH DIRECTIONS.

CONCRETE SHALL NOT BE POURED ON FROZEN GROUND. PROTECT NEW CONCRETE FROM FREEZING WHEN TEMPERATURES IS EXPECTED TO GO BELOW 45 DEGREES F.

HAND CLEAN BOTTOM OF FOUNDATION AND TRENCHES.

EXTERIOR CONCRETE SHALL BE AIR ENTRAINED, BROOM FINISH ALL OUTSIDE SLABS.

INSTALL ALL ANCHOR BOLTS, REBARS, RODS AND INSERTS AS REQUIRED.

CONCRETE FOOTINGS FOR WALLS AND PIERS SHALL BE OF SIZES SHOWN ON THE DRAWINGS. ADDITIONAL LABOR/MATERIAL NECESSARY BY REASON OF DEFICIENCIES IN SOIL CONDITIONS REQUIRING EXTRA FOOTINGS, REINFORCING, PIERS, CONCRETE BLOCK OR CONCRETE WALLS NOT FORESEEABLE UNTIL AFTER EXCAVATION IS COMPLETED HEREUNDER SHALL BE PAID FOR BY THE OWNER IN ADDITION TO THE CONTRACT PRICE.

ALL WINDOW/DOORS HEADERS SHALL BE A MINIMUM OF 2-2X12'S UNLESS OTHERWISE NOTED.

JOISTS/RAFTERS SHALL BE SPRUCE-PINE-FUR UNLESS OTHERWISE INDICATED. HEADERS SHALL BE (2) 2X12 DOUG FIR NO. 1 OR EQUAL WITH 1000 PSF IN BENDING.

PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS AND PROVIDE SOLID BLOCKING UNDER ALL PARTITIONS PERPENDICULAR TO JOISTS.

PROVIDE 1X4 CROSS BRIDGING T ON CENTER MAXIMUM.

PROVIDE DOUBLE TRIMMERS MINIMUM EACH SIDE OF ALL OPENINGS.

CUTTING, NOTCHING OR DRILLING OF FRAMING ON ANY STRUCTURAL LOAD BEARING WALLS SHALL NOT DESTROY THE INTEGRITY OF THE SYSTEM, AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

USE METAL HANGERS FOR ALL FLOOR AND CEILING JOISTS THAT FRAME INTO SIDES OF HEADERS AND BEAMS OR WHEN CHANGING THE DIRECTION OF JOIST FRAMING.

COLLAR TIES SHALL BE INSTALLED AT 32" ON CENTER FOR ALL RAFTERS.

PROVIDE FIRE STOPS AS REQUIRED BY CODES. FIRE STOP ALL PLUMBING AND HVAC OPENINGS AT EACH FLOOR AT TOP AND BOTTOM PLATES. FIRE STOP ALL DROPPED CEILING AND SOFFITS.

ALL SILL PLATES TO BE DECAJ RESISTANT TREATED LUMBER AND SET ON 1" THICK FIBERGLASS SILL SEALER.

PROVIDE 1/2" WATER RESISTANT BOARD AT ALL SHOWER AND BATHTUB RECESSES WHETHER INDICATED TO DO SO OR NOT.

ROOF AND SOFFIT LOUVERS TO BE FURNISHED AND INSTALLED AS NECESSARY TO PROVIDE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL THE NECESSARY PERMITS THROUGH THE BUILDING DEPARTMENT OF WHICH THE STRUCTURE IS BEING ERECTED.

EVERY WINDOW AND SLIDING GLASS DOOR SHALL COMPLY WITH THE MINIMUM CONDENSATION RESISTANCE FACTOR OF 55 FOR WINDOWS AND 50 FOR SLIDING.

MIRRORS FOUR SQUARE FEET AND LARGER SHALL BE SECURED BY AN APPROVED ADHESIVE AND A MECHANICAL MEANS (CLIPS).

WHERE STAIRWAY HAS FOUR OR MORE RISES, THE CONTRACTOR IS RESPONSIBLE FOR SUPPORTING THE STRINGERS AT MID RUN.

PROVIDE SAFETY GLAZING AT ALL WINDOWS ADJACENT TO THE MASTER TUB BATH.

ALL EXTERIOR WALLS EXCEEDING ELEVEN FEET IN HEIGHT SHALL BE 2X6 STUDS 16" O.C.

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 500 SQUARE FEET OR 25 FEET IN ANY HORIZONTAL DIRECTION. DRAFT STOPPING SHALL BE DIVIDED IN EQUAL AREAS.

STUDS LOCATED IN EXTERIOR WALLS OR BEARING WALLS CAN BE DRILLED UP TO A 40% OF THE STUD DEPTH.

**CABINET SCHEDULE**

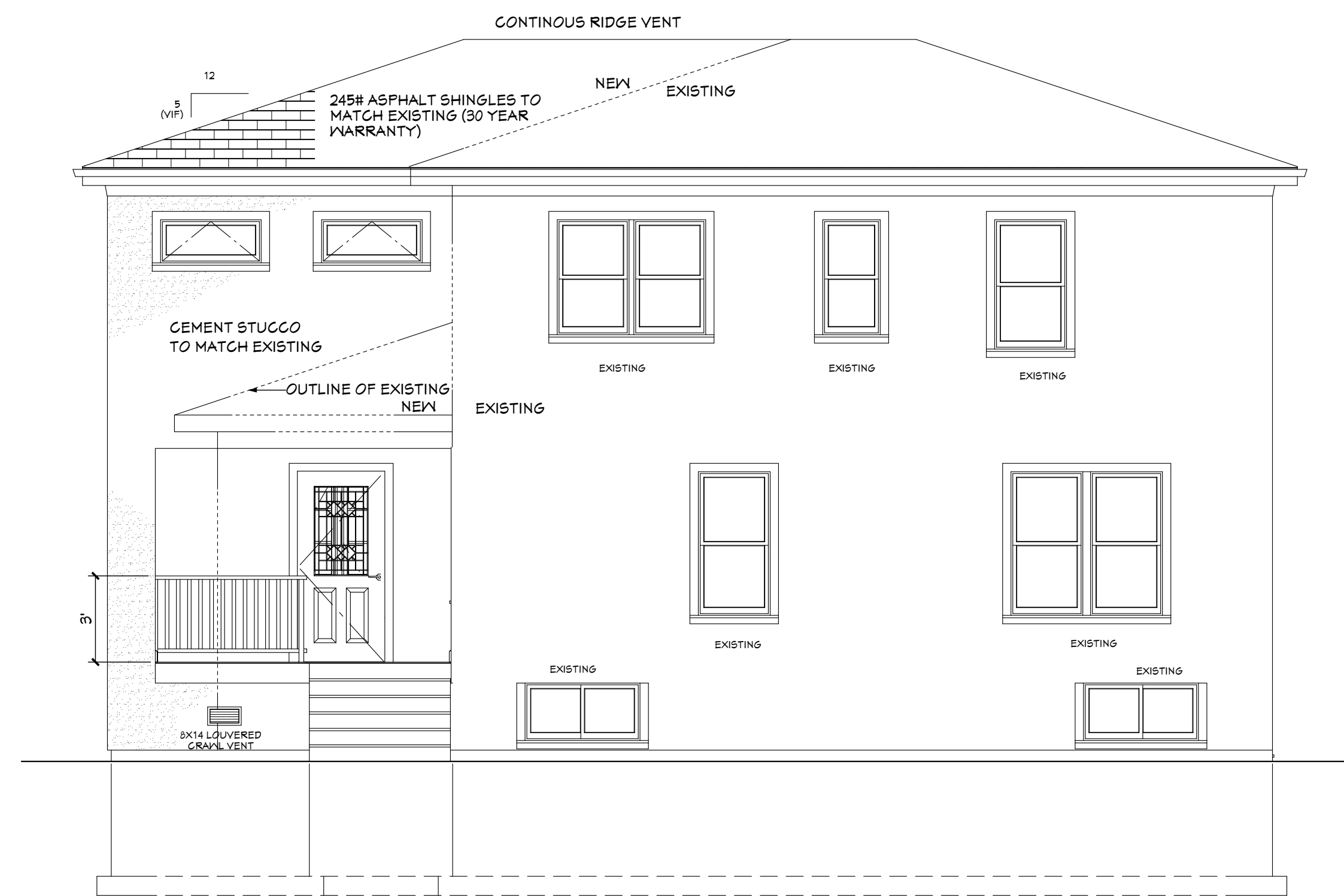
NUMBER	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION
C01	1	2	29"	24"	36"	BASE CABINET
C02	1	2	30"	24"	36"	BASE CABINET

**DOOR SCHEDULE**

NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	HEADER
D01	1	2	2468 L IN	28"	80"	30"X82 1/2"	2"X12"X33" (2)
D02	1	2	2468 R IN	28"	80"	30"X82 1/2"	2"X12"X33" (2)
D03	1	0	2626 R IN	30"	30"	32"X32 1/2"	2"X12"X35" (2)
D04	2	2	2668 L IN	30"	80"	32"X82 1/2"	2"X12"X35" (2)
D05	1	1	3068 R EX	36"	80"	38"X83"	2"X12"X41" (2)
D06	1	2	4468 R IN	52"	80"	54"X82 1/2"	2"X12"X51" (2)
D07	1	2	2468 R	28"	80"	57 1/4"X82 1/2"	2"X12"X60 1/4" (2)

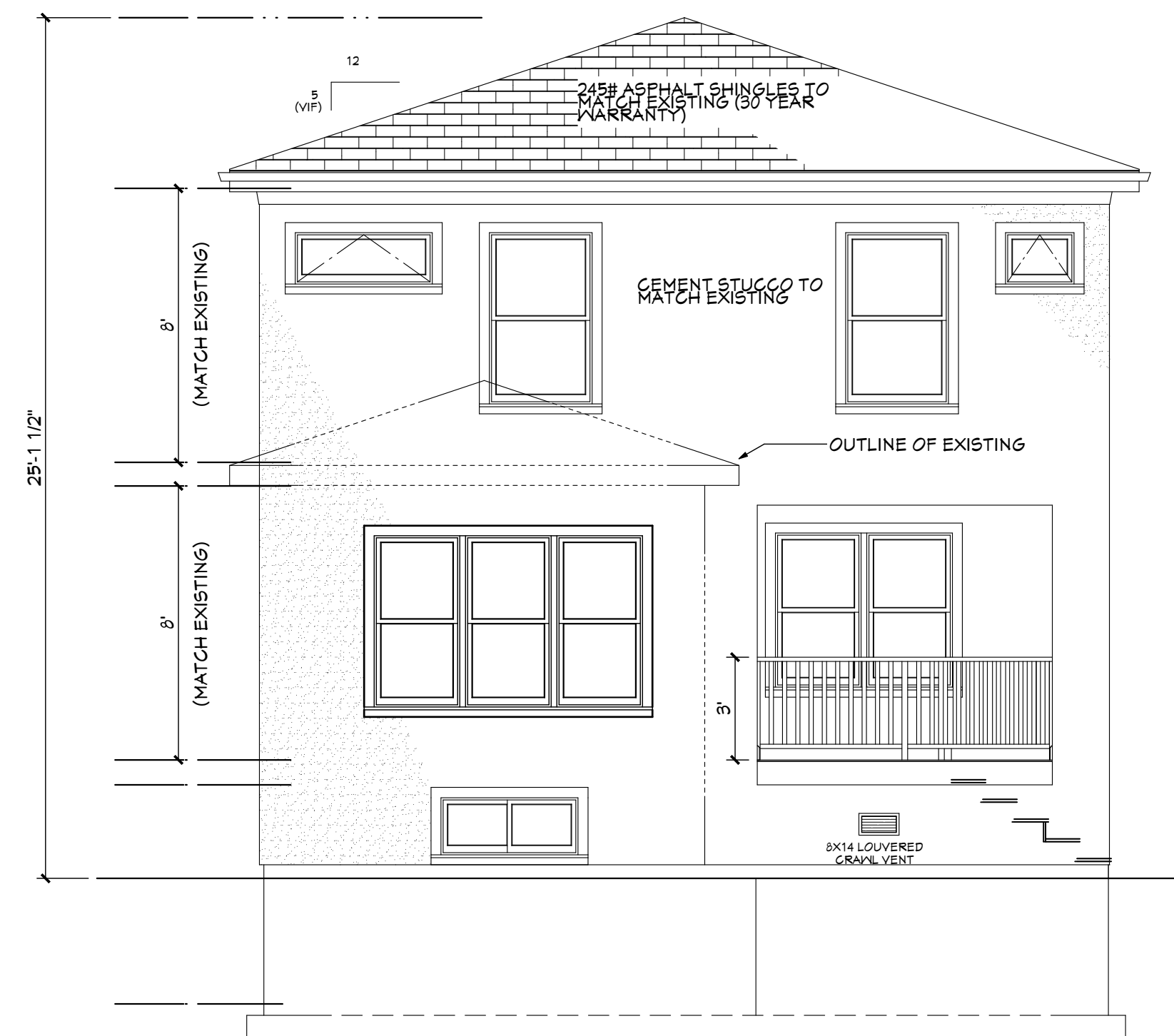
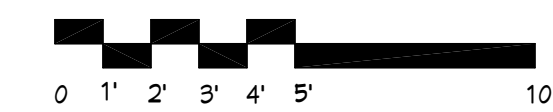
**WINDOW SCHEDULE**

NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	HEADER
W01	1	2	2016AW	24"	18"	25"X19"			2"X12"X28" (2)
W02	2	2	3050DH	36"	60"	31"X61"	YES		2"X12"X40" (2)
W03	2	2	3616AW	42"	18"	43"X19"			2"X12"X46" (2)
W04	1	2	4016AW	48"	18"	49"X19"			2"X12"X52" (2)
W05	2	0	4020LS	48"	24"	49"X25"		YES	2"X12"X49" (2)
W06	2	2	2640DH	30"	48"	31"X49"			2"X12"X34" (2)
W07	5	1	2650DH	30"	60"	31"X61"			2"X12"X34" (2)



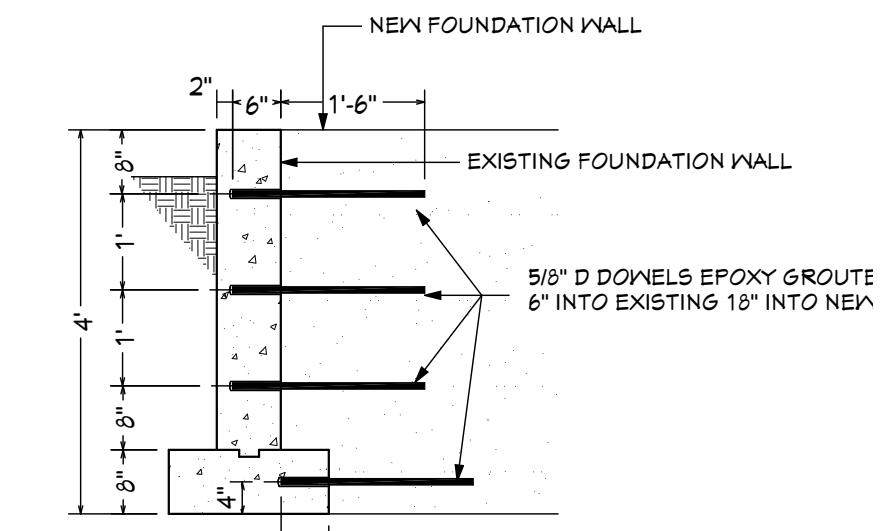
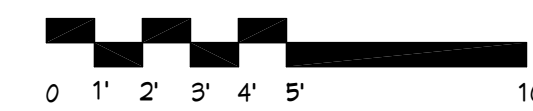
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

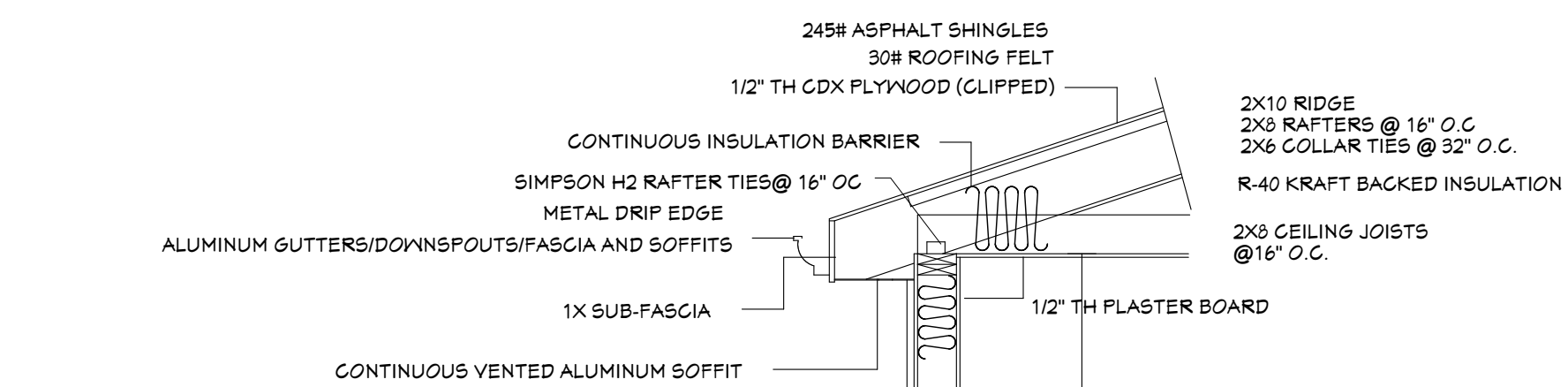
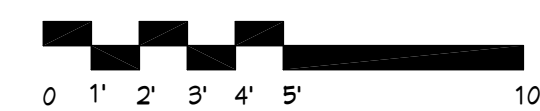


**DOWEL DETAIL**



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

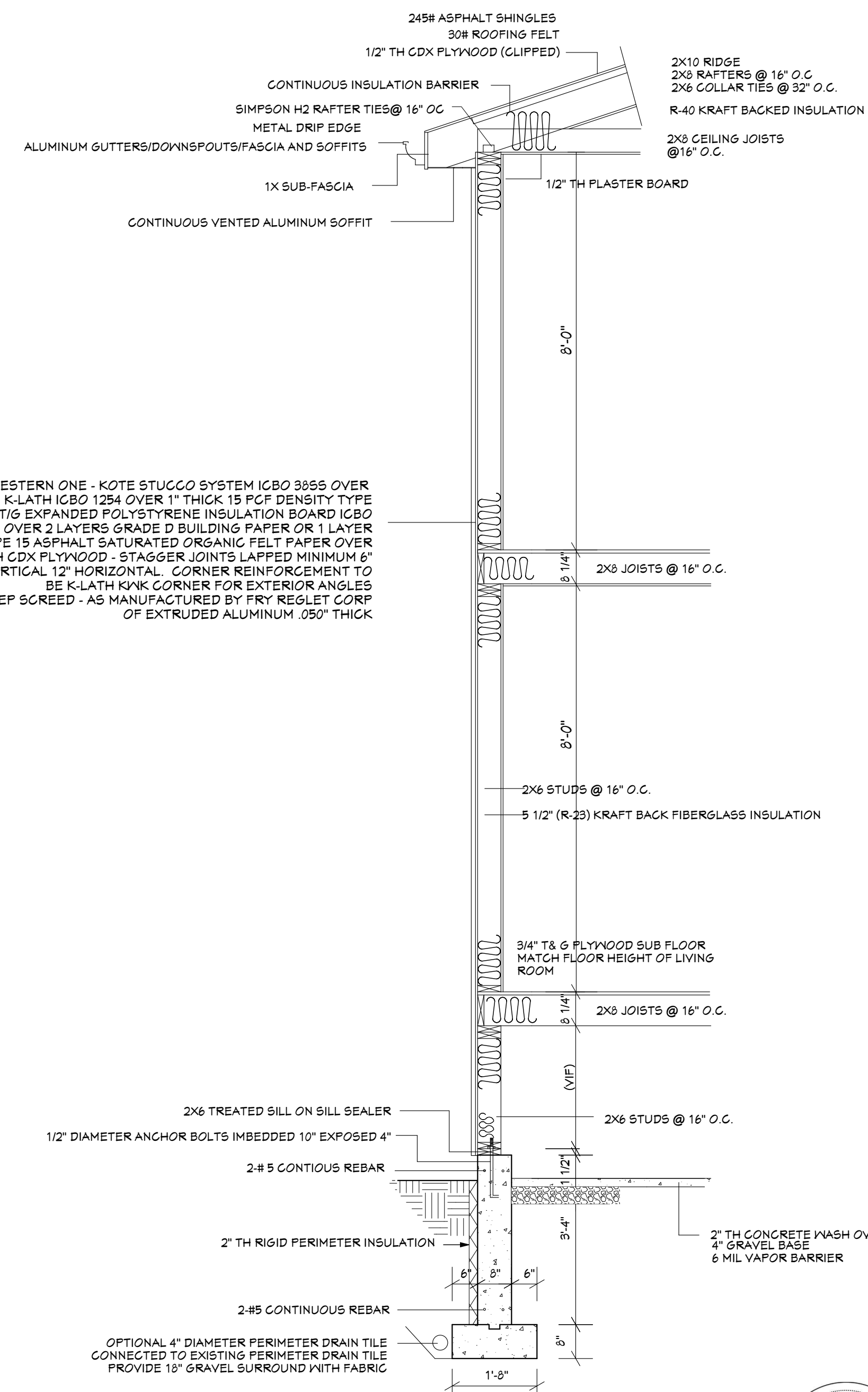


WESTERN ONE - KOTE STUCCO SYSTEM ICBO 3855 OVER K-LATH ICBO 1254 OVER 1" THICK 15 PCF DENSITY TYPE 2 1/8" EXPANDED POLYSTYRENE INSULATION BOARD ICBO 416# OVER 2 LAYERS GRADE D BUILDING PAPER OR 1 LAYER OF TYPE 15 ASPHALT SATURATED ORGANIC FELT PAPER OVER 1/2" TH CDX PLYWOOD - STAGGER JOINTS LAPPED MINIMUM 6" VERTICAL 12" HORIZONTAL CORNER REINFORCEMENT TO BE K-LATH K/K CORNER FOR EXTERIOR ANGLES WEEP SCREED - AS MANUFACTURED BY FRY REGLET CORP OF EXTRUDED ALUMINUM .050" THICK

**MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE**

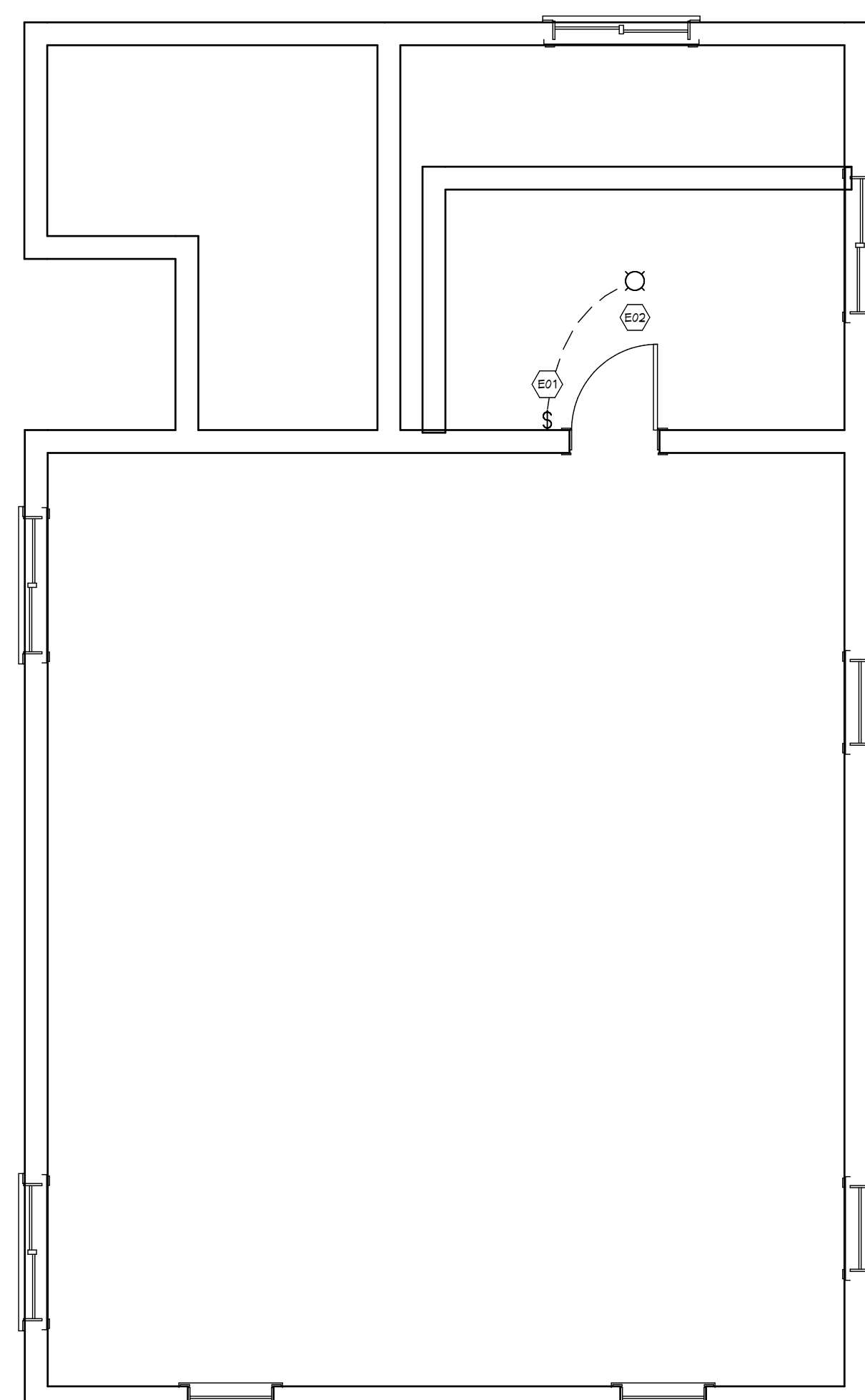
TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH (1) (F <sub>c</sub> ) WEATHERING POTENTIAL (2)		
	NEGLECTIBLE	MODERATE	SEVERE
BASEMENT WALLS AND FOUNDATIONS NOT EXPOSED TO THE WEATHER	3,000	3,000	3,000 (3)
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	2,500	2,500 (3)
BASEMENT WALLS, FOUNDATIONS WALLS, EXTERIOR WALLS, AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3,000	3000 (4)	3000 (4)
PORCHES, GARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS.	2,500	3000 (4)	3000 (4)

- (1) AT 28 DAYS P.S.I.
- (2) SEE IBCO TABLE FOR WEATHERING POTENTIAL.
- (3) CONCRETE IN THESE LOCATIONS WHICH MAY BE SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH FOOTNOTE (4).
- (4) CONCRETE SHALL BE AIR ENTRAINED, TOTAL AIR CONTENT (PERCENT BY VOLUMN OF CONCRETE) SHALL BE NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT.

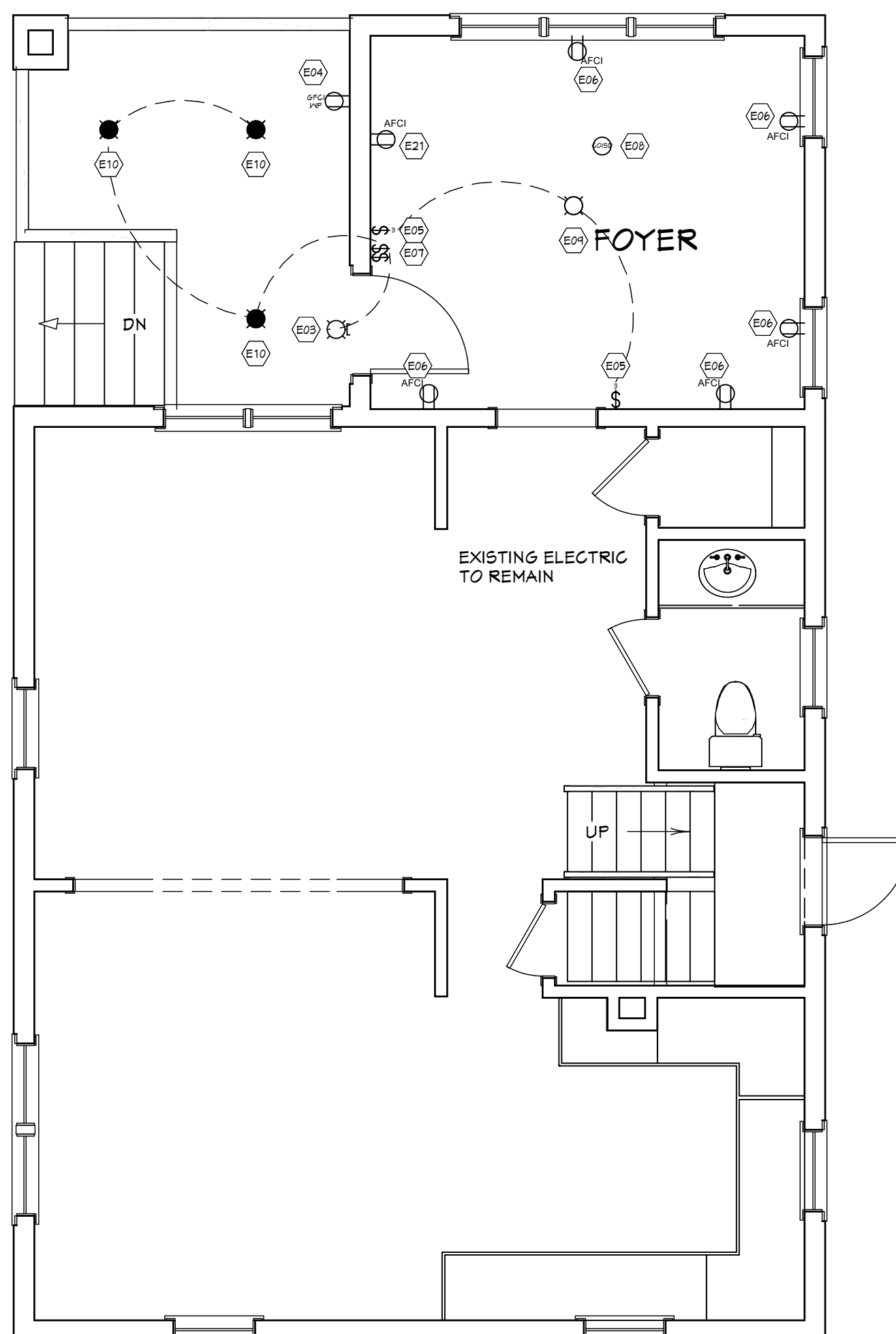


**SECTION A**

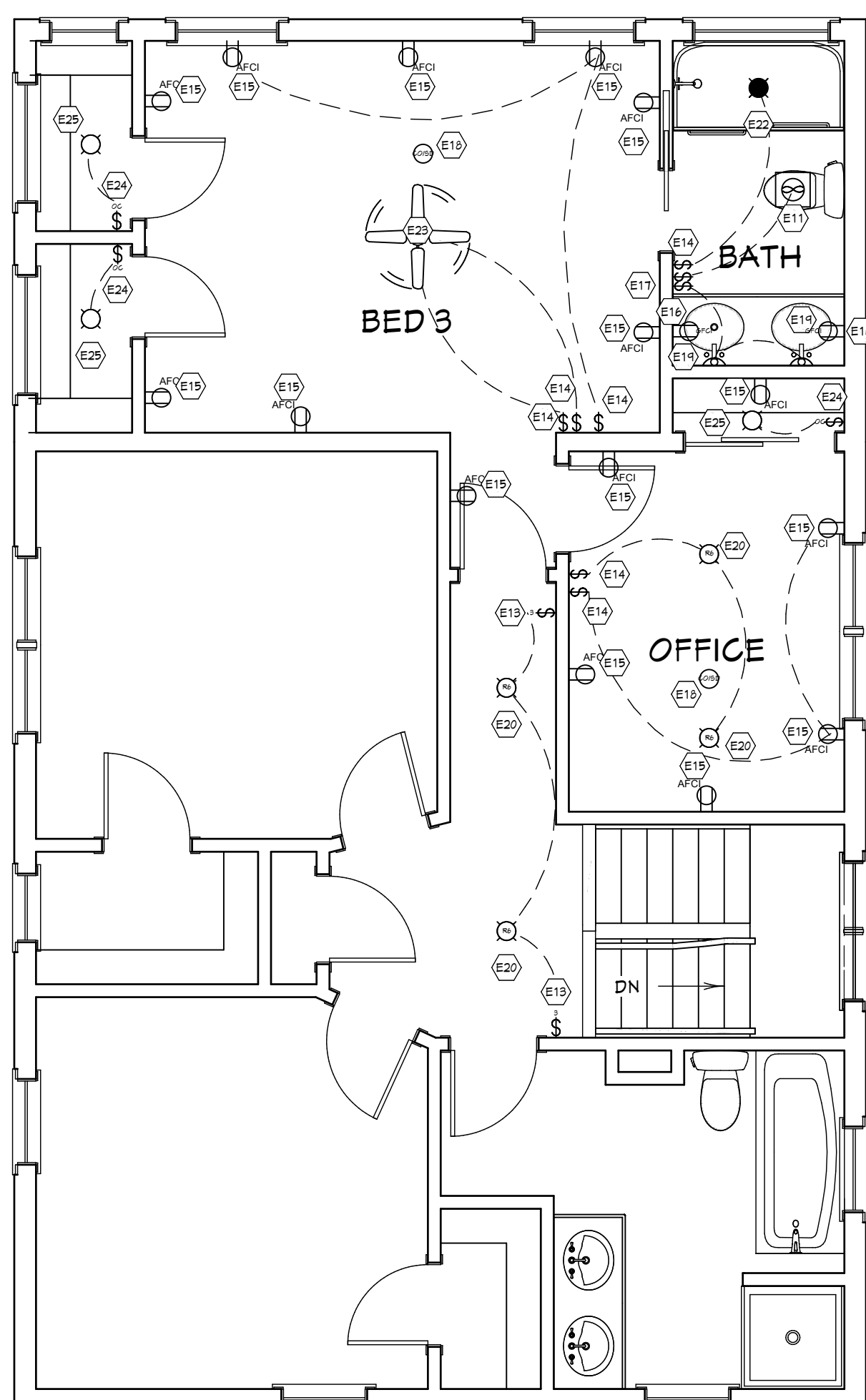




**BASEMENT ELECTRICAL PLAN**



**GROUND FLOOR ELECTRICAL PLAN**



**SECOND FLOOR ELECTRICAL PLAN**

ELECTRICAL SCHEDULE					
NUMBER	QTY	FLOOR	REF HEIGHT	ATTACHED TO	DESCRIPTION
E01	1	0	48"	WALL	SINGLE POLE SWITCH
E02	1	0	0"	CEILING	BARE BULB
E03	1	1	72"	WALL	EXTERIOR LANTERN 1
E04	1	1	11 1/2"	WALL	GFCI WEATHERPROOF RECEPTACLE
E05	2	1	48"	WALL	3-WAY SWITCH
E06	5	1	11 1/2"	WALL	AFCI
E07	1	1	48"	WALL	2 GANG SWITCH
E08	1	1	0"	CEILING	CO/SMOKE DETECTOR
E09	1	1	0"	CEILING	TRADITIONAL FLUSH DOME
E10	3	1	0"	CEILING	RECESSED VAPOR LIGHT
E11	1	2	0"	CEILING	EXHAUST FAN
E13	2	2	48"	WALL	3-WAY SWITCH
E14	6	2	48"	WALL	SINGLE POLE SWITCH
E15	15	2	11 1/2"	WALL	AFCI
E16	2	2	11 1/2"	WALL	GFCI RECEPTACLE
E17	1	2	48"	WALL	2 GANG SWITCH
E18	2	2	0"	CEILING	CO/SMOKE DETECTOR
E19	2	2	72"	WALL	GRAN TENOS
E20	4	2	0"	CEILING	RECESSED DOWN LIGHT 6
E21	1	1	22"	WALL	AFCI
E22	1	2	0"	CEILING	RECESSED VAPOR LIGHT
E23	1	2	0"	CEILING	CEILING FAN (LIGHTS)
E24	3	2	48"	WALL	OCCUPANCY SENSOR
E25	3	2	0"	CEILING	LED FLUSH MOUNT

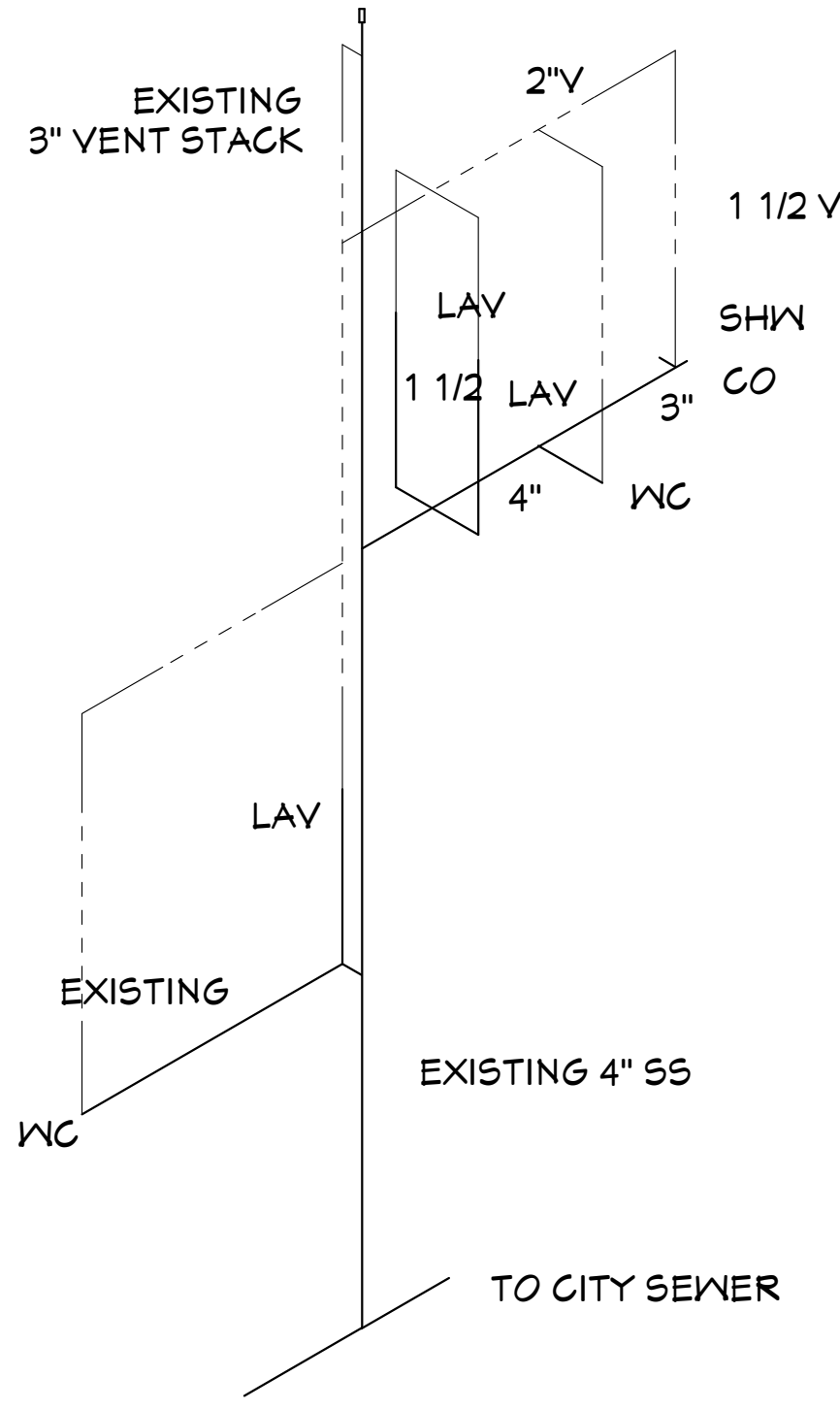
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

**ELECTRICAL NOTES**

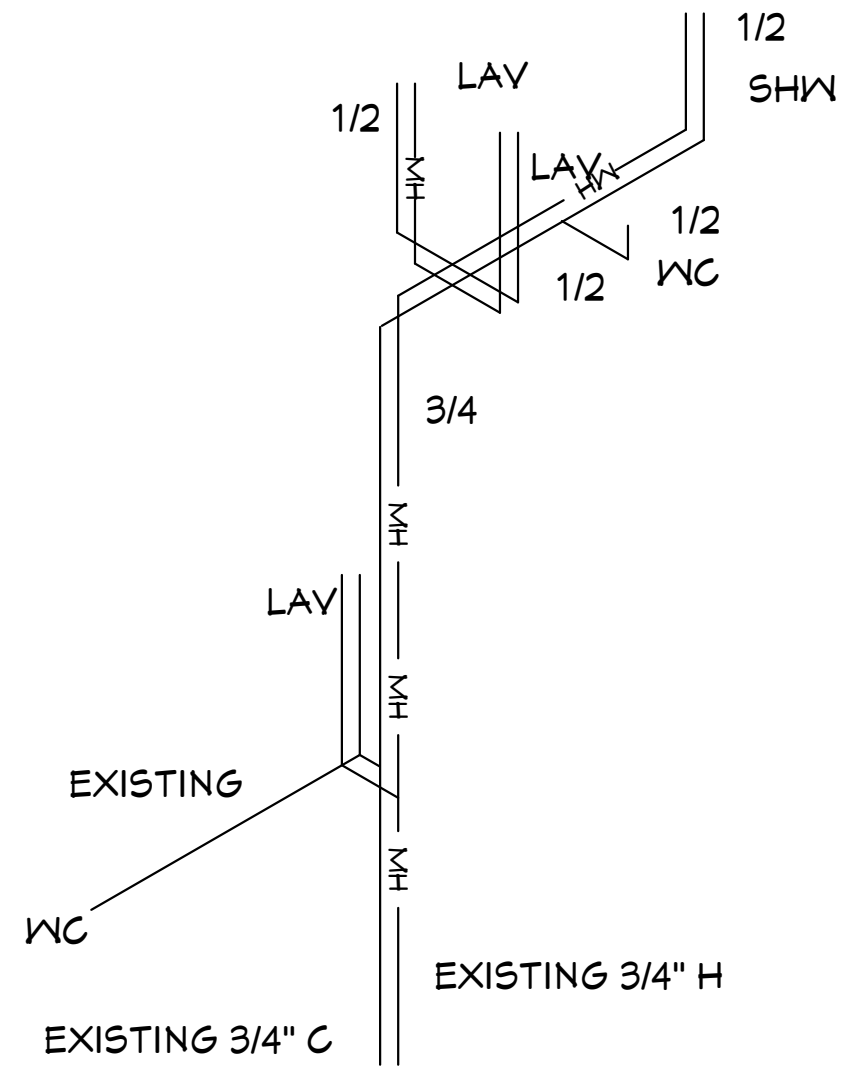
- POWER TO BE PROVIDED FROM EXISTING 200 AMP PANEL BOARD LOCATED IN BASEMENT
- ALL ELECTRICAL SOCKETS MUST BE LOCATED ON THE SIDE OF THE HOUSE CLOSEST TO THE SOURCE.
- PROVIDE RIGID METALLIC CONDUIT BETWEEN THE PANEL AND METER SOCKET.
- DUCT SEAL IS REQUIRED BETWEEN THE METER SOCKET AND PANEL.
- PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL BEDROOM OUTLETS IN DINKLING UNITS.
- THERE SHALL BE NO ELECTRICAL DEVICES WITHIN THREE FEET OF BATHTUB OR SHOWER.
- ALL CENTER CEILING BOXES IN ROOMS THAT ARE NOT LISTED IN ARTICLE 210-70(A) SHALL BE FAN RATED AND INSTALLED PER NEC 422-15
- PROVIDE SELF GROUNDING TYPE OUTLETS AND BONDING JUMPERS FOR GFCI AND GARVIN COVER OUTLETS.
- ALL WIRES MUST BE PULLED AT THE TIME OF THE ROUGH INSPECTIO
- THE BASEMENT MUST BE ROUGHED IN AND THE WIRE PULLED AT THE TIME OF THE ROUGH INSPECTION.
- ALL PANEL METER SOCKETS AND A/C DISCONNECTS SHALL COMPLY WITH WORKING CLEARANCES PER NEC 110-26.
- THERE SHALL BE A MINIMUM OF TWO KITCHEN APPLIANCE CIRCUITS THAT ARE REQUIRED TO BE FOR COUNTERTOP USE ONLY. BOTH CIRCUITS SHALL BE AVAILABLE ON ALL COUNTERTOPS IF THERE IS MORE THAN ONE OUTLET PRESENT
- ALL ISLAND AND PENINSULAR OUTLETS SHALL BE HARD PIPED INTO PLACE.
- ALL DISHWASHERS SHALL HAVE A KILL SWITCH WITHIN 6' OF UNIT.
- ALL CONDUIT SYSTEMS AND RACEWAYS AND LIKE SYSTEMS SHALL HAVE A FULL GREEN GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH 250.122
- RESIDENTIAL SMOKE DETECTORS SHALL BE WALL MOUNTED TO THE MANUFACTURERS INSTALLATION INSTRUCTIONS. IF CEILING MOUNT PIPES SHALL ENTER THE SIDES OF THE BOXES. NO OVERHEAD ENTR SMOKE DETECTORS SHALL BE LOCATED IN ALL SLEEPING ROOMS. IN SMOKE DETECTORS SHALL BE LOCATED IN ALL HALLWAYS WITHIN 15' OF ALL SLEEPING ROOMS. CARBON MONOXIDE DETECTORS SHALL B 120 VOLTS WITH BATTERY BACKUP INTERCONNECTED (BBC 9-4-U)
- THE FIRE ALARMS SHALL BE IN CONDUIT. FIRE ALARM CONDUIT OR E SHALL BE RED IN COLOR.

**PLUMBING NOTES**

- THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL A CON OPERATING SYSTEM OF PLUMBING FROM SOIL, WASTE, VENT, STC SEWER, DOMESTIC COLD WATER AND NATURAL GAS SERVICES. T CONTRACTOR SHALL EXTEND THESE SERVICES TO ALL NEW FIXTL THE DRAWINGS AND PROVIDE ALL CONNECTING PIPING, HARDWAF PIECES, SHUTOFFS, FLEXIBLE CONNECTORS, UNIONS AND TRAPS FOR FINAL CONNECTION TO ALL EQUIPMENT, WHETHER FURNISHE PLUMBING WORK OR SUPPLIED BY THE OWNER OR OTHER TRADE.
- SANITARY AND WASTE DRAINAGE PIPING SHALL BE SERVICE WIEIG IRON HUB AND SPIGOT WITH APPROVED COMPOSITION JOINTS IF F CODE. WASTE AND VENT PIPING 2 1/2" AND UNDER SHALL BE SCHI GALVANIZED STEEL PIPE AND DRAINAGE FITTINGS IF REQUIRED BY
- PVC SCHEDULE 40 WASTE AND VENT PIPING MAY BE UTILIZED IF AC LOCAL CODE OFFICIAL.
- PROVIDE 18" AIR CHAMBERS AT ALL RISERS AND 12" AIR CHAMBER VALVES.
- PROVIDE A SHUT OFF VALVE FOR ALL HOSE BIBS.
- DOMESTIC HOT WATER PIPING SHALL BE TYPE "L" COPPER WITH V SOLDER FITTINGS AND TYPE "K" SOFT DRAIN COPPER WITHOUT J UNDERGROUND PIPING. PROVIDE DIALECTRIC FITTINGS WHEN JO ABUTTING DISSIMILAR METALS.
- INSTALL AIR CHAMBERS TO PREVENT NOISE AND DAMAGE DUE TO HAMMER
- PROVIDE AND INSTALL SHUT OFF VALVES IN THE SUPPLY PIPING T FIXTURE.
- INSULATE ANY COLD WATER PIPING RUNNING ABOVE CEILING/WAL THICK FIBERGLASS INSULATION WITH NON-COMBUSTIBLE U.L. RAT BARRIER.
- INSTALL CLEAN OUTS AS REQUIRED BY APPLICABLE CODES. ALL C SHALL TERMINATE FLUSH WITH FINISH FLOOR OR WALL.
- PROVIDE VACUM BREAKERS TO PLUMBING AS REQUIRED BY CODE
- SLOPE ALL SANITARY LINES 1/2" PER FOOT.
- CLEAN OUTS: SHALL BE JAY R. SMITH MODEL NO. 4020 WITH FLASH AND LEAD FLASHING POLISH BRONZE TOP GALVANIZED BODY AND IF CAST IRON IS UTILIZED FOR PLUMBING SYSTEM.
- TRAPS: TRAPS FOR LAVATORIES AND SINKS SHALL BE ADJUSTABL PLATE CAST BRASS P-TRAP WITH CLEAN OUT, SIZE TRAP AS REQU



**SANITARY RISER DIAGRAM**



**WATER DISTRIBUTION DIAGRAM**



## Approval Standards

1. The Zoning Board of Appeals decision must make findings to support each of the following:

a. The strict application of the terms of this Ordinance will result in undue hardship unless the specific relief requested is granted.

**If we are unable to add on to the north side of our property then we will not have any options to build onto the home. This would cause undue hardship because of the need for additional office space. We currently have no available space for an office, which is difficult since David Hyde is self-employed and currently works from home on a regular basis.**

b. The particular physical surroundings, shape or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

**Given the size, situation, and orientation of the lot on which the home is located, along with the existence of the existing garage, there is no other practicable area for any expansion of the home. The lot size is smaller than the average Oak Park lot, and with the reinterpretation of the setbacks and front of the home orientation, expanding the home in any other direction than the one called for in the existing plans is not feasible from any reasonable standard.**

c. The plight of the owner is due to unique circumstances inherent to the subject property and not from the personal situation of the owner and has not been created by any person presently having a proprietary interest in the property in question.

**We purchased this home in 2016, at a time, to our understanding, that the Village's interpretation of the orientation of the home matched with the plans that have been submitted and for which we are seeking a variation. As noted above the size, location and orientation of this lot is unique. We did not create these circumstances but very much desire to stay not only in Oak Park but in our home and our neighborhood.**

2. The Zoning Board of Appeals, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate:

a. The granting of the variation will not be detrimental to the public health, safety, and welfare in the neighborhood in which the property is located.

**Our neighboring homes along Jackson are built much closer to Jackson Ave. Allowing this variance would not affect those around us and would in fact make our property more inline with the properties around us. Further, the variation will not affect existing sightlines nor would it affect traffic or pedestrian safety.**

b. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

**As stated above, our property line would then line up with the home directly to our east. It will not affect their view of the street or impact their property in any way. Nor will the requested variance,**

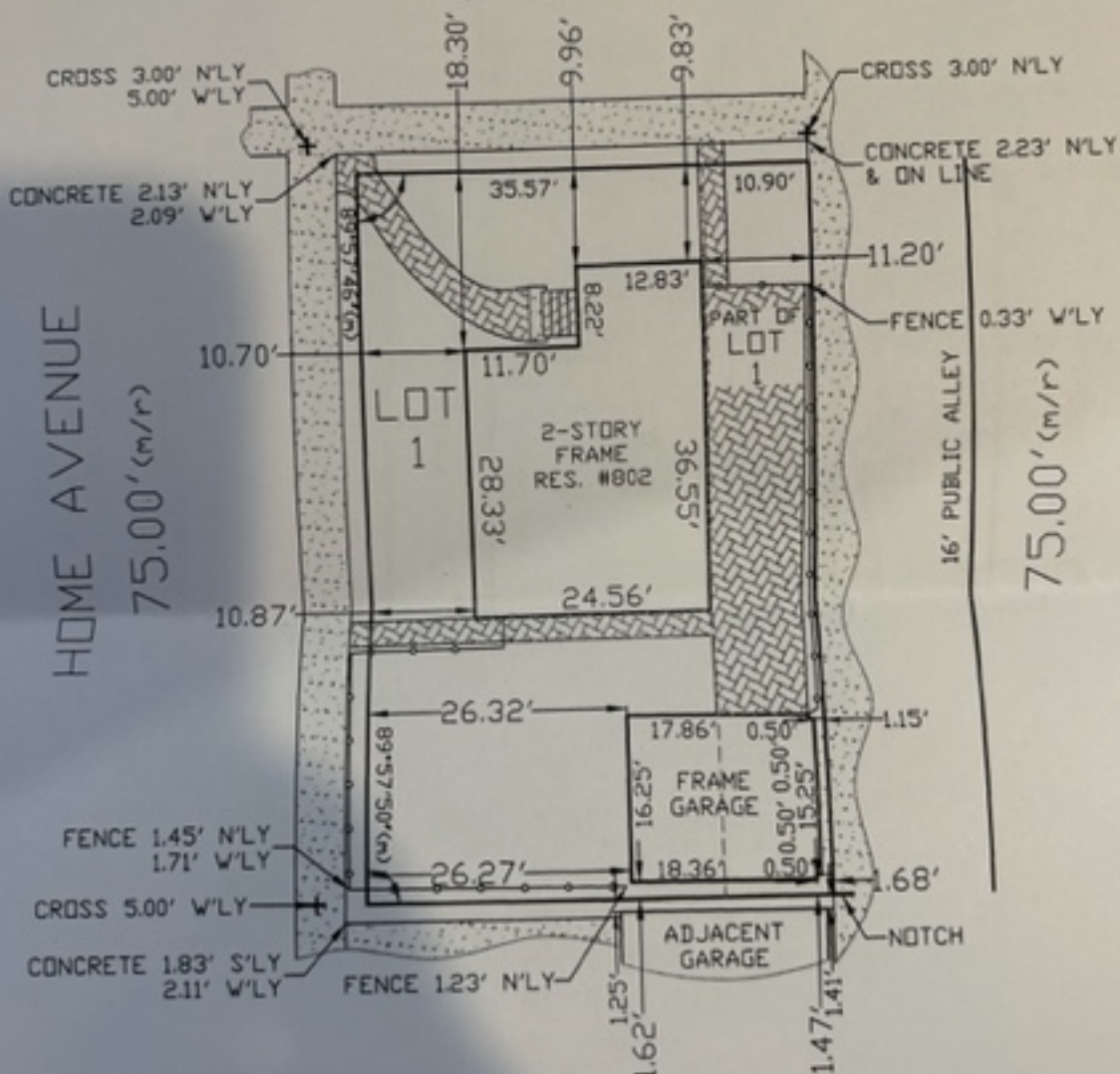
**otherwise constrain light or air flow, as the property is bounded on three sides by Home Ave, Jackson Ave, and an alley. The property to the south of this lot will not be affected by the requested variance.**

c. The proposed variation is consistent with the spirit and intent of this Ordinance and the adopted land use policies.

**The proposed variation is consistent with the spirit and intent of this Ordinance in that it maintains the integrity of the existing structure, a 1911 construction, while updating and expanding the footprint to bring the existing structure in line with the needs of 2023. Further, we are, as a family, committed to staying in Oak Park and are committed to maintaining the historic but progressive nature of our community.**

# JACKSON BOULEVARD

46.49' (m/r)



46.30' (m/46.49'r)