



# DISTRICT HOUSE

ARTFUL URBAN RESIDENCES IN THE HEART OF OAK PARK.

PLANNED DEVELOPMENT APPLICATION  
702-708 LAKE STREET  
139-147 N. EUCLID AVENUE

MAY 10, 2016  
[AS REVISED, ORIGINAL SUBMITTAL MARCH 24, 2016]



**RANQUIST** | DEVELOPMENT GROUP



**CAMPBELL COYLE**  
REAL ESTATE



# DISTRICT HOUSE

## INTRODUCTION

Ranquist Development Group and Campbell Coyle Real Estate (“Development Team” or “Developer”) are pleased to present the enclosed Planned Development application to the Village of Oak Park for the redevelopment of 708 Lake Street. The Development Team is supported by Seattle-based architect The Miller Hull Partnership, LLP (“Miller Hull”) and Northworks, a Chicago-based architecture and planning firm, which will serve as the architect-of-record (collectively “Project Team”).

This Project, intentionally responds to Envision Oak Park: A Comprehensive Plan for the Oak Park Community:

- The proposed Project delivers an architecturally significant, \$17.1 million mixed-use development called District House, blending 28 spacious residential condominiums with indoor parking and retail at its base (“Project”, located at 702-708 Lake Street and 139-147 N. Euclid Avenue).
- The Project thoughtfully contributes to Oak Park’s urban sustainability by delivering an appropriately scaled, LEED certified development designed by Miller Hull, one of the most progressive leaders in sustainable architecture, and Northworks, a Chicago-based architecture and planning firm.
- The Project contributes to Oak Park’s thriving community and the Lake Street commercial corridor. The Development Team is prepared to leverage its track record in place-making to further catalyze this gateway to the Hemingway District.
- The Miller Hull and Northworks architectural vision delivers a Project that reinforces Oak Park’s legacy as a design destination. Further, the contemporary design adds to the diversity of styles found along Lake Street, while respecting the rich architectural fabric of Oak Park.

Ranquist Development and Campbell Coyle are ideally suited to execute this redevelopment with the Village of Oak Park.

Known for groundbreaking mixed-use and residential design, Ranquist Development Group has established a successful model to address the evolving market. They have made their name in pioneering vibrant, transitional neighborhoods throughout Chicago with modern, high quality homes. Ranquist’s philosophy unites uncompromised design, a forward thinking grasp of today’s home buyers, and a fresh real estate perspective that encourages innovation, efficiency, and affordability. Many of its projects have received AIA awards and citations.

Campbell Coyle creates and enhances inspired places. They collaborate with community builders and city makers to serve as a catalyst for sustainable change. Recognized as a highly innovative market leader in sustainable projects and district-scale revitalization, Campbell Coyle has produced highly transformative real estate projects in a growing number of urban and micro-urban communities.

In collaboration with Miller Hull and Northworks, the Development Team has conducted an extensive planning analysis for District House, examining the potential uses, appropriate density and Project scale.

The Project Team has employed a highest and best use analysis, using its judgment and experience to determine the zoning and market constraints that would likely prevail. The proposed Project requires several variances as part of the enclosed Planned Development application. The Project Team looks forward to continued dialogue with local public officials, community stakeholders and the Village of Oak Park.

In sum, the Development Team believes the Project delivers an appropriately scaled development that

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will contribute to Oak Park's reputation as a design destination. The Ranquist and Campbell Coyle team is well-versed in this type of groundbreaking development, and it has the expertise and financial capacity to execute on the Project.



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## PROJECT REVIEW TEAM (PRT) RESPONSES

The Village of Oak Park staff Project Review Team (PRT) met on Monday, April 11, 2016 to review the District House application. The Village provided the following comments in written correspondence dated April 22, 2016. Responses from the Project Team are included below and updates have been incorporated into the enclosed application materials.

### SECTION 1. PETITION FOR PUBLIC HEARING WITH LEGAL DESCRIPTION AND PROOF OF OWNERSHIP

- As noted, please update with the Final Redevelopment Agreement signature/authorization page.  
*See the final Redevelopment Agreement (RDA) signature/authorization page included in Exhibit 1.2: Affidavit of Ownership (Form #1).*
- Please remove the AT&T information from the application or redact the information.  
*An updated Title Report removing references to Parcel 2 has been incorporated into Exhibit 1.3: Title Report Issued by Stewart Title Guaranty Company.*
- Remove references to Parcel 2 in Title Report.  
*An updated Title Report removing references to Parcel 2 has been incorporated into Exhibit 1.3: Title Report Issued by Stewart Title Guaranty Company.*
- Provide copies of documents affecting Parcel 1 #3-7 on page 6 of 9 of title report.  
*Copies of the documents affecting Parcel 1 have been incorporated into Exhibit 1.3: Title Report Issued by Stewart Title Guaranty Company.*
- Provide copies of documents affecting PINS ending in 8001 and 8002 (Volume 141) on page 5 of 9 of title report.  
*Copies of the documents affecting PINS ending in 8001 and 8002 (Volume 141) have been incorporated into Exhibit 1.3: Title Report Issued by Stewart Title Guaranty Company.*

### SECTION 4. PROJECT SUMMARY

- Under Zoning Relief, please remove the “Projections past the property line” section as this is not a zoning item. This should be included in the list of easements that are being contemplated with the Redevelopment Agreement.  
*Projections past the property line — ZO section 4.10.1 has been removed from Section 4. The anticipated projections, including roof projections and the public art lighting system, as proposed, may extend past the property line and are contemplated within the RDA.*
- Please confirm the plan meets the 25% open space requirement with the green roof system.  
*The plan exceeds the 25% open space requirement with the green roof system, per the following calculation:*



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*Open space requirement: 25% of 20,164 square feet of lot area = 5,041 square feet*

*Three foot setback at west property line = 573 square feet*

*5,041 - 573 = 4,468 square feet x 2 (per 3.8.1.4 OPZO<sup>1</sup>) = 8,936 square feet of green roof required < 9,246 square feet provided*

*<sup>1</sup>Per section 3.8.1.4 of the OPZO, vegetative/green roofs may meet open space requirements on a 2:1 basis.*

- Under Compensating Benefits — Please review the Zoning Ordinance to determine what fits under the compensating benefit description. With the exception of Streetscape improvements, Sustainability (Bike Facilities), Affordable Housing, and Public Art, the remaining does not qualify as compensating Benefits.

*The final list of Compensating Benefits has been updated to be consistent with the criteria outlined in the Zoning Ordinance.*

## **SECTION 7. LEGAL CURRENT YEAR PLAT OF SURVEY**

- The full sized survey is different from small sized survey, please ensure that the submitted Plat of Survey is the most up to date survey due to the recent identification of necessary corrections.

*Included in Exhibit 7.1: Legal Current Year Plat of Survey.*

## **SECTION 9. RESTRICTIONS AND COVENANTS**

- Remove references to Parcel 2 in Title Report

*An updated Schedule B removing references to Parcel 2 has been incorporated into Exhibit 9.1: Schedule B, Title Report Issued by Stewart Title Guaranty Company.*

## **SECTION 10. CONSTRUCTION SCHEDULE**

- Please modify the construction schedule to be general timelines (milestones) vs. actual dates as projects can be delayed invalidating exact timeline dates.

*Included in Exhibit 10.1: Construction Schedule.*

## **SECTION 11. CONSTRUCTION TRAFFIC SCHEDULE**

- Please indicate a wider traffic route than just abutting the development. What major arterials will be used to access Lake Street.

*See the updated version of Exhibit 11.1: Construction Traffic Schedule (Page 2), which highlights the proposed traffic route, including the use of Harlem Avenue to the west and Central Avenue to the east for access to Lake Street.*

## **SECTION 13. TRAFFIC STUDY (INCLUDING PARKING STUDY)**



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- The proposed development does add vehicle trips to the area transportation system but has limited impact compared to the projected 2021 traffic volumes. There are a few items staff would like KLOA to revise in their model to make the traffic simulation more accurate as staff thinks the proposed LOS is better than reality. These items include:

1. Existing conditions and projected models have the same number of pedestrian and bicycle trips. Pedestrian and bicycle trips need to be changed based on future expectations (background traffic growth).

*Per KLOA, the pedestrian and bicycle volumes for the projected conditions were increased by 15% during the weekday morning peak hour and 10% during the weekday evening and Saturday midday peak hours in the revised traffic study.*

2. The traffic study includes in the narrative about reduction trip generation due to proximity to transit options including bus routes. But the projected models do not include added pedestrian trips from the development in the projected models. Nor do any of the models (existing or projected) include bus blockages for the Pace bus routes on Lake Street and Oak Park Avenue.

*Per KLOA, the Synchro model and capacity analyses were revised to account for the projected increase in pedestrian and bicycle activity and Pace bus stops.*

3. The analysis includes the effects of various developments however does not include the projected increase in student enrollment at Oak Park River Forest High School (from 3,400 students in 2015/2016 to 3,900 students in 2020/2021) and its effects on vehicle and pedestrian traffic in the area.

*Per KLOA, the existing traffic volumes were increased by 1.0% per year during the weekday morning peak hour and 0.5% per year during the weekday evening and Saturday midday peak hours for five years to reflect Year 2021 traffic conditions in the revised traffic study. It should be noted that the weekday morning peak hour was increased twice as much as the weekday evening and Saturday midday peak hours to account for the projected enrollment increase at Oak Park River Forest High School*

4. The narrative lists where there is a change in speed limit but it is not reflected in the models.

*Per KLOA, the Synchro model and capacity analyses were revised to account for the correct speed limits.*

5. Parking maneuvers are missing in certain locations — they need to be added to models.

*Per KLOA, the Synchro model and capacity analyses were revised to account for the parking maneuvers.*

6. Do the models include the pedestrian crossing located on Oak Park Avenue between Lake Street and North Boulevard? This crossing does have an effect on traffic flow and level of service at the adjacent intersections.

*Per KLOA, the mid-block pedestrian crosswalks were not included in the revised Synchro model and capacity analyses as (1) pedestrian counts were not conducted at these locations and (2) their impact on the street system is only reflected in the simulation model and not the intersec-*



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*tion capacity analyses.*

7. Staff also recommends a follow up study/survey of the residents of the new development to determine the number of cars they have so this information can be used for future developments, traffic studies, and parking demand in the area

*The Development Team is receptive to a follow up survey of the residents of the Project.*

*KLOA has addressed the items noted above and they are reflected in the revised Exhibit 13.1: Traffic Study (Including Parking Study).*

## **SECTION 14. PARKING STUDY (SEE EXHIBIT 13.1)**

- Additional comments are forthcoming regarding the Parking Study.

*The Parking Study is embedded within Exhibit 13.1: Traffic Study (Including Parking Study).*

## **SECTION 15. VILLAGE SERVICES**

- Include attached letter from the Public Works Department.

*Included in Exhibit 15.4: Village of Oak Park Public Works Letter (dated April 22, 2016).*

## **SECTION 16. ENVIRONMENTAL REPORTS**

- Strike the portion of last sentence, “which also has the warranty deed recorded for the Village of Oak Park acquiring the property” on the first page.

*Section 16. Environmental Reports has been updated accordingly.*

## **SECTION 17. PERSPECTIVE DRAWINGS**

- A preliminary review memorandum is forthcoming from Floyd Anderson regarding the architectural design. It is understood that Mr. Anderson has been in discussions with your group.

*Included in Exhibit 17.2: Floyd D. Anderson Architectural Review Memorandum (dated April 27, 2016).*

- Since the proposed building contains a large span of windows along Lake Street, staff feels strongly that a provision regarding window treatments should be considered. In the past the Plan Commission, confirmed by the Village Board, has recommended such a condition of approval in the Planned Development Ordinance.

*The Project Team has incorporated mechoshade specifications into the Condominium Declaration.*

## **SECTION 20. SITE PLAN**

- Please show and label the Commonwealth Edison equipment which must be relocated on the plan.

*The Commonwealth Edison (ComEd) equipment to be relocated has been incorporated into Exhibit 20.1: Site Plan.*



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- One additional on-street parking stall can be added to Euclid Avenue at the south end abutting the development site.

*Following additional correspondence with the Village of Oak Park, a total of nine street spaces have been incorporated. This has been incorporated into Exhibit 20.1: Site Plan and is referenced elsewhere in the Planned Development application.*

- Remove the existing sewers, contours, trees, etc. from the proposed site plan in the proposed building area for clarity.

*The existing sewers, contours, trees, etc. have been removed from Exhibit 20.1: Site Plan.*

- Show proposed water service connection and proposed sewer connection.

*The proposed water service connection and proposed sewer connection have been incorporated into Exhibit 20.1: Site Plan.*

- Show tree removals.

*The proposed tree removals have been incorporated into Exhibit 20.1: Site Plan.*

- Shared handicapped stall is not allowed, revise parking layout.

*This item has been addressed by reducing the number of parking spaces to 37 within the Planned Development submittal. The matter is under review by the Village of Oak Park and will be resolved for permitting.*

- The proposed site plan will require a number of easements which need to be prepared by the applicant and included in the Redevelopment Agreement. These easements include:
  1. The building overhangs along Lake Street and Euclid Avenue;
  2. Out swinging doors along Euclid Avenue;
  3. Any at-grade ComEd equipment on the Village right-of-way which is service related;
  4. Proposed ornamental lighting shown as public art; and
  5. Inspection Manholes in the Village ROW.

*The easements have been incorporated into the final Redevelopment Agreement (RDA).*

### **SECTION 21. LANDSCAPE PLAN**

- Sheet L0.03 — Proposed sidewalk relocation necessitates the removal of all trees along Euclid. The proposed sidewalk location is within one foot of existing tree trunks on trees R1 and R2. Estimated root loss from excavation for sidewalk installation would approach 50% and constitutes a possible hazard from the structural loss associated with root pruning for sidewalk installation. R3 Honeylocust might be salvageable. We would need to discuss your plan for root protection and pruning before making a final determination. All tree removals require the approval of the Forestry Superintendent before project approval. Restitution may be required. Tree protection is required for all parkway trees that will stay for the entirety of the project. Notes and cross-sections for tree protection must be included on proposed demolition, site and engineering plans. Notes and cross-sections are available on the village website.





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*Two Honeylocust trees and one Dawn Redwood will be removed along Euclid Avenue. One Honeylocust will be preserved. Refer to Exhibit 21: Landscape Plan, Sheet L0.03 for the tree removal plan and Sheet L1.10 for the new tree layout. Three new Crimson Sentry Norway Maple trees will be planted along Euclid Avenue.*

- Sheet L1.10 — With the proposed horizontal awning projecting into Village ROW there is little space left for the proposed trees on Lake Street as shown. For two of the three proposed trees the spacing from the center of the tree pits to the edge of the awning that stretches into the public way is only five feet. The trees will require extensive maintenance and pruning to keep from impacting and interfering with awning. In those cases the proposed species is not recommended. At a minimum a columnar species should be utilized. Tree pits could also be moved closer to the curb than the three feet proposed to gain additional distance. Tree pits also need to be a minimum of four feet by eight feet with a preference of four feet by ten feet if there is not a limiting factor. The proposed street light installation directly adjacent to trees also creates a possible issue. Trees should not be placed within ten feet of proposed lighting to minimize physical and lighting conflicts.

*The three new trees along Lake Street have been changed to Slender Silhouette American Sweetgum to avoid conflicts with the building overhangs and traffic signals. Street lighting has been adjusted so that it is not within ten feet of the trees. The final layout of the decorative catenary lighting will be adjusted to avoid tree conflicts. The catenary lighting is subject to Art Commission approval and remains preliminary.*

- Sheet L1.10 — Decorative lighting needs to be a minimum of two feet behind the face of curb.

*The columns supporting the catenary lights have been relocated so that they are two feet behind the face of curb.*

- Sheet L2.00 — Revise the proposed tree grate to be consistent with current design standards for Lake Street. Contact the Village Engineer for current standard.

*Tree grates have been updated pursuant to the Oak Park standards.*

- The landscape drawing must show detail including the size, species, and spacing of selected trees for the parkway. The Forestry Superintendent must approve all species selections for the parkway. Please include appropriate cross-sections for proposed plantings.

*Refer to Exhibit 21: Landscape Plan, Sheet L1.10 for new parkway trees.*

- Consider revising the proposed approximate ten foot by ten foot area of turf at the corner of Euclid and Lake to hardscape for maintenance reasons.

*The plan has been revised per the comment. Refer to Exhibit 21: Landscape Plan, Sheet L1.10.*

- Please include the green roof materials, etc. on the landscape plan.

*Refer to Exhibit 21: Landscape Plan, Sheet L2.10 for green roof materials.*

- Please contact Rob Sproule, Forestry Superintendent at [rsroule@oak-park.us](mailto:rsroule@oak-park.us) or by telephone at 708 358 5470.



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*The Project Team has engaged with Rob Sproule and will utilize him as a resource as needed for design development.*

## **SECTION 22. DETAILED SIGN ELEVATIONS**

- Please include in the written request for Signage, the “District House” signage over the residential entry as this would need relief from the Sign Code if not added to the Planned Development application.

*This signage has been removed from the Planned Development application.*

## **SECTION 23. BUILDING ELEVATIONS**

- Please ensure the west side windows are in compliance with Building Codes.

*The west side windows comply with applicable building codes. Refer to Exhibit 23: Building Elevations, Sheet A2.02 for analysis and calculation.*

## **SECTION 24. FLOOR PLANS**

- Revise sheet A1.01 based off of Landscaping and Site Plan comments and make consistent with Site and Landscaping Plan sheets

*Exhibit 24: Floor Plans, Sheet A1.01 has been updated.*

## **SECTION 25. EXTERIOR LIGHTING PLAN**

- Please ensure the light stanchions are set at least two feet away from the face of curb line.

*The light stanchions associated with the public art proposal are set two feet away from the face of the curb line, as reflected in Exhibit 25: Exterior Lighting Plan.*

- Proposed lighting design has max lighting levels at 42.6 which will be too bright. Further design will need to be provided to ensure decorative lighting does not conflict with pedestrian and roadway lighting levels and standards.

*Pursuant to ongoing discussions with the Village of Oak Park and the Village Engineer, the maximum lighting levels of 42.6 at the Project site only occur at the entrance doors along Euclid Avenue. Within seven feet from the lights, the levels drop to 9.0 - 11.0. At the curb edge, the light levels drop down to 0.1 - 0.3. This level of lighting at the sidewalk will not interfere with pedestrian and roadway lighting standards. A clarifying note stating that the maximum light level can only occur directly below wall mounted sconces is reflected in Exhibit 25: Exterior Lighting Plan.*

## **SECTION 27. PRELIMINARY ENGINEERING PLAN**

- Please indicate that the materials shall be similar to those of the Marion Street palette.

*The Project's streetscape palette is further outlined in the Redevelopment Agreement (RDA) and incorporates some of the materials found in the Marion Street palette.*



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- Sheet C0.04 – proposed inspection manholes need to be on the exterior of the building and provide proposed size of sewer service connection at the sewer main.

*Exhibit 27: Preliminary Engineering Plan, Sheet C0.04 has been updated per comment.*

- Show proposed ComEd service or equipment.

*The new ComEd equipment room is shown on Exhibit 27: Preliminary Engineering Plan, Sheet C0.05.*

- Indicate full sidewalk and curb replacement on Euclid Ave frontage.

*The new curb, gutter, and sidewalks are noted on Exhibit 27: Preliminary Engineering Plan, Sheet C0.05.*

## **GENERAL COMMENTS**

- Please provide a garbage pick-up and route plan.

*The garbage pick-up and route plan has been incorporated into Exhibit 20.1: Site Plan. Pursuant to local codes, waste and recycling will be contracted with a private hauling service. The truck will park outside of the garage entry and the waste and recycling dumpsters will be rolled to the curb through the garage on the route, as noted in Exhibit 20.1: Site Plan.*



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<b>SECTION 1.</b>	<b>PETITION FOR PUBLIC HEARING WITH LEGAL DESCRIPTION AND PROOF OF OWNERSHIP</b>
Exhibit 1.1	Petition for Public Hearing
Exhibit 1.2	Affidavit of Ownership (Form #1) Redevelopment Agreement (RDA) Cover Page
Exhibit 1.3	Title Report Issued by Stewart Title Guaranty Company
<b>SECTION 2.</b>	<b>AFFIDAVIT OF NOTICE (SEE ALSO EXHIBITS 8.1 &amp; 8.2)</b>
Exhibit 2.1	Affidavits of Notice for Adjacent Property Owners (Form #3) Notice to Adjacent Property Owners of a Community Meeting (Form #2) Notice to Adjacent Property Owners of a Neighborhood Meeting (Form #2) Notice to Adjacent Property Owners of Intent to File a Planned Development (Form #2) USPS Mailing Transaction Receipts
Exhibit 2.2	Wednesday Journal Classified Advertising Invoice Wednesday Journal Certification of Publication Wednesday Journal, Classified Sections Community Meeting Feedback Neighborhood/Hemingway District Feedback Community Meeting Attendee Lists Neighborhood Meeting Attendee Lists
<b>SECTION 3.</b>	<b>APPLICATION FEE</b>
Exhibit 3.1	Planned Development Application Fee
<b>SECTION 4.</b>	<b>PROJECT SUMMARY</b>
Exhibit 4.1	Oak Park Economic Development Corporation (OPEDC) Letter of Support
<b>SECTION 5.</b>	<b>PROFESSIONAL QUALIFICATIONS</b>
Exhibit 5.1	Project Overviews
<b>SECTION 6.</b>	<b>PROPOSED FINANCING</b>
Exhibit 6.1	Term Sheets and Reference Letters
<b>SECTION 7.</b>	<b>LEGAL CURRENT YEAR PLAT OF SURVEY</b>
Exhibit 7.1	Legal Current Year Plat of Survey
<b>SECTION 8.</b>	<b>LIST AND MAP OF SURROUNDING PROPERTY OWNERS</b>
Exhibit 8.1	Location Map
Exhibit 8.2	Property Insight Xpress Services Certification Adjacent Property Owner Labels List of Business Owners (as provided by the Village of Oak Park)
<b>SECTION 9.</b>	<b>RESTRICTIONS AND COVENANTS</b>
Exhibit 9.1	Schedule B, Title Report Issued by Stewart Title Guaranty Company
<b>SECTION 10.</b>	<b>CONSTRUCTION SCHEDULE</b>



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Exhibit 10.1	Construction Schedule
<b>SECTION 11.</b>	<b>CONSTRUCTION TRAFFIC SCHEDULE</b>
Exhibit 11.1	Construction Traffic Schedule
<b>SECTION 12.</b>	<b>MARKET FEASIBILITY REPORTS</b>
Exhibit 12.1	CBRE, Inc. Market Study
Exhibit 12.2	Jameson Sotheby's International Realty Comparative Market Analysis (CMA)
<b>SECTION 13.</b>	<b>TRAFFIC STUDY (INCLUDING PARKING STUDY)</b>
Exhibit 13.1	KLOA Traffic and Parking Study
<b>SECTION 14.</b>	<b>PARKING STUDY (SEE EXHIBIT 13.1)</b>
<b>SECTION 15.</b>	<b>VILLAGE SERVICES</b>
Exhibit 15.1	Tax Analysis
Exhibit 15.2	Village of Oak Park Police Department Letter
Exhibit 15.3	Village of Oak Park Fire Department Letter
Exhibit 15.4	Village of Oak Park Public Works Letter
<b>SECTION 16.</b>	<b>ENVIRONMENTAL REPORTS</b>
Exhibit 16.1	Environmental Reports (Summary Pages)
<b>SECTION 17.</b>	<b>PERSPECTIVE DRAWINGS</b>
Exhibit 17.1	Perspective Drawings
Exhibit 17.2	Floyd D. Anderson Architectural Review Memorandum
<b>SECTION 18.</b>	<b>PHOTOS OF SURROUNDING PROPERTIES &amp; BUILDINGS</b>
Exhibit 18.1	Photos of Surrounding Properties & Buildings
<b>SECTION 19.</b>	<b>LOCATION MAP (SEE EXHIBIT 18.1)</b>
<b>SECTION 20.</b>	<b>SITE PLAN</b>
Exhibit 20.1	Site Plan
<b>SECTION 21.</b>	<b>LANDSCAPE PLAN</b>
Exhibit 21.1	Landscape Plan
<b>SECTION 22.</b>	<b>DETAILED SIGN ELEVATIONS</b>
Exhibit 22.1	Sign Elevations and Standards
<b>SECTION 23.</b>	<b>BUILDING ELEVATIONS</b>
Exhibit 23.1	Building Elevations
<b>SECTION 24.</b>	<b>FLOOR PLANS</b>



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Exhibit 24.1	Floor Plans
<b>SECTION 25.</b>	<b>EXTERIOR LIGHTING PLAN</b>
Exhibit 25.1	Exterior Lighting Plan
<b>SECTION 26.</b>	<b>SHADOW STUDY</b>
Exhibit 26.1	Shadow Study
<b>SECTION 27.</b>	<b>PRELIMINARY ENGINEERING PLAN</b>
Exhibit 27.1	Preliminary Engineering Plan
<b>SECTION 28.</b>	<b>GREATER DOWNTOWN MODEL</b>
<b>SECTION 29.</b>	<b>ENERGY ANALYSIS</b>
Exhibit 29.1	Diligent Design Group Inc. (DDG) Geothermal Viability Letter
<b>SECTION 30.</b>	<b>HISTORICALLY SIGNIFICANT PROPERTIES</b>
<b>SECTION 31.</b>	<b>LEED REQUIREMENTS</b>
<b>SECTION 32.</b>	<b>RECORDATION</b>
Exhibit 32.1	Statement Regarding Recordation



## **SECTION 1. PETITION FOR PUBLIC HEARING WITH LEGAL DESCRIPTION AND PROOF OF OWNERSHIP**

### **EXHIBIT 1.1: PETITION FOR PUBLIC HEARING**

A signed and notarized Petition for Public Hearing follows in Exhibit 1.1: Petition for Public Hearing.

The legal description for the subject property is detailed below as well as within the Title Report (Exhibit 1.3). In lieu of the owner's signature, the cover page of the Redevelopment Agreement (RDA) is enclosed as Exhibit 1.2.

#### **LEGAL DESCRIPTION**

THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

- Exhibit 1.1: Petition for Public Hearing



# Petition for Public Hearing

Planned Development Application \_\_\_\_\_ MINOR [10-30K]  MAJOR [>30K]

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Address/Location of Property in Question: 702-708 Lake Street, 139-147 N. Euclid Avenue

Property Identification Number(s)(PIN): 16-07-218-029-0000

Name of Property Owner(s): Village of Oak Park

Address of Property Owner(s): Village Hall, 123 Madison Street, Oak Park, IL 60302

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Name of Applicant(s): District House LLC

Applicant's Address: 2020 N. California, Suite 7-197, Chicago, IL 60647

Applicant's Phone Number: Office 312 282 8396 E-Mail cdillion@campbellcoyle.com

Other: \_\_\_\_\_

Project Contact: (if Different than Applicant) \_\_\_\_\_

Contact's Address: \_\_\_\_\_

Contact's Phone Number: Office \_\_\_\_\_ E-Mail \_\_\_\_\_

Other: \_\_\_\_\_

Property Interest of Applicant: \_\_\_\_\_ Owner \_\_\_\_\_ Legal Representative \_\_\_\_\_ Contract Purchaser  Other

(Describe): The Developer and Village are negotiating a Redevelopment Agreement (RDA) for a mixed-use Project on the subject property.

Existing Zoning: B-1/B-2 Describe Proposal: \_\_\_\_\_

The Developer and Village are negotiating a Redevelopment Agreement (RDA) for a mixed-use project consisting of approximately 75,966 SF. The Project includes approximately 28 residential condominium units, approximately 4,500 SF of ground floor retail and a 37 space enclosed garage.



**Zoning Category Requested:** (Circle One if Applicable) or NA (Not Applicable)

R-1                  R-2                  R-3                  R-4                  R-5                  R-6                  R-7  
B-1                  B-2                  B-3                  B-4                  C                  H                  **PD**

**Planned Development Requested:** (Circle One if Applicable) or NA (Not Applicable)

ResPD                  BusPD                  ComPD                  **MIX**

**Size of Parcel** (from Plat of Survey): **20,164** Square Feet or Acre (circle one)

**ATTACH LEGAL DESCRIPTION OF ALL APPLICABLE PROPERTY AS IT APPEARS ON THE DEED.**

**Adjacent Zoning Districts and Land Uses:**

To the North: **R-2**                  **Surface Parking**  
To the South: **PD (B-3)**                  **Euclid Terrace PD (Retail and Residential)**  
To the East: **PD (B-1/B-2), R-2**                  **Euclid Terrace PD (Residential), Residential**  
To the West: **B-1/B-2**                  **Commercial (AT&T Building)**

**How the property in question is currently improved?** (Circle One)

**COMMERCIAL/BUSINESS**                  RESIDENTIAL                  MIXED USE                  OTHER: \_\_\_\_\_

Describe Improvement: **A one story commercial structure (approximately 2,300 SF) formerly used as a restaurant with a drive thru.**

**Is the property in question currently in violation of the Zoning Ordinance?** \_\_\_\_ Yes **X** No

If Yes, how? \_\_\_\_\_

**Is the property in question presently subject to a Special Use or Planned Development?** \_\_\_\_ Yes **X** No

If Yes, how? \_\_\_\_\_

If Yes, please provide Ordinance No.'s \_\_\_\_\_

**Is the subject property located within any Historic District?** \_\_\_\_ Yes **X** No

If Yes, which district: \_\_\_\_ Frank Lloyd Wright    \_\_\_\_ Ridgeland/Oak Park    \_\_\_\_ Gunderson

**Is the subject property located within the Transit Overlay District?** **X** Yes \_\_\_\_ No

**Is the subject property located within the Perimeter Overlay District?** \_\_\_\_ Yes **X** No

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

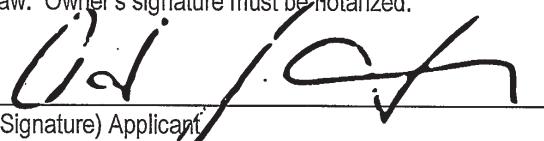
**3.8.1 B-1/B-2 – General-Business-District Regulations**

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan.

**The proposed Project incorporates a mixed-use plan that is in keeping with the Envision Oak Park Comprehensive Plan and other past plans. These plans maintain and enhance the community while guiding future land use decisions with a long term perspective.**

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law. Owner's signature must be notarized.

  
(Signature) Applicant

March 21, 2016  
Date

**Village Owned – See Section 1 (RDA Cover Sheet)**  
(Signature) Owner

Date

**Owner's Signature must be notarized**

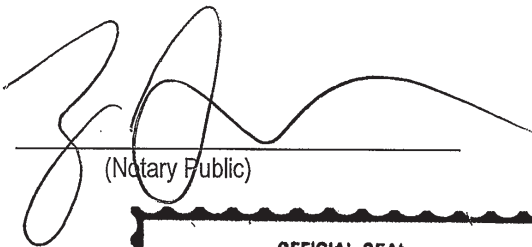
**District House LLC,  
an Illinois limited liability company**

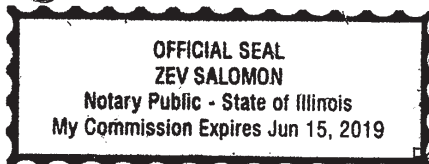
SUBSCRIBED AND SWORN TO BEFORE ME THIS  
21st DAY OF March, 2016

**By: Ranquist Partners II LLC  
an Illinois limited liability company,  
its Managing Member**

**[See Applicant Signature Above]**

**Christopher S. Dillion**

  
(Notary Public)



August 2014



DISTRICT HOUSE

**EXHIBIT 1.2: AFFIDAVIT OF OWNERSHIP (FORM #1)**

- Redevelopment Agreement (RDA) Cover Page

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**REDEVELOPMENT AGREEMENT**

**between**

**VILLAGE OF OAK PARK, COOK COUNTY, ILLINOIS**

**and**

**DISTRICT HOUSE LLC, an Illinois limited liability company**

**dated as of the**

**16th day of May, 2016**

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**VILLAGE OF OAK PARK, ILLINOIS  
REDEVELOPMENT PLAN AND PROJECT  
GREATER MALL TAX INCREMENT AREA  
(708 LAKE STREET)**

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# DISTRICT HOUSE

## **EXHIBIT 1.3: TITLE REPORT ISSUED BY STEWART TITLE GUARANTY COMPANY**

- Title Report Issued by Stewart Title Guaranty Company (dated April 27, 2016)
- The legal description for the subject property is detailed above as well as on page 4 of the Title Report

COMMITMENT FOR TITLE INSURANCE  
ISSUED BY



**STEWART TITLE GUARANTY COMPANY**, A Texas Corporation, herein called the Company, for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A, and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A hereof by the Company.

All liability and obligation under this Commitment shall cease and terminate six months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

This Commitment shall not be valid or binding until countersigned by a validating officer or authorized signatory.

**IN WITNESS WHEREOF**, Stewart Title Guaranty Company has caused its corporate name and seal to be hereunto affixed by its duly authorized officers on the date shown in Schedule A.

Countersigned:

\_\_\_\_\_  
Authorized Signatory

Lincoln Title Company  
Chicago, IL 60602



Matt Morris  
President and CEO

Denise Carraux  
Secretary

### CONDITIONS AND STIPULATIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquires actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions and Stipulations.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and Stipulations and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at [www.alta.org](http://www.alta.org).



**All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at P.O. Box 2029, Houston, Texas 77252.**



HEREIN CALLED THE COMPANY

**COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A**

ALTA Commitment

STC File number: 153226044T

Address Given: 708-14 Lake Street, Oak Park, Illinois 60301

Effective Date: 12/28/2015

1. Policy or Policies to be issued:

a) ALTA Owner's Policy (6/17/06):

Amount of Insurance: \$0.00

Proposed Insured:

b) ALTA Loan Policy (6/17/06):

Amount of Insurance: \$0.00

Proposed Insured:

2. The estate or interest in the land described or referred to in this Commitment and covered herein is:

3. Title to said estate or interest in said land is at the effective date hereof vested in:

Village of Oak Park as to Parcel 1

4. The land referred to in this Commitment is described as follows:

See attached Exhibit "A".

The commitment/policy jacket, which is part of all commitments/policies, is hereby made a part of this commitment by reference and is subject to all conditions, stipulations, limitations, exclusions and exceptions to title, as if it were a part hereof.



**COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A**

**Exhibit A - Legal Description**

**PARCEL 1:**

THE SOUTH 75 FEET OF LOT 4 ( EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 ( EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**COMMITMENT FOR TITLE INSURANCE**

**SCHEDULE B**

**Requirements**

File No.: 153226044T

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company (all clauses, if any, which indicate any preference, limitation or discrimination based on race, color, religion or national origin are omitted from all building and use restrictions, covenants and conditions, if any, shown herein):

A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

**B. Standard Exceptions**

1. Rights or claims of parties in possession not shown by the public records
2. Easements, or claims of easements, not shown by the public records
3. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Taxes or special assessments which are not shown as existing liens by the public records

**C. Special Exceptions**

General real estate taxes for the year(s) 2014, 2015 and subsequent years.

Permanent Index Number: 16-07-218-029-8001 (Volume number 141) (Affects Parcel )

Note: The first estimated installment of the 2014 taxes in the amount of \$0.00.

Note: The second final installment of the 2014 taxes in the amount of \$0.00.

Note: The taxes for the year(s) 2015 are not yet due and payable.

General real estate taxes for the year(s) 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015 and subsequent years.

Permanent Index Number: 16-07-218-029-8002 (Volume number 141) (Affects Parcel 1)

Note: The first estimated installment of the 2014 taxes in the amount of \$11,758.56 is due March 3, 2015 and is not posted paid.

Note: The second final installment of the 2014 taxes in the amount of \$10,255.34 is due August 3rd, 2015 and is not posted paid.

Note: The first estimated installment of the 2015 taxes in the amount of \$12,107.65 is due March 1, 2016 and is not posted paid.

Note: The 2013 taxes in the amount of \$21,379.20 is shown as an open item.

Note: The 2012 taxes in the amount of \$21,372.36 is shown as an open item.

Note: The 2011 taxes in the amount of \$20,590.07 is shown as an open item.

Note: The 2010 taxes in the amount of \$21,295.94 is shown as an open item.

Note: The 2009 taxes in the amount of \$20,363.38 is shown as an open item.

Note: The 2008 taxes in the amount of \$9,029.26 is shown as an open item.

Note: The 2007 taxes in the amount of \$19,185.01 is shown as an open item.

Note: The 2006 taxes in the amount of \$18,686.48 is shown as an open item.

Note: The 2005 taxes in the amount of \$18,214.75 is shown as an open item.

Note: The 2004 taxes in the amount of \$19,565.99 is shown as an open item.

Note: The 2003 taxes in the amount of \$3,377.08 is shown as an open item.

2. We find no open mortgage of record if this is not the case we should be notified.

3. Right-of Entry recorded as Document Number 00824646.

( Affects Parcel 1 )

4. Use and Operation Restrictions and the terms, provisions and covenants contained in the Deed recorded as Document Number 00824645.

( Affects Parcel 1 )

5. Environmental Disclosure Document for Transfer of Real Property recorded as Document Number 00824644.

( Affects Parcel 1 )

6. Terms and provisions of Redevelopment Agreement recorded as Document Number 0010108709.

( Affects Parcel 1 )

7. No Further Remediation Letter recorded May 9, 2001 as Document Number 0010387405.

( Affects Parcel 1 )

8. Existing unrecorded leases, if any.

9. Any lien, or right to a lien in favor of the property manager employed to manage the land.

Note: We should be furnished either (a) an Affidavit from the owner indicating that there is no property manager employed to manage the land, or, (b) a Final Lien waiver from the property manager acting on behalf of the owner.

10. Note: Your attention is directed to Illinois Statute 765 ILCS 77/70 (SB1167), which requires either a Certificate of Exemption or a Certificate of Compliance in order for mortgages to be recorded in Cook, Will, Kane & Peoria Counties. The County Recorder will not record any mortgage unless the same has a Certificate of Compliance or Exemption attached thereto. Will, Kane & Peoria Counties will be effected for any settlement services on and after July 1st of 2010.

-- Stewart Title will charge a \$75.00 SB1167 certificate Processing Fee.

11. NOTE: The following 24 month chain of title is shown for informational purposes only and not the purpose of insuring: (A) Title to the estate or interest shown in Schedule A was acquired by Special Warranty Deed dated 06-07-2001 and recorded 06-14-2001 as document number 0010519735 from Chitown Development, LTD., to Village of Oak Park; (B) There have been no other conveyances in the past 24 months.

( Affects Parcel 1 )

12. "NOTE: Lincoln Title is an authorized agent of Stewart Guaranty Company.

NOTE: All changes to the title need to be submitted via fax at (312) 782-5905 or email at [info@lincolntitlecompany.com](mailto:info@lincolntitlecompany.com).

NOTE: All Closings will take place at Stewart Title Company of Illinois. To find out the location of your closing please call Closing Services at (630) 889-4000 or email Closing Services at [stcilcustomerservice@stewart.com](mailto:stcilcustomerservice@stewart.com). Please fax figures to the closing location or email to [loandocs@stcil.net](mailto:loandocs@stcil.net).

NOTE: To order a Closing Protection Letter or Insured Closing Letter please fax your request to Stewart Title of Illinois at (630) 629-7565 or email your request to [stcilcustomerservice@stewart.com](mailto:stcilcustomerservice@stewart.com). Please include full lender name, address, phone, fax and contact name.

NOTE: For Frequently Asked Questions Please Go To: [www.lincolntitlecompany.com](http://www.lincolntitlecompany.com)"

13. The State of Illinois has enacted legislation that amends the Title Insurance Act (215 ILCS 155/ et al) to require that all parties of residential transactions, and non-residential real estate transactions of under \$2,000,000.00, to receive Closing Protection Letters.

Rule-making promulgated in connection with the legislation, establishes minimum charges for the issuance of the Closing Protection Letters, as follows:

For all refinance transaction these charges will apply:  
Lender(s) - \$25.00; Borrower - \$50.00  
For all purchase transactions these charges will apply:  
Lender(s) - \$25.00; Buyer - \$25.00; Seller - \$50.00.

This legislation is effective January 1, 2011. The charges mentioned above will apply to all transactions scheduled to close after December 31, 2010.

14. The present marital status of all persons shown on Schedule "A" herein must be disclosed in any subsequent deed of conveyance and/or any mortgage we are asked to insure, and their spouses, if any, must join in the execution of said instruments in order to properly release any homestead estate.

15. NOTE FOR INFORMATION: Effective August 1, 2005 every County Recorder in the State of Illinois will be required to charge a \$10.00 surcharge, in addition to standard recording fees, for EVERY document being recorded. This is a statewide surcharge that will be used to fund grants from the Illinois Housing Development Authority under the Rental Housing Support Program Act (30 ILCS 105/5.640). This fee can/will be included in the recording fee.

16. NOTE: By Oak Park municipal ordinance a transfer tax has been imposed up the sale or conveyance of real property within the municipality. Therefore all deeds presented to the Company for recording must have the appropriate Transfer Tax Stamps affixed thereof, or be marked "Exempt" by the municipality.

\*\*\*\*\*Customer Information\*\*\*\*\*

As of July 19, 1995, pursuant to Bill, Public Act 87-1197, all documents recorded within the State of Illinois must meet the following requirements:

\*\*The document shall consist of one or more individual sheets measuring 8.5 inches by 11 inches, not permanently bound and not a continuous form. Graphic displays accompanying a document to be recorded that measures up to 11 inches by 17 inches shall be recorded without charging an additional fee;

\*\*The document shall be legibly printed in black ink, by hand, typewritten or computer generated, in at least 10 point type. Signatures and dates may be in contrasting colors as long as they will reproduce clearly;

\*\*The document shall be on white paper of not less than 20 pound weight and have a clean margin of at least 1/2 inch on the top, bottom and each side. Margins may be used only for non-essential notations which will not affect the validity of the document, including but not limited to form numbers, page numbers, and customer notations;

\*\*The first page shall contain a blank space in the upper right hand corner measuring at least 3 inches by 5 inches;

\*\*The document shall not have any attachment stapled, taped or otherwise affixed to any page.

Note: The recorders offices throughout the State of Illinois will accept all documents for recordation. Those that do not meet the requirements of the Bill will cost double the recording fee to record."

FOR INFORMATIONAL PURPOSES: The loan policy, when issued, will contain the following:

Comprehensive Endorsement

EPA Endorsement

## PRIVACY POLICY NOTICE

### PURPOSE OF THIS NOTICE

Title V of the Gramm-Leach-Bliley Act (GLBA) generally prohibits any financial institution, directly or through its affiliates, from sharing nonpublic personal information about you with a nonaffiliated third party unless the institution provides you with a notice of its privacy policies and practices, such as the type of information that it collects about you and the categories of persons or entities to whom it may be disclosed. In compliance with the GLBA, we are providing you with this document, which notifies you of the privacy policies and practices of Stewart Title Guaranty Company, Stewart Title Insurance Company, Stewart Title Insurance Company of Oregon, National Land Title Insurance Company, Arkansas Title Insurance Company, Charter Land Title Insurance Company. We may collect nonpublic personal information about you from the following sources:

- Information we receive from you, such as on applications or other forms.
- Information about your transactions we secure from our files, or from our affiliates or others.
- Information we receive from a consumer reporting agency.
- Information that we receive from others involved in your transaction, such as the real estate agent or lender.

Unless it is specifically stated otherwise in an amended Privacy Policy Notice, no additional nonpublic personal information will be collected about you.

We may disclose any of the above information that we collect about our customers or former customers to our affiliates or to nonaffiliated third parties as permitted by law.

We also may disclose this information about our customers or former customers to the following types of nonaffiliated companies that perform marketing services on our behalf or with whom we have joint marketing agreements:

Financial service providers such as companies engaged in banking, consumer finance, securities and insurance  
Non-financial companies such as envelope stuffers and other fulfillment service providers.

**WE DO NOT DISCLOSE ANY NONPUBLIC PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT SPECIFICALLY PERMITTED BY LAW.**

We restrict access to nonpublic personal information about you to those employees who need to know that information in order to provide products or services to you. We maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

3/3

After Recording  
Return to:  
John A. Chamberlin  
Sidley & Austin  
Bank One Plaza  
10 S. Dearborn Street  
Chicago, IL 60603

00824646

6844/0098 20 001 Page 1 of 7  
2000-10-20 13:08:54  
Cook County Recorder 33.00

**RIGHT-OF-ENTRY AGREEMENT**

121

7  
1

Know All Men By These Presents That:

WHEREAS, Amoco Oil Company, a Maryland corporation ("Seller") with offices at c/o BP Amoco, 28100 Torch Parkway, Warrenville, Illinois 60555 and CHITOWN DEVELOPMENT, LTD., an Illinois corporation ("Purchaser") whose address is 9933 N. Lawler Avenue, Skokie, Illinois 60077, entered into a Purchase and Sale Agreement dated as of August 23, 2000 (the "Sale Agreement"), covering certain real estate and the improvements thereon described as set forth on **Exhibit A** attached hereto and made a part hereof (the "Property");

AND WHEREAS, Seller has agreed to sell and Purchaser has agreed to purchase the Property "as is" in its present condition without any representations or warranties regarding its fitness for any purpose;

AND WHEREAS, Seller has provided or made available to Purchaser a copy of any environmental assessment performed by or at the request of Seller with respect to the Property, as set forth in the Sale Agreement;

AND WHEREAS, Seller has further provided to Purchaser access to and the opportunity to inspect the Property and to perform such soil, groundwater or other tests upon the Property as Purchaser deemed necessary or appropriate;

AND WHEREAS, Seller has agreed to perform certain environmental assessment, monitoring, and remediation measures pursuant to the Sale Agreement to address hydrocarbon contamination, if any, existing on the Property prior to the Closing Date;

AND WHEREAS, Purchaser and Seller desire to provide a continuing right of access to the Property to allow Seller to perform assessment, monitoring and remediation measures after conveyance of the Property;

BOX 333-CTI

00824646

NOW, THEREFORE, in consideration of the mutual covenants of the parties and the express undertaking by Seller as set forth in the Contract, Seller and Purchaser do hereby agree as follows:

Seller reserves the right, for itself, its agents, employees, successors, and assigns, upon reasonable notice, to enter upon the Property from and after the date hereof through the Ending Date (as defined in the Sale Agreement) for the purpose of:

- A. engaging in environmental assessment, inspection, monitoring and remediation, including, without limitation, the installation of such facilities and the conduct of such activities as are necessary for Seller to fulfill its obligations, or exercise its rights, under the Sale Agreement, or as are required by any applicable governmental authority having jurisdiction over the Property, and
- B. removing from the Property any remediation equipment including, without limitation, monitoring and observation equipment and any other property and equipment not sold pursuant to the Sale Agreement (collectively, "Environmental Measures").

Seller further reserves the right to enter the Property to conduct environmental remediation and/or monitoring activities after the termination of this Right of Entry in the event Seller is directed by any governmental authority having jurisdiction over the Property to perform such work, after reasonable prior notice to Purchaser.

Purchaser consents to Seller's rights hereunder and agrees to reasonably cooperate with Seller in the performance of the activities authorized herein so as to minimize the time and expense to Seller, including, without limitation, the grant of access to on-site utilities, if required for such activities.

Seller agrees to conduct and complete its Environmental Measures at the Property in a manner which is practicable, reasonable and minimizes disruption to the use of the Property by the Purchaser. Purchaser acknowledges that Seller's performance of its Environmental Measures may minimally interfere with or disrupt business activity on the Property. Seller and Purchaser agree to cooperate in good faith to minimize any disruption of Purchaser's business operations at the Property.

This Right of Entry may be executed in one or more counterparts, each of which shall constitute an original but which when taken together shall be deemed one instrument.

[The remainder of this page is intentionally left blank]

00824646

This Right of Entry, and each of the covenants herein, shall run with the land and be binding upon the Purchaser and assigns and other successors in title or interest of the Purchaser.

Dated this 16th day of October, 2000.

AMOCO OIL COMPANY,  
a Maryland corporation

CHITOWN DEVELOPMENT, LTD.,  
an Illinois corporation

By: Marcelo Acosta

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Name: MARCELO ACOSTA  
Title: REAL ESTATE MANAGER



00824646

ACKNOWLEDGMENT

STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF ~~COOK~~

*DuPage*

I, the undersigned, a Notary Public for said County and State, DO HEREBY CERTIFY, that MARCELO ARIZOLA, personally known to me to be the REAL ESTATE MANAGER, respectively, of Amoco Oil Company, a Maryland corporation, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that in said capacity he/she signed and delivered the said instrument, pursuant to authority given by the Board of Directors of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and official seal, this 11<sup>TH</sup> day of October, 2000.

*[Signature]*

Notary Public

My commission expires: 10/15/03



ACKNOWLEDGMENT

STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF C O O K )

I, the undersigned, a Notary Public for said County and State, DO HEREBY CERTIFY, that \_\_\_\_\_, personally known to me to be the \_\_\_\_\_, respectively, of Chitown Development, Ltd., an Illinois corporation, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that in said capacity he/she signed and delivered the said instrument, pursuant to authority given by the Board of Directors of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and official seal, this \_\_\_\_ day of October, 2000.

\_\_\_\_\_

Notary Public

My commission expires: \_\_\_\_\_

00824646

This Right of Entry, and each of the covenants herein, shall run with the land and be binding upon the Purchaser and assigns and other successors in title or interest of the Purchaser.

Dated this 16th day of October, 2000.

AMOCO OIL COMPANY,  
a Maryland corporation

By: \_\_\_\_\_

Name: \_\_\_\_\_  
Title: \_\_\_\_\_

CHITOWN DEVELOPMENT, LTD.,  
an Illinois corporation

By:   
Name: Samuel Tappan  
Title: President

00824646

ACKNOWLEDGMENT

STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF C O O K)

I, the undersigned, a Notary Public for said County and State, DO HEREBY CERTIFY, that \_\_\_\_\_, personally known to me to be the \_\_\_\_\_, respectively, of Amoco Oil Company, a Maryland corporation, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that in said capacity he/she signed and delivered the said instrument, pursuant to authority given by the Board of Directors of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and official seal, this \_\_\_\_ day of October, 2000.

\_\_\_\_\_  
Notary Public

My commission expires: \_\_\_\_\_

ACKNOWLEDGMENT

STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF C O O K)

I, the undersigned, a Notary Public for said County and State, DO HEREBY CERTIFY, that Sydney Tagher, personally known to me to be the President, respectively, of Chitown Development, Ltd, an Illinois corporation, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that in said capacity he/she signed and delivered the said instrument, pursuant to authority given by the Board of Directors of said corporation, as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and official seal, this 10th day of October, 2000.

Margaret S. Georgopoulos  
\_\_\_\_\_  
Notary Public

Notary Public

My commission expires: 11/07/03



00824646

EXHIBIT A

THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST ½ OF THE NORTHEAST ¼ OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

**QUIT CLAIM DEED  
(ILLINOIS)**

00824645  
6594/0077 20 001 Page 1 of 8  
2000-10-20 13:07:53  
Cook County Recorder 35.00

D1  
G# 7867925

THE GRANTOR, Amoco Oil Company, a Maryland corporation ("Grantor") with its principal office address at c/o BP Amoco, 28100 Torch Parkway, Warrenville, Illinois 60555, for the consideration of One Dollar and no/100ths (\$1.00) and other good and valuable consideration in hand paid, and pursuant to authority given by the Board Of Directors of said corporation, by these presents does hereby REMISE, RELEASE, CONVEY AND QUIT CLAIM (without any covenant, representation or warranty of any kind), TO:

CHITOWN DEVELOPMENT, LTD., an Illinois corporation ("Grantee") as of October 16, 2000 (the "Transfer Date") the following described real estate (the "Property"), situated in the Village of Oak Park, County of Cook, State of Illinois, more particularly described as follows, to wit:

J  
JK

See legal description set forth on Exhibit A, attached hereto and incorporated herein.

Address of Real Estate: 708 Lake Street, Oak Park, Illinois 60301  
Tax Item Number(s): 16-07-218-026-0000

Together with all and singular the hereditaments and appurtenances therunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim or demand whatsoever, of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances; **TO HAVE AND TO HOLD** the Property as above described, with the appurtenances, unto the Grantee, his heirs and assigns forever.

Use and Operation Restrictions.

This conveyance is made by Grantor and accepted by Grantee upon the express condition and subject to the restrictions and covenants described on Exhibit B attached hereto ("Use and Operation Restrictions"). Notwithstanding the foregoing, the Use and Operation Restrictions do not prohibit the installation or use of any compliance wells, or any underground monitoring, recovery or extraction wells or similar devices used for or related to the performance of any remediation or any corrective action work on the Property now or in the future. Grantee, for and on behalf of itself and its successors and assigns, by acceptance of this Deed, hereby agrees to indemnify, defend and hold harmless the Grantor, its parents, affiliates and subsidiaries, and their respective directors, officers, partners, employees, contractors, agents, representatives, successors and assigns, (collectively, the "Grantor Entities"), from and against any and all actions or causes of action at law or in equity, claims, demands, expenses, obligations, losses, damages (including, without limitation, business interruption), costs, payments, liabilities, liens, environmental remediation costs and expenses, fines, penalties, and costs and expenses of litigation and reasonable attorneys' fees arising out of or relating to any use of the Property from and after the Transfer Date which is in violation of or inconsistent with the Use and Operation Restrictions. The Use and Operation Restrictions shall run with the Property and each portion thereof for the benefit of the Grantor Entities and shall bind Grantee, its

BOX 333-CTI

successors, assigns and all future owners of the Property, and their respective directors, officers, employees, contractors, agents, representatives, lessees, licensees, invitees, and any user or occupant of all or any portion of the Property. Grantor shall, at Grantee's request, release a portion or portions of the Use and Operation Restrictions from the Property, upon Grantor's receipt of a no further action letter issued by the Illinois Environmental Protection Agency, or Grantor's receipt from Grantee of an acknowledgment from any governmental agency, entity, body, instrumentality, department or representative which has jurisdiction over the Property (herein, the "Government"), obtained by Grantee at its sole cost and expense, that test results demonstrate that the Property meets the then-current soil and groundwater standards for property without that portion or portions of the Use and Operation Restrictions and that the Government approves the releasing of that portion or portions of the Use and Operation Restrictions.

Condition of Property.

Grantee does, by its acceptance of this Deed, represent and warrant that it is familiar with the condition of the Property and that, EXCEPT AS SET FORTH IN THE PURCHASE AND SALE AGREEMENT, GRANTOR HAS NOT MADE AND MAKES NO WARRANTIES OR REPRESENTATIONS REGARDING THE PROPERTY, EXPRESS OR IMPLIED, INCLUDING WITHOUT LIMITATION, ITS HABITABILITY, CONDITION OR FITNESS FOR ANY PARTICULAR USE OR PURPOSE. EXCEPT AS SET FORTH IN THE PURCHASE AND SALE AGREEMENT, GRANTEE AGREES THAT THE PROPERTY IS HEREBY CONVEYED BY GRANTOR AND ACCEPTED BY GRANTEE IN ITS "AS-IS, WHERE-IS" CONDITION.

Entire Understanding.

This Deed, the Exhibits annexed hereto and the Purchase and Sale Agreement (and attachments) contain the entire understanding and agreement between the parties hereto relative to the subject matter hereof. No representations or statements, other than those expressly set forth herein, were relied upon by the parties in entering into this Deed. No modification, waiver of, addition to, or deletion from the terms of this Deed shall be effective unless reduced to writing and signed by Grantor and Grantee or their respective successors and assigns. This Deed shall be binding upon and inure to the benefit of the Grantor Entities, and Grantee and its successors, assigns, heirs, devisees and legal representatives, as the case may be, and any other person or entity expressly noted herein.

[THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK]

 Real Estate Transfer Tax  
\$1000  
 Real Estate Transfer Tax  
\$1000  
 Real Estate Transfer Tax  
\$1000

Cook County  
REAL ESTATE TRANSACTION TAX  
REVENUE  
STAMP DEC 17 09  
187.50  
P.A. 11424

00824645

IN WITNESS WHEREOF, said Grantor has caused this Quit Claim Deed to be executed by an authorized representative of Grantor and attested to by its Assistant Secretary this 11th day of October, 2000.

AMOCO OIL COMPANY,  
a Maryland corporation

By:

Name: J. Gallard  
Title: DIRECTOR

ATTEST:

Marcelo Cordero Assistant Secretary

Signed, sealed and delivered in the presence of:

WITNESSES:

[Signature]  
Printed Name: Richard L. Williams

ACKNOWLEDGMENT

STATE OF ILLINOIS )

COUNTY OF ~~COOK~~  
DuPage

) SS.

I, the undersigned, a Notary Public for said County and State, DO HEREBY CERTIFY, that JACK ALVARO and MARCELO ARANDA, personally known to me to be the directors and Assistant Secretary, respectively, of Amoco Oil Company, a Maryland corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that in said capacities they signed and delivered the said instrument, pursuant to authority given by the Board of Directors of said corporation, as their free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and official seal, this 10<sup>TH</sup> day of October, 2000.

Kellyn J. Lawrence

Notary Public

My commission expires: March 11, 2003



This instrument was prepared by: John A. Chamberlin, Sidley & Austin, Bank One Plaza, 10 S. Dearborn Street, Chicago, Illinois 60603.

When recorded, return to:

Philip Wong, c/o Much, Shelist, Freed, Denenberg, Ament & Rubenstein, P.C., 200 North LaSalle Street, Suite 2100, Chicago, Illinois 60601

Mail Tax Bills to:

9933  
Chitown Development, Ltd., 9922 N. Lawler Avenue, Suite 516, Skokie, Illinois 60077



00824645

**EXHIBIT A**  
**TO**  
**QUIT CLAIM DEED**

THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST ½ OF THE NORTHEAST ¼ OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

00824645

**EXHIBIT B  
TO  
QUIT CLAIM DEED**

**(Use and Operating Restrictions)**

**[SEE ATTACHED]**

from the date of this conveyance whereupon this restrictive covenant will automatically lapse and terminate and be of no further force or effect.



I, Notary Public  
DO HEREBY CERTIFY that CLARK B. PROTHINGHAM and JANE G. PROTHINGHAM,  
his wife,  
known to me to be the persons whose names are subscribed to the foregoing instrument,  
appeared before me this day in person and acknowledged that they signed, sealed and delivered  
the said instrument as their free and voluntary act, for the uses and purposes therein set forth,  
in full release and waiver of the right of homestead.

Under my hand and notarial seal this 23rd day of January



*Susan Lane*  
NOTARY PUBLIC

Warranty Deed

Individual to Individual

Clark B. Prothingham

John G. Prothingham

14238552  
STATE OF MICHIGAN  
FILED FOR RECORD

JAN 24 AM 9 34

AND RECORDED IN  
BOOK PAGE  
NUMBER

*Edward J. ...*

10/3

For Use By County  
Recorder's Office  
County  
Date  
Doc. No.  
Vol.  
Page  
Rec'd by

SS# 5379  
  
00824644  
6844/0096 20 001 Page 1 of 6  
2000-10-20 13:07:25  
Cook County Recorder 47.00

The following information is provided pursuant to  
the Responsible Property Transfer Act of 1988.

Seller: Amoco Oil Company  
Buyer: Chitown Development, Ltd.  
Document No.: .....

ENVIRONMENTAL DISCLOSURE DOCUMENT FOR  
TRANSFER OF REAL PROPERTY

I. PROPERTY IDENTIFICATION:

A. Address of property: 708 West Lake Street Oak Park, IL.....  
Street City or Village Township

Permanent Real Estate Index No.: 16-07-218-026-0000.....

B. Legal Description:

Section 7 Township 39 Range 13

Enter or attach current legal description in this area: See Exhibit A

Prepared by:

Name John A. Chamberlin  
Sidley & Austin  
Bank One Plaza  
10 S. Dearborn St.  
Chicago, IL 60603  
address

Return to:

Name John A. Chamberlin  
Sidley & Austin  
Bank One Plaza  
10 S. Dearborn St.  
Chicago, IL 60603  
address

LIABILITY DISCLOSURE

Transferors and transferees of real property are advised that their ownership or other control of such property may render them liable for any environmental clean-up costs whether or not they caused or contributed to the presence of environmental problems associated with the property.

C. Property Characteristics:

Lot Size ..... Acreage .....

Check all types of improvement and uses that pertain to the property:

- .... Apartment building(6 units or less)
- .... Commercial apartment(over 6 units)
- Store, office, commercial building
- .... Industrial building
- .... Farm, with buildings
- .... Other (specify)

BOX 333-CTI

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00824644

II. NATURE OF TRANSFER:

- |  | Yes   | No    |
|--|-------|-------|
| A. (1) Is this a transfer by deed or other instrument of conveyance?                               | X     | ..... |
| (2) Is this a transfer by assignment of over 25% of beneficial interest of an Illinois land trust? | ..... | X     |
| (3) A lease exceeding a term of 40 years?  | ..... | X     |
| (4) A mortgage or collateral assignment of beneficial interest?                                    | ..... | X     |

B. (1) Identify Transferor: Amoco Oil Company, 28100 Torch Parkway, Warrenville, IL 60555  
Name and Current Address of Transferor

Name and Address of Trustee if this is a Trust No. transfer of beneficial interest of a land trust.

(2) Identify person who has completed this form on behalf of the Transferor and who has knowledge of the information contained in this form:

David Piotrowski (630) 836-5671  
Name, Position (if any), and address Telephone No.

C. Identify Transferee:

Chitown Development, Ltd., 9933 N. Lawler Ave., Skokie, IL 60077  
Name and Current Address of Transferee

III. NOTIFICATION

Under the Illinois Environmental Protection Act, owners of real property may be held liable for costs related to the release of hazardous substances.

- Section 22.2(f) of the Act states:  
"Notwithstanding any other provision or rule of law, and subject only to the defenses set forth in subsection (j) of this Section, the following persons shall be liable for all costs of removal or remedial action incurred by the State of Illinois or any unit of local government as a result of a release or substantial threat of a release of a hazardous substance or pesticide:  
(1) the owner and operator of a facility or vessel from which there is a release or substantial threat of release of a hazardous substance or pesticide;  
(2) any person who at the time of disposal, transport, storage or treatment of a hazardous substance or pesticide owned or operated the facility or vessel used for such disposal, transport, treatment or storage from which there was a release or substantial threat of a release of any such hazardous substance or pesticide;  
(3) any person who by contract, agreement, or otherwise has arranged with another party or entity for transport, storage, disposal or treatment of hazardous substance or pesticides owned, controlled or possessed by such person at a facility owned or operated by another party or entity from which facility there is a release or substantial threat of a release of such hazardous substance or pesticides; and  
(4) any person who accepts or accepted any hazardous substance or pesticides for transport to disposal, storage or treatment facilities or sites from which there is a release or a substantial threat of a release of a hazardous substance or pesticide."

2. Section (g) of the Act states:  
"The Agency shall have the authority to provide notice to any person who may be liable pursuant to Section 22.2(f) of this Act for a release or a substantial threat of a release of a hazardous substance or pesticide. Such notice shall include the identified response action and an opportunity for such person to perform the response action."

3. Section 22.3(k) of the Act states in part:  
"If any person who is liable for a release or substantial threat of release of a hazardous substance or pesticide fails without sufficient cause to provide removal or remedial action upon or in accordance with a notice and request by the agency or upon or in accordance with any order of the Board or any court, such person may be liable to the State for punitive damages in an amount at least equal to, and not more than 3 times, the amount of any costs incurred by the State of Illinois as result of such failure to take such removal or remedial action. The punitive damage imposed by the Board shall be in addition to any costs recovered from such person pursuant to this Section and in addition to any other penalty or relief provided by this Act or any other law."

## 4. Section 57.12(a) of the Act states in part:

"Notwithstanding any other provision or rule or law, the owner or operator, or both, of an underground storage tank shall be liable for all costs of investigation, preventive action, corrective action and enforcement action incurred by the State of Illinois resulting from an underground storage tank."

5. The text of the statutes set out above is subject to change by amendment. Persons using this form may update it to reflect changes in the text of the statutes cited, but no disclosure statement shall be invalid merely because it sets forth an obsolete or superseded version of such text.

## IV. ENVIRONMENTAL INFORMATION

## Regulatory Information During Current Ownership

1. Has the transferor ever conducted operations on the property which involved the generation, manufacture, processing, transportation, treatment, storage or handling of "hazardous substances", as defined by the Illinois Environmental Protection Act? This question shall not be applicable for consumer goods stored or handled by a retailer in the same form, approximate amount, concentration and manner as they are sold to consumers, provided that such retailer does not engage in any commercial mixing (other than paint mixing or tinting of consumer sized containers), finishing, refinishing, servicing, or cleaning operations on the property.

Yes ..X... No .....

2. Has the transferor ever conducted operations on the property which involved the processing, storage or handling of petroleum, other than that which was associated directly with the transferor's vehicle usage?

Yes ..X... No .....

3. Has the transferor ever conducted operations on the property which involved the generation, transportation, storage, treatment or disposal of "hazardous or special wastes", as defined by the federal Resource Conservation and Recovery Act and the Illinois Environmental Protection Act?

Yes ..X... No .....

4. Are there any of the following specific units (operating or closed) at the property which are or were used by the transferor to manage waste, hazardous wastes, hazardous substances or petroleum?

	Yes	No		Yes	No
Landfill	.....	..X...	Injection Wells	.....	..X...
Surface Impoundment	.....	..X...	Wastewater Treatment Units	.....	..X...
Land Treatment	.....	..X...	Septic Tanks	.....	..X...
Waste Pile	.....	..X...	Transfer Stations	.....	..X...
Incinerator	.....	..X...	Waste Recycling Operations	.....	..X...
Storage Tank (Above Ground)	.....	..X...	Waste Treatment Detoxification	.....	..X...
Storage Tank (Underground)	..X...	.....	Other Land Disposal Area	.....	..X...
Container Storage Area	.....	..X...			

If there are "YES" answers to any of the above items and the transfer is other than a mortgage or collateral assignment of beneficial interest, attach a site plan which identifies the location of each unit, such site plan to be filed with the Environmental Protection Agency along with this disclosure document.

5. Has the transferor ever held any of the following in regard to this real property?

a. Permits for discharges of wastewater to waters of the State.

Yes No  
..... ..X...

b. Permits for emissions to the atmosphere.

..... ..X..

c. Permits for any waste storage, waste treatment or waste disposal operation.

..... ..X..

6. Has the transferor had any wastewater discharges (other than sewage) to a publicly owned treatment works?

..... ..X..



00824644

7. Has the transferor taken any of the following actions relative to this property?
- a. Prepared a Chemical Safety Contingency Plan pursuant to the Illinois Chemical Safety Act. .... ..X..
  - b. Filed an Emergency and Hazardous Chemical Inventory Form pursuant to the federal Emergency Planning and Community Right-to-Know Act of 1986. .... ..X..
  - c. Filed a Toxic Chemical Release Form pursuant to the federal Emergency Planning and Community Right-to-Know Act of 1986. .... ..X..
8. Has the transferor or any facility on the property or the property been the subject of any of the following State or federal governmental actions?
- a. Written notification regarding known, suspected or alleged contamination on or emanating from the property. ..X.....
  - b. Filing an environmental enforcement case with a court or the Pollution Control Board for which a final order or consent decree was entered. ..X.....
  - c. If item b. was answered by checking Yes, then indicate whether or not the final order or decree is still in effect for this property. ..X.....
9. Environmental Releases During Transferor's Ownership
- a. Has any situation occurred at this site which resulted in a reportable "release" of any hazardous substances or petroleum as required under State or federal laws? ..X.....
  - b. Have any hazardous substances or petroleum, which were released, come into direct contact with the ground at this site? ..X.....
  - c. If the answers to questions (a) and (b) are Yes, have any of the following actions or events been associated with a release on the property?
- ..X... Use of a cleanup contractor to remove or treat materials including soils, pavement or other surficial materials
  - ..... Assignment of in-house maintenance staff to remove or treat materials including soils, pavement or other surficial materials
  - ..... Designation, by the IEPA or the IEMA, of the release as "significant" under the Illinois Chemical Safety Act
  - ..X... Sampling and analysis of soils
  - ..X... Temporary or more long-term monitoring of groundwater at or near the site
  - ..... Impaired usage of an on-site or nearby water well because of offensive characteristics of the water
  - ..... Coping with fumes from subsurface storm drains or inside basements, etc.
  - ..... Signs of substances leaching out of the ground along the base of slopes or at other low points on or immediately adjacent to the site
10. Is the facility currently operating under a variance granted by the Illinois Pollution Control Board?
- Yes ..... No ..X..
11. Is there any explanation needed for clarification of any of the above answers or responses?
- .....NO.....

9. SITE INFORMATION UNDER OTHER OWNERSHIP OR OPERATION

00824644

1. Provide the following information about the previous owner or any entity or person the transferor leased the site to or otherwise contracted with for the management of the site or real property:

Name:.....  
 Type of business: .....  
 or property usage .....

2. If the transferor has knowledge, indicate whether the following existed under prior ownership's, leaseholds granted by the transferor, other contracts for management or use of the facilities or real property:

	Yes	No		Yes	No
Landfill	.....	.....	Injection Wells	.....	.....
Surface Impoundment	.....	.....	Wastewater Treatment Units	.....	.....
Land Treatment	.....	.....	Septic Tanks	.....	.....
Waste Pile	.....	.....	Transfer Stations	.....	.....
Incinerator	.....	.....	Waste Recycling Operations	.....	.....
Storage Tank (Above Ground)	.....	.....	Waste Treatment Detoxification	.....	.....
Storage Tank (Underground)	.....	.....	Other Land Disposal Area	.....	.....
Container Storage Area	.....	.....			

V. CERTIFICATION This document may be executed in any number of counterparts, all of which, when taken together, shall constitute a single document.

A. Based on my inquiry of those persons directly responsible for gathering the information, I certify that the information submitted is, to the best of my knowledge and belief, true and accurate.

.....  
 Signature  
**Amoco Oil Company**  
 type or print name  
 TRANSFEROR OR TRANSFERORS  
 (or on behalf of Transferor)

B. This form was delivered to me with all elements completed on

..... 20....

.....  
 Signature  
**Chitown Development, Ltd.**  
 type or print name  
 TRANSFEREE OR TRANSFEREES  
 (or on behalf of Transferee)

C. This form was delivered to me with all elements completed on

..... 20....

.....  
 Signature  
**Oak Park River Forest Community Bank**  
 type or print name  
 LENDER

B. SITE INFORMATION UNDER OTHER OWNERSHIP OR OPERATION

00824644

1. Provide the following information about the previous owner or any entity or person the transferor leased the site to or otherwise contracted with for the management of the site or real property:

Name:.....  
 Type of business: .....  
 or property usage .....

2. If the transferor has knowledge, indicate whether the following existed under prior ownership's, leaseholds granted by the transferor, other contracts for management or use of the facilities or real property:

	Yes	No		Yes	No
Landfill	.....	.....	Injection Wells	.....	.....
Surface Impoundment	.....	.....	Wastewater Treatment Units	.....	.....
Land Treatment	.....	.....	Septic Tanks	.....	.....
Waste Pile	.....	.....	Transfer Stations	.....	.....
Incinerator	.....	.....	Waste Recycling Operations	.....	.....
Storage Tank (Above Ground)	.....	.....	Waste Treatment Detoxification	.....	.....
Storage Tank (Underground)	.....	.....	Other Land Disposal Area	.....	.....
Container Storage Area	.....	.....			

V. CERTIFICATION

A. Based on my inquiry of those persons directly responsible for gathering the information, I certify that the information submitted is, to the best of my knowledge and belief, true and accurate.

*D. A. Piotrowski*  
 Signature  
 D. A. Piotrowski  
 type or print name  
 TRANSFEROR OR TRANSFERORS  
 (or on behalf of Transferor)

B. This form was delivered to me with all elements completed on

..... 20....

.....  
 Signature  
 .....  
 type or print name  
 TRANSFEREE OR TRANSFEREES  
 (or on behalf of transferee)

C. This form was delivered to me with all elements completed on

..... 20....

.....  
 Signature  
 .....  
 type or print name  
 LENDER

00824644

B. SITE INFORMATION UNDER OTHER OWNERSHIP OR OPERATION

1. Provide the following information about the previous owner or any entity or person the transferor leased the site to or otherwise contracted with for the management of the site or real property:

Name: .....  
Type of business: .....  
or property usage .....

2. If the transferor has knowledge, indicate whether the following existed under prior ownership's, leaseholds granted by the transferor, other contracts for management or use of the facilities or real property:

	Yes	No		Yes	No
Landfill	.....	.....	Injection Wells	.....	.....
Surface Impoundment	.....	.....	Wastewater Treatment Units	.....	.....
Land Treatment	.....	.....	Septic Tanks	.....	.....
Waste Pile	.....	.....	Transfer Stations	.....	.....
Incinerator	.....	.....	Waste Recycling Operations	.....	.....
Storage Tank (Above Ground)	.....	.....	Waste Treatment Detoxification	.....	.....
Storage Tank (Underground)	.....	.....	Other Land Disposal Area	.....	.....
Container Storage Area	.....	.....			

V. CERTIFICATION This document may be executed in any number of counterparts, all of which, when taken together, shall constitute a single document.

A. Based on my inquiry of those persons directly responsible for gathering the information, I certify that the information submitted is, to the best of my knowledge and belief, true and accurate.

.....  
Signature  
**Amoco Oil Company** .....  
type or print name  
TRANSFEROR OR TRANSFERORS  
(or on behalf of Transferor)

B. This form was delivered to me with all elements completed on

..... 10/12, 2002

*[Signature]*  
.....  
Signature  
**Chitown Development, Ltd.** .....  
type or print name  
TRANSFEEE OR TRANSFEEES  
(or on behalf of Transferee)

C. This form was delivered to me with all elements completed on

..... 20....

.....  
Signature  
**Oak Park River Forest Community Bank** .....  
type or print name  
LENDER

00824644

EXHIBIT A  
TO  
QUIT CLAIM DEED

THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL  
OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S  
SUBDIVISION OF THE WEST ½ OF THE NORTHEAST ¼ OF SECTION 7, TOWNSHIP 39  
NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY,  
ILLINOIS

0010108709

9094/0120 49 001 Page 1 of 89

2001-02-08 14:56:00

Cook County Recorder 197.00

*This instrument was prepared by,  
and after recording return to:*

*William J. Mitchell, Esq.  
MELTZER, PURTILL & STELLE  
1515 East Woodfield Road  
Suite 250  
Schaumburg, Illinois 60173-5431*

**Permanent Real Estate Tax Index Nos.:**  
See Exhibit B

**Street Address:**  
Intersection of Euclid Avenue  
And Lake Street,  
Oak Park, Cook County, Illinois

### REDEVELOPMENT AGREEMENT

Re: Euclid Terraces

THIS REDEVELOPMENT AGREEMENT is made as of the 18<sup>th</sup> day of January, 2001, by and between THE VILLAGE OF OAK PARK, an Illinois municipal corporation ("Village") and EUCLID TERRACES, L.L.C., an Illinois limited liability company, its nominees, successors and/or assigns ("Developer").

### WITNESSETH

Village and Developer have agreed to enter into this Redevelopment Agreement as follows:

Box 321

---

---

REDEVELOPMENT AGREEMENT

RE: EUCLID TERRACES

---

---

MADE BY AND BETWEEN:

VILLAGE OF OAK PARK,  
an Illinois municipal corporation

AND

EUCLID TERRACES, L.L.C.,  
an Illinois limited liability company

---

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20108709

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**LIST OF EXHIBITS**

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## REDEVELOPMENT AGREEMENT

Re: Euclid Terraces

THIS REDEVELOPMENT AGREEMENT ("Agreement") is made and entered into as of the \_\_\_ day of January, 2001 ("Date Hereof") by and between the VILLAGE OF OAK PARK, an Illinois municipal corporation ("Village") and EUCLID TERRACES, L.L.C., an Illinois limited liability company, its nominees, assignees and/or successors ("Developer").

### RECITALS

The Village has the authority to adopt tax increment allocation financing pursuant to the Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1 et. seq. ("Act").

In accordance with the Act, and after giving all notices and conducting all public hearings required by law, the President and Board of Trustees of the Village ("Corporate Authorities") adopted an ordinance approving a proposed redevelopment plan and project as set forth in that certain "Tax Increment Redevelopment Plan and Project, Village of Oak Park, Illinois" ("TIF Plan"); which TIF Plan contains a plan for the redevelopment of certain land within the Village located along the Lake Street Corridor from Harlem Avenue to the West and into the Village to the East, as depicted in Exhibit A hereto ("TIF Redevelopment Area").

In accordance with the Act, the Corporate Authorities adopted ordinances (i) by which the TIF Redevelopment Area was designated a "redevelopment project area" (as that term is defined by the Act) and (ii) by which tax increment financing was adopted for purposes of implementing the TIF Plan for the TIF Redevelopment Area ("TIF").

On May 19, 2000, the Village circulated a Request For Proposal ("RFP") to agents of the Developer, requesting proposals for the redevelopment of a portion of the TIF Redevelopment Area comprising (i) a parcel of land located at the Northeast corner of the intersection of Euclid Avenue and Lake Street, currently improved with a surface parking area ("Euclid and Lake Parking Parcel"), (ii) a parcel of land located at the Southwest corner of Euclid Avenue and Lake Street, currently improved with a fast food restaurant ("Fast Food Parcel"), (iii) a parcel of land located at the Northwest corner of the intersection of North Boulevard and Euclid Avenue, currently improved with a surface parking area ("North and Euclid Parking Parcel") and (iv) a pedestrian walkway connecting the North and Euclid Parking Parcel to Oak Park Avenue at approximately mid-block ("Pedestrian Walkway Parcel"), each such parcel as legally described and depicted in Exhibit B hereto ("Priority Area"). On July 31, 2000, Developer's agents submitted the Developer's response to the RFP, which was supplemented as of October 16, 2000 ("Developer Response"). The Developer Response provides for a three phase redevelopment of the Priority Area with the "Project", as such term is defined in this Agreement (sometimes referred to herein as the "Project Plan").

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In addition to the foregoing, the Village has solicited responses to the RFP (i) through its development agent, Oak Park Development Corporation, who circulated the RFP to in excess of twenty (20) independent development entities, and (ii) by publication in the Chicago Tribune. In each case, members of the local, regional and national development community were invited to submit proposals for the redevelopment of the Priority Area pursuant to the terms of the RFP. The Village has also invited the public, through publication in the Chicago Tribune, to examine the draft form of this Agreement and all proposals submitted in response to the RFP, each of which are maintained on file for inspection by the public in the office of the Director of Economic Development located within the Village Hall.

On or about October 30, 2000 the President and Board of Trustees authorized the Village Manager to attempt to negotiate a Redevelopment Agreement with the Developer. After complying with all requirements imposed by law, including the Act, the Corporate Authorities have adopted (i) Ordinance No. \_\_\_\_\_, on January \_\_, 2001, approving and authorizing the execution and delivery of this Agreement, and (ii) Ordinance No. \_\_\_\_\_, on January \_\_, 2001, designating Developer as the exclusive developer of the Project upon the Priority Area.

The Corporate Authorities are committed to the rehabilitation and redevelopment of the Priority Area in accordance with the Project Plan and the "Development Plan" (defined herein) in order to serve the needs of the Village, increase employment opportunities, arrest physical decay and decline now existing within the TIF Redevelopment Area, stimulate commercial growth, stabilize the tax base of the Village and create new housing opportunities. After due and careful consideration, the Corporate Authorities have concluded that the development of the Priority Area with the Project will further the growth of the Village, improve the environment of the Village, increase the assessed valuation of the real estate situated within the Village, increase sales tax revenues realized by the Village, increase employment opportunities within the Village, enable the Village to control the development of the Priority Area, and otherwise be in the best interests of the Village by furthering the health, safety, morals and welfare of its residents and taxpayers. The Village deems it necessary that the Village enter into this Agreement to accomplish the construction and completion of the Project.

The Village is desirous of having the Priority Area developed for such uses in order to serve the needs of the Village and in order to produce the increased tax revenues for the various taxing districts authorized to levy taxes within the Priority Area.

Developer is unwilling to undertake the development of the Priority Area and the completion of the Project without certain tax increment financing incentives, and the Village has agreed (i) to contribute the Village Contribution (as hereinafter defined) at the times and in the manner provided in this Agreement, (ii) to assist in all reasonable and legally permitted ways to the approval of the PD (as hereinafter defined) and the vacation and conveyance of any public properties located within or adjacent to the Priority Area which are necessary for the completion of the Project in accordance with the Development Plan and (iii) to perform the obligations of the Village set forth herein.

ACCORDINGLY, for and in consideration of the foregoing Recitals and the agreements contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. **RECITALS/EFFECTIVE DATE:** The representations, covenants and recitations set forth in the foregoing Recitals are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though such Recitals were fully set forth in this Section 1, and this Agreement shall be construed in accordance therewith.

2. **PROJECT:** Village has heretofore, or shall hereafter, acquire all of the land comprising the Priority Area and any real estate and/or easements or other real property rights in and to certain areas located outside the Priority Area which shall be required to complete the Project (all such area, together with the Priority Area, is hereinafter referred to as the "Project Area"). Developer intends to (a) acquire all ownership and/or necessary right in and to the Project Area, excluding the real estate comprising approximately the West half of the North and Euclid Parking Parcel, underlying the Parking Garage (as hereinafter defined) and the Pedestrian Walkway (collectively, the parcels to be acquired by Developer are hereinafter referred to as the "Developer Parcels"); (b) apply for and obtain planned development approval(s) for the construction of the portions of the Project to be completed on the Developer Parcels, defined as the "PD" herein; and (c) together with the Village (as provided in this Agreement) demolish, remediate and construct the "Project" as set forth in this Section 2 and in accordance with the "Development Plan" defined in Section 3 hereof.

2.01 **Phase I.** The following shall constitute "Phase I" as referenced in this Agreement.

A. **Parking Garage and Pedestrian Walkway.** Developer shall contract for and construct, at the Village's sole costs and expense, (a) a multi-level parking garage structure, containing not less than 522 parking spaces, with each such space, except for required parking spaces for the disabled, having approximate dimensions of 8'-6" in width and 18'-0" in length, and with an aisle width of approximately 24'-0" ("Parking Garage"), to be constructed on a portion of the North and Euclid Parking Parcel as described in Exhibit B-1 ("Parking Garage Parcel"); and (b) the canopies, landscaping and other improvements to the Pedestrian Walkway, also legally described in Exhibit B-1 hereto ("Walkway Improvements"). The Parking Garage, Parking Garage Parcel, Pedestrian Walkway and the Walkway Improvements shall be owned and controlled by the Village.

B. **Condominium Project.** Developer shall construct, market, own and sell 32 residential condominium units and associated 52 parking spaces in a single building (collectively, the "Condominiums") and associated landscaping and common elements ("Condominium Project") on the Euclid and Lake Parking Parcel as described in Exhibit B-3 hereto ("Condominium Project Parcel").

C. Developer shall convey the Amoco site as provided under Section 6.01.B. below.



2.02 Phase II - Residential Townhomes ("Phase II"). Developer shall construct, market, own and sell 37 residential townhome units and 63 parking spaces in four buildings (collectively, the "Townhomes") and associated landscaping and common area improvements ("Townhome Project") on a parcel of land comprising in excess of the East half of the North and Euclid Parking Parcel as described in Exhibit B-2 hereto ("Townhome Project Parcel").

2.03 Phase III - Residential Apartments and Retail ("Phase III"). Developer shall construct, market, own, lease and manage or sell, subject to the provisions of Section 4.10 below, (a) 18 residential apartment units ("Apartments") and (b) approximately 6,000 square feet of commercial retail space ("Retail Space") in a single building ("Phase III Building"), including associated landscaping and site related improvements ("Apartment/Retail Project"), on the Fast Food Parcel in Exhibit B-4 hereto ("Apartment/Retail Building Parcel").

2.04 Miscellaneous Improvements. In connection with the foregoing, Developer and Village shall, as provided herein, complete (a) subsurface improvements located within the Developer Parcels, and not comprising Demolition Work or Remediation Work ("On-Site Improvements") and subsurface improvements located off the Developer Parcels and other public improvements, wherever located ("Off-Site Improvements"), (b) demolition of all other structures and certain public improvements located within the Project Area to a depth of 10 feet below grade ("Demolition Work"), and (c) remediate any environmental conditions or other hazards existing with respect to (i) the Developer Parcels (including off-parcel matters) which fail to meet I.E.P.A. standards (as evidenced by unconditional approval by the I.E.P.A.) for the type of project and/or structure to be constructed under this agreement or otherwise fail to satisfy the requirements of mortgage loan underwriting guidelines (including those promulgated under applicable FHA, VA, FNMA and/or FHLMC programs) or (ii) the Parking Garage Parcel or the Walkway Parcel which are necessary under applicable law for the construction, use and occupancy of the Parking Garage and/or the Pedestrian Walkway ("Remediation Work").

All labor and materials necessary for the completion of the Project are collectively referred to herein as the "Work".

3. DEVELOPER REPRESENTATIONS AND WARRANTIES: Developer hereby represents and warrants, to and for the benefit of Village, the following:

3.01 Existence/Authority. Developer is a limited liability company, duly organized and validly existing under the laws of the State of Illinois, fully qualified to do business in the State of Illinois, with power and authority to enter into this Agreement.

3.02 Authority/Conflict/Litigation/Financials. (i) Developer has the right and power and is authorized to enter into, execute, deliver and perform this Agreement; (ii) the execution, delivery and performance by Developer of this Agreement shall not, by the lapse of time, the giving of notice or otherwise, constitute a violation of any applicable law or breach of any provision contained in Developer's organizational documents, or any instrument or document to which Developer is now a party or by which it is bound; (iii) Developer is now solvent and able

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to pay its debts as they mature; (iv) there are no actions at law or similar proceedings which are pending or, to Developer's knowledge, threatened against Developer which would result in any material and adverse change to Developer's financial condition, or which would materially and adversely affect the level of Developer's assets as of the date of this Agreement; (v) Developer has obtained or shall obtain all government permits, certificates, consents and franchises necessary to continue to conduct its business and to own or sell, lease and operate its properties as now owned, sold or leased by it; (vi) the financial materials furnished by or on behalf of Developer to the Village ("Financials") fairly and accurately present the assets, liabilities and financial conditions and results of operations of Developer as of the dates thereof, and there has been no material and adverse change in the assets, liabilities or financial condition of Developer since the dates of the Financials and the date of this Agreement other than as a result of the ordinary and customary conduct of its business.

4. DEVELOPER OBLIGATIONS, COVENANTS AND AGREEMENTS: Subject to the terms and provisions of this Agreement, Developer shall have the following obligations with respect to the Project:

4.01 Submission of Development Plan. Developer has heretofore submitted to the Village the Project Plan and a conceptual site plan with regard to each Phase of the Project (the "Site Plans"), which Site Plans are attached hereto as Exhibit C and made a part hereof. The Site Plans consist of dimensioned depictions of the proposed phases of redevelopment to be completed within the Project Area, including conceptual elevations ("Conceptual Elevations"). On or prior to the Date of this Agreement, except as otherwise designated herein, with respect to each Phase of the Project, Developer shall submit the following to the Village for its approval:

A. Parking Garage/Public Walkway. On or prior to January 22, 2001, Developer shall submit to the Village, for Village approval, the design development drawings for the construction of the Parking Garage and Pedestrian Walkway prepared by Antunovich Associates ("Project Architect") in substantial accordance with the schematic drawings and Conceptual Elevations ("Garage/Walkway Design Development Plans") attached hereto as Exhibit C and with sufficient detail to enable construction firms to reasonably price bids. The Garage/Walkway Design Development Plans shall be submitted by Developer to at least three construction firms for preliminary estimates ("Preliminary Garage/Walkway Estimates"), which shall be submitted to the Village for approval no later than February 5, 2001. On or prior to March 5, 2001, Developer shall submit to the Village for permit ("Garage/Walkway Permit"), and to put out for final bid in accordance with state and local law ("Final Garage/Walkway Bids"), the complete construction drawings to be prepared by the Project Architect for the Parking Garage and Pedestrian Walkway ("Garage/Walkway Construction Drawings"). On or prior to March 19, 2001, Developer shall, after conducting a bid opening in accordance with published notice and state and local law, submit to Village the Final Garage/Walkway Bids and the proposed form of guaranteed maximum price construction contract ("Garage/Walkway Construction Contract Form") for acceptance no later than April 2, 2001. Provided that at least one of the Final Garage Bids is equal to or less than 10% in excess of the median Preliminary Garage/Walkway Estimates, then the cost thereof shall be deemed acceptable

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to the Village, otherwise, the Village may terminate this Agreement. Village shall accept the Garage/Walkway Contract and issue full construction permits on or prior to April 9, 2001. Notwithstanding the foregoing, in the event of a conflict between the foregoing dates and the dates set forth in the Project Schedule (as defined below) attached hereto as **Exhibit E**, the Project Schedule shall govern.

B. Phases I, II and III. Within thirty (30) days of the execution of this Agreement, Developer shall commence application for Planned Development approval pursuant to the requirements of Amended Article 22 of the Village Zoning Ordinance Relating to Planned Use Developments for the construction of Phase I, Phase II and Phase III (Phase III subject to Village or Developer obtaining interest sufficient to submit such application) of the Project, and the conditions and requirements of such approval shall be the development plan for Phases I, II and III (such plan after approval is referred to herein as the "PD", and the plans and specifications approved by the Village in connection with the PD are hereinafter referred to as the "PD Plans and Specifications").

C. Project Budget. A preliminary "Project Budget", setting forth all items of cost with respect to the acquisition and development of each Phase of the Project ("Project Costs") is attached hereto as **Exhibit D**.

D. Project Schedule/Completion Guaranty. A preliminary schedule with respect to the completion of each material aspect of the Project ("Project Schedule"). The approved Project Schedule is attached hereto as **Exhibit E**. Developer shall commence and complete the Project as set forth in the Project Schedule, subject to the terms and provisions of this Agreement.

E. Financing Plan. Financing Plan, identifying sources and amounts of financing for the payment of amounts set forth on the Project Budget which are the responsibility of the Developer ("Financing Plan"), which shall be attached hereto as **Exhibit F**. The Developer shall have no obligation to carry out the plan as presented, in whole or in part, and may change or amend such plan at any time. The only obligations of the Developer under the Financing Plan are to establish that the Developer is able to carry out the Financing Plan at the time of execution of this Agreement and that any amendment or change to the Financing Plan will be at least the equivalent of the original plan in its ability to finance the construction of the portions of the Project located on the Developer Parcels.

Each of the foregoing sections contained in this Section 4.01 shall be sometimes referred to herein as the "Project Plan" and/or the "Development Plan".

4.02 Construction/Acquisition of the Project. Developer covenants to construct the On-Site Improvements and other aspects of the Project as follows:

A. Phase I Parking Garage/Public Walkway. On or prior to April 2, 2001, but subsequent to the approvals by Village required in Section 2.01.A.1. above, Developer

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shall, as agent for the Village, enter into and perform under a construction contract, in form and substance substantially similar to the Garage/Walkway Construction Contract Form, with one of the Proposed Contractors selected by Village, for the construction and completion of the Parking Garage ("Parking Garage/Walkway Contract"). Developer shall receive a fee in an amount equal to five percent (5%) of the hard costs to develop the Parking Garage and Pedestrian Walkway Parcels with the fully operational Parking Garage and Pedestrian Walkway ("Parking Garage/Walkway Fee"); 20% of which Parking Garage/Walkway Fee shall be paid to Developer at commencement of construction, the next 60% paid in six equal amounts, each paid at the time of the next succeeding six monthly draws, with the remaining 20% paid to Developer upon the certification of substantial completion of the Parking Garage by the Project Architect. "Hard costs" shall be defined as the amount of the Parking Garage/Walkway Contract. The total Project Costs associated with the Parking Garage/Walkway development are hereinafter referred to as the "Parking Garage/Walkway Project Costs". Developer shall use its best efforts to provide and permit use and occupancy of the Parking Garage in phases (lower levels) prior to completion of the Parking Garage.

B. Phases I Condominium Project and Phases II and III. Developer shall acquire and pay for the Developer Parcels as provided below.

C. Covenant to Redevelop, Commence and Complete. Developer shall construct, or cause the construction of, each aspect of the Project for which it is responsible in substantial accord with (i) the Garage/Walkway Construction Drawings and the plans and specifications submitted for permit thereunder, with respect to the Parking Garage/Walkway and (ii) the PD Plans and Specifications with respect to the Phase I Condominium Project and Phases II and III, within the time periods specified in the Project Schedule and in material compliance with all applicable laws, rules, regulations and ordinances, subject to (i) the completion by the Village of its obligations that may be conditions thereto, including, without limitation, the acquisition and conveyance of the applicable portions of the Project Area in accordance with the terms of this Agreement, (ii) the issuance of permits, licenses and approvals for which timely application is made, and (iii) matters beyond the reasonable control of Developer, including, without limitation, weather conditions, material shortages, labor strikes, acts of God and the like (collectively, the "Permitted Delays"). Unless otherwise permitted by Village, Developer shall commence the construction of each Phase of the Project within sixty (60) days after all conditions to such commencement are satisfied hereunder, and (i) with respect to the Parking Garage, substantially complete construction within 365 days after commencement; provided, however, that Developer shall use its best efforts to complete a portion of the Parking Garage sufficient to obtain occupancy or the parking of approximately 200 ± vehicles on or prior to November 15, 2001; and (ii) with respect to each of the Phase I Condominium Project and Phases II and III, within 545 days of commencement, respectively, and in each case, subject to the Permitted Delays (in each case, "Completion"). Developer shall cause the Project to be completed by licensed contractors, and shall provide such guarantees, personal or corporate, as may be required by its construction lenders.

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4.03 Equity Commitment/Letter of Credit. On or prior to that date which is thirty (30) days prior to the date that the Village reasonably anticipates, based on the notification from Developer in Section 6.01.B. below, the conveyance of the applicable parcels comprising the Condominium Project Parcel, Phase II and Phase III, Developer shall provide Village with reasonable evidence that Developer has contributed, or has the financial ability to contribute, the "Developer Equity" component, calculated as the difference between the level of financing under the Financing Plan and the actual Project Costs for the acquisition of the Developer Parcels and the completion of the Phase I Condominium Project and Phases II and III of the Project, respectively. In addition to the foregoing, Developer shall provide to the Village an irrevocable letter of credit in face amount equal to \$500,000.00, issued at the request of the Developer by a financial institution reasonably acceptable to Village, naming Village as the beneficiary thereunder and in substantial conformity with the draft letter of credit attached hereto as **Exhibit G**. ("Letter of Credit"). The Letter of Credit shall be held by Village from and after the date of execution of this Agreement. The Letter of Credit shall be released by the Village in the event of (a) the termination of this Agreement for matters other than the default of Developer or (b) the substantial completion of the construction of the Project (which may not include Phase III in the event that Developer has not received conveyance of the Phase III Parcel and approvals to construct Phase III within the timeframes set forth herein).

4.04 Construction Financing. Developer shall obtain a commitment for Construction Financing for the construction of the Phase I Condominium Project and Phases II and III of the Project concurrently with the submission of evidence of the Developer Equity, as required above. Developer shall have the right to terminate this Agreement and the Village may draw the entire amount of the Letter of Credit in the event that the Developer cannot obtain acceptable construction loan financing, and upon termination, all rights of either party shall cease and all of the amounts deposited by the Developer with the Village, if any, shall be promptly returned to the Developer.

4.05 Payment of Charges/Village Payment. Developer shall pay when due, or if not known to be due, then within a reasonable time thereafter, all Charges (hereinafter defined) arising or incurred from and after the date hereof with respect to the Phase I Condominium Project and Phases II and III of the Project. In the event, at any time or times after the date hereof and prior to Completion, Developer shall fail to pay, bond or insure over the Charges, Developer shall so advise the Village thereof in writing, and the Village may, without waiving or releasing any obligation or liability of Developer under this Agreement, in its sole discretion, make such payment, or any part thereof, obtain a discharge, bond or insure over, or take any other action with respect thereto which the Village deems reasonably advisable or permissible, including, without limitation, no action if not due during the period of any protest period properly invoked by Developer. All sums so paid by the Village and any expenses, including reasonable attorneys' fees, court costs, expenses and other charges relating thereto, shall be payable by Developer to the Village within thirty (30) days after written demand. As used herein the term "Charges" shall mean all national, federal, state, county, Village, municipal and/or other governmental (or any instrumentality, division, agency, body or department thereof) taxes, levies, assessments, charges, liens, claims or encumbrances or non-governmental claims or liens

upon and/or relating to the Development Site or the Project which affect any interest of the Village in the Project Area or Project, and which are not otherwise the obligation of the Village.

4.06 Compliance With Laws. All portions of the Project to be constructed and completed by Developer shall be constructed and completed in accordance with the requirements of this Agreement and shall be in conformity with all applicable laws, ordinances and regulations. Developer shall be governed by, and shall use its best efforts to adhere to and obey any and all applicable federal, state and local laws, statutes, ordinances, rules, regulations and executive orders applicable to the Project as may be in effect from time to time.

4.07 Developer Meetings and Cooperation.

A. The Developer agrees to meet with and make presentations to the Village as the Village shall deem reasonably necessary and desirable to present and explain all or any portion of the Project, at times mutually agreeable to the parties, so long as any such meetings are conducted in accordance with all applicable laws of the State of Illinois and the ordinances of the Village.

B. The Developer hereby agrees to designate representatives of the Developer with full power and authority to meet with the Village's designated representatives, as hereinafter provided, for purposes of carrying out the provisions of this Agreement.

C. The Developer agrees to reasonably cooperate with the Village in the completion of construction of necessary public improvements and other Off-Site Improvements to be constructed by the Village on the Project and/or the Village Improvements Plans and Specifications, as applicable, and, if requested by the Village, will contract for the construction and completion of such improvements, at Village cost and expense.

4.08 Restrictions/Additional Covenants. Developer agrees that with respect to the construction and operation of the Project, it shall observe, and cause its agents and employees to observe, the following restrictions:

A. Develop the Development Site in accordance with the uses set forth herein;

B. Devote the Developer Parcels to the uses specified herein and in the PD and to limit the retail uses for the 6000 square foot retail space on the southwest corner of Lake and Euclid to uses which are accessory to the Project's residential uses and which are compatible with, and enhance the quality of and do not duplicate businesses existing in the Oak Park Avenue and Lake Street Retail Business District as of the date of this Agreement.

C. Not discriminate based upon race, color, religion, sex, national origin or ancestry, age, disability or sexual orientation in the sale, lease or rental, or in the use or

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occupancy of the Developer Parcels or any improvements located or to be erected thereon, or any part thereof; and

D. Use its best efforts to contract with minority and women owned firms certified as such by the City of Chicago, County of Cook or the State of Illinois, to perform work equal to at least 15% of the total cost to construct the Project and all uncommitted outside professional services (excluding those related to Project financing).

The Developer shall document its good faith efforts to obtain "minority and women business enterprise" ("MBE/WBE") participation in the Project. Criteria which the Village shall consider in assessing the Developers' efforts shall include, without limitation, the following:

(i) Advertising in forms of media, including one or more daily newspapers and/or trade publications, reasonably identified by the Village and/or an established MBE/WBE assist agency or agencies identified by Village, as likely to have a positive impact on MBE and WBE participation in the bidding process for the Project;

(ii) Creation and maintenance of a comprehensive list of certified MBE and WBE contractors, derived from the State, County and City of Chicago directories, the Village, or other MBE/WBE assist agencies identified by Village, from which the Developer actively seeks certified MBE and WBE contractor participation in the Project;

(iii) Using the services and assistance of the Village Purchasing Coordinator and other established MBE/WBE assist agencies identified by Village to obtain MBE/WBE participation in the Project (a list of such assist agencies is available from the Village Purchasing Coordinator);

(iv) Making timely written solicitations of available MBEs and WBEs, certified in the above-referenced directories as providers of relevant services; and providing all contractors, including MBE and WBE contractors, with an equal opportunity to review and obtain relevant plans, specifications or terms and conditions of the contract to enable them to prepare an informed response to a contractor solicitation;

(v) Following up initial solicitation of MBEs and WBEs by contacting them to determine if the enterprises are interested in making bids; and

(vi) Participation in reasonable business development activities which expand MBE and WBE capability, capacity and opportunity, such as management and technical assistance, bonding assistance and the establishment of mentor-protégé relationships or joint ventures with MBE/WBEs.

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Village and Developer acknowledge that Developer shall not be obligated to solicit bids from more than six (6) contractors with regard to any aspect of the Project, of which, not less than two (2) shall be solicited from MBE and/or WBE certified contractors as hereinabove provided.

The Developer shall submit monthly reports to the Village Purchasing Coordinator and/or its designee. Each report will be reviewed by the Village Purchasing Coordinator and/or its designee and will be deemed acceptable unless the Village shall issue written objection thereto within five business days after receipt. The Developer shall also document in the report actual MBE and WBE participation in the Work by identifying the MBE and WBE source of certification and providing copies of such certification when requested and the amount of the MBE and WBE contract. Finally, the Developer shall document in the report the stated reasons for non-compliance participation from MBE/WBE contractors interviewed by the Developer with regard to same. Failure of the Developer to provide evidence of, and/or document, its good faith efforts shall be construed as a default under this Agreement. Developer incentives for enhanced MBE/WBE participation above 15% are set forth below in Section 6.12.

4.09 Indemnity. Except with respect to matters that arise out of the willful misconduct or negligence of the Village, its trustees, agents, contractors and/or employees, Developer hereby agrees to indemnify, defend and hold the Village harmless from and against any costs, damages, liabilities, claims, suits, actions, causes of action and expenses (including without limitation, reasonable attorneys' fees and court costs) suffered or incurred by the Village arising from or in connection with (i) willful or negligent acts of the Developer, its agents, contractors and/or employees; or (ii) material misrepresentations or omissions in this Agreement or any of Developer's Financials; or (iii) the failure of Developer to cure or otherwise correct any material misrepresentations or omissions in this Agreement or any other agreement relating hereto including the Developer's financials; or (iv) any violation, which occurred during or after the time Developer owned and/or controlled, as applicable, the Project Area and as a result of Developer's acts and/or the acts of Developer's agents, of any applicable statute, rule or regulation for the protection of the environment ("Environmental Violation"), which occurs or is alleged to occur upon the Project Area or in connection with the imposition of any governmental lien for the recovery of environmental clean-up costs expended by reason of Environmental Violation; provided that to the extent that the Village is strictly liable or alleged to be strictly liable in respect to the Project Area under any such environmental statute as a result of the Environmental Violation, Developer's obligation to the Village under this indemnity shall likewise be without regard to fault on the part of Developer, who will also indemnify the Village with respect to the Environmental Violation which results in liability to the Village. The indemnity in subsection (iv) shall not apply to any act or omission resulting in the Environmental Violation which arises from the Village's own negligence or which arose upon any portion of the Project Area prior to the date upon which Developer acquired title thereto or control thereof.

4.10 Ownership and Management. The Developers shall continue to own and provide management for Phase III for a period of five (5) years from the date of completion of Phase III. The Developer may, however, convey title to all or a portion of Phase III (it being understood

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that the residential and commercial components may be separated) prior to the expiration of the five (5) year term of ownership, if the Developer conveys title to a new owner with at least the equivalent financial resources and retail and residential management ability (as applicable) as the Developer.

5. VILLAGE REPRESENTATIONS AND WARRANTIES: Village hereby represents to and for the benefit of Developer, and its permitted successors and/or assigns, as follows:

5.01 Existence/Authority. The Village is a municipal corporation under the laws of the State of Illinois with power and authority to enter into this Agreement and to consummate the transactions contemplated hereby.

5.02 Conflict. The execution of this Agreement and the consummation of the transactions contemplated hereby will not result in any breach of, or constitute a default under, any agreement, contract, lease, mortgage, indenture, deed of trust or other instrument to which the Village is a party.

5.03 Litigation/Proceedings. There are no actions, suits or proceedings pending, or to the knowledge of the Village threatened, against or affecting the Village, at law or in equity, or before any governmental authority, with the exception of potential eminent domain proceedings with regard to Unowned Land (defined below), which, if adversely determined, would impair the Village's ability to perform its obligations under this Agreement.

5.04 Board Action. All actions of the President and Board of Trustees of the Village required to be taken to authorize execution of this Agreement have been validly and duly taken in accordance with the law and the officers of the Village signing this Agreement have been duly authorized to execute this Agreement on behalf of the Village.

6. VILLAGE OBLIGATIONS, COVENANTS AND AGREEMENTS: Subject to the terms and provisions of this Agreement, Village shall have the following obligations with respect to the Project:

6.01 Acquisition/Conveyance Of Project Area. The Village currently owns the portion of the North and Euclid Parking Parcel, the Pedestrian Walkway and the Euclid and Lake Parking Parcel, as legally described in Exhibit B-5 hereto ("Owned Land"), and intends to and shall have the obligation hereunder to acquire good and marketable fee simple title to all remaining portions of the Project Area not currently owned by Village, each as legally described in Exhibit B-6 hereto, and including, without limitation the portion of the Euclid and North Parking Parcel, currently improved with a bank drive-through facility, and the Fast Food Parcel (collectively, the "Unowned Land"), whether through negotiated agreements or eminent domain, or both. The Village shall use amounts on deposit in the Village Fund to acquire the Unowned Land. The Village shall acquire, and convey the Project Area, or portions thereof, on the terms and conditions generally set forth herein and specifically as provided in this Section.

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A. Phase I. Village shall acquire all of the Parking Garage Parcel on or prior to the earlier of March 1, 2001 and the date upon which construction of the Parking Garage is scheduled to commence. Village shall retain ownership of the Parking Garage Parcel and the Pedestrian Walkway and shall have no obligation to convey such land to the Developer.

B. Condominium Project, Phase II and III Conveyance/Purchase Price. Village shall convey to Developer all Owned Land and shall acquire and convey to Developer any Unowned Land, if any, and Developers shall purchase all such land comprising (a) the Condominium Project Parcel upon forty-five (45) days prior written notice from Developer, which notice shall be given by the Developer within one hundred fifty (150) days of the execution of this Agreement. (b) Phase II of the Project ("Phase II Project Area") within forty-five (45) days after the execution of the Certificate of Occupancy for any portion of Phase I and (c) Phase III of the Project ("Phase III Project Area") within twenty-seven (27) months after the date hereof (each a "Mandatory Conveyance Date"). In addition, Village shall immediately commence and thereafter diligently prosecute eminent domain action with respect to the Phase III Project Area in the event that the Village has not entered into a non-contingent, binding, agreement for sale or relocation with the owner of record of, and any leasehold interests in, the Phase III Project Area, so that closing of the conveyance thereof to Developer may occur on or prior to the Mandatory Conveyance Date. Village shall convey to Developer on the terms hereof fee simple title to (a) the Condominium Project Parcel for an acquisition price of \$864,000.00, (b) the Phase II Project Area for an acquisition price of \$1,110,000, and (c) the Phase III Project Area for an acquisition price of \$265,000.00, taking into consideration and deducting therefrom (or remitting to Developer, as applicable) the amount of the acquisition cost incurred by Developer with respect to the direct acquisition of any part of the Project Area, if applicable. Village shall provide Developer with preliminary title reports for each of the Condominium Project Parcel and the Phase II and III parcels within sixty (60) days after the date of this Agreement. If the Developer does not initiate construction hereunder on any of the development parcels within twelve (12) months of conveyance of same to Developer, subject to Permitted Delays, the Developer shall, at the Village's option, convey such undeveloped parcel(s) back to the Village for the same amount paid by the Developer for the parcel(s).

On or prior to the date of this Agreement, Developer has provided to the Village all acquisition materials in connection with the acquisition of the northwest corner of Euclid Avenue and Lake Street ("Amoco Site"), as described in Exhibit B-7 hereto, including, without limitation, all environmental site assessments and reports pertaining to the Amoco Site, whether prepared by the seller thereof or for the Developer (collectively, the "Amoco Site Environmental Materials"). Within thirty (30) days after the date of this Agreement, Developer shall convey the Amoco Site to the Village by recordable Warranty Deed, including all assignable warranties from the seller, for a sum equal to the acquisition cost thereof, plus all costs incurred by Developer (or its nominees) in connection therewith as outlined in Exhibit H attached hereto ("Amoco Site Acquisition Cost"). As a condition precedent to the Village's acquisition, Village shall have

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reasonably satisfied itself on the basis of a review of the Amoco Site Environmental Materials and such other opinions as it shall deem reasonably necessary, that the Amoco Site complies with applicable environmental laws at the time of such acquisition and, upon identified remediation acceptable to the Village, will comply with the construction and use of the anticipated restaurant/retail use referenced below. If Village has acquired title to the Amoco Site, and if at any time within eighteen months of the date hereof the Village provides the Developer with notice of its intention to construct a \_\_\_\_\_ square foot restaurant/retail building on the Amoco Site consistent with the Conceptual Plans attached hereto as Exhibit C, the Developer shall, within ninety (90) days of receipt of such notice, submit complete construction drawings prepared by the Project Architect for such restaurant/retail building ("Fast Food Restaurant Plans") to the Village for review and approval. Once the Village approves the Plans, which review and approval process shall take place within thirty (30) days of the Village's receipt of the Fast Food Restaurant Plans, the Developer shall submit them to at least three (3) contractors for the purpose of soliciting estimates and shall submit to the Village final bids obtained in accordance with state and local laws and a proposed guaranteed maximum price construction contract for acceptance by the Village no later than forty-five (45) days after plan approval by the Village. If the lowest, responsible, final bid is within 10% of the estimated cost of construction of \$ \_\_\_\_\_ per square foot (plus applicable site and soft costs), the cost shall be acceptable to the Village. Otherwise, the Village may seek to contract with another contractor for the construction of such restaurant/retail building and the Mandatory Conveyance date for the Phase III Project Area shall be extended for an additional nine (9) months. If Village has acquired title to the Amoco Site, and if the Village does not provide the Developer with notice of its intent to construct a restaurant/retail building on the Amoco Site within eighteen (18) months of the date of this Agreement, the Village, at the Developers option, shall reconvey title to the Amoco Site to the Developer in consideration of the return of the Amoco Site Acquisition Cost.

C. Conditions and Agreement for Conveyance. Village and Developer agree that the following shall be conditions and requirements relating to the conveyance and sale by Village and acceptance and purchase by Developer of applicable portions of the Project Area:

(i) Physical Condition: Developer shall not be obligated to accept a conveyance of the Project Area unless and until it is conveyed in condition ready for the construction of the applicable portion of the Project, which shall include, without limitation, the completion by or on behalf of the Village of all Village Improvements designated for completion prior to construction in accordance with the applicable PD Plans and Specifications, at no cost or expense to Developer unless otherwise accepted by Developer, in writing, and on terms and conditions acceptable to Developer, in its sole and absolute discretion.

(ii) Escrow, Closing and Permitted Exceptions: The conveyance of the applicable portions of the Project Area hereunder shall be consummated through a "New York Style" deed and money escrow ("Deed and Money Escrow") with

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Chicago Title and Trust Company ("Escrowee"), on the following terms and conditions and such additional terms and conditions as agreed to between Village and Developer in the instructions for the Deed and Money Escrow ("Escrow Instructions").

D. Fee Simple Title. Village shall convey good and marketable fee simple title to the Condominium Project Parcel and the Phases II and III Project Areas by recordable warranty deed or other appropriate instrument acceptable to Developer ("Deed"), subject only to the following ("Permitted Exceptions"):

(i) Covenants, restrictions and easements of record acceptable to Developer and which, in the sole opinion of Developer, do not render the Project Area, or any portion thereof, unsuitable for the purposes of constructing and operating the applicable portion of the Project to be constructed thereon in accordance with the PD Plans and Specifications (if there are any objectionable conditions, then Developer shall notify Village in writing of the same, which shall be considered and treated hereunder as a "Defect" as provided below); and

(ii) General real estate taxes for the current or future years after Closing Date; and

E. Title Insurance/Survey. The Developer shall contract for and obtain the following, at the sole cost and expense of Village:

(i) A commitment for an ALTA Form (1992) Owner's Policy of Title Insurance for the Project Area ("Title Commitment"), issued by Chicago Title Insurance Company ("Title Company"), which shall be dated down as of a date not more than thirty (30) days prior to the anticipated date of the delivery and recording of a Deed with respect to any portion of the Project Area, with copies of all documents referenced in Schedule B to such Title Commitment. The Title Commitment shall commit to the issuance of a policy insuring fee simple ownership in the Project Area as of the date of the recording of the applicable Deed, with extended coverage over all general exceptions and with affirmative coverage over exclusions relating to creditors' rights, subject only to the Permitted Exceptions, and containing endorsements as shall be reasonably required by Developer ("Policy"). The Policy shall be in the amount of the current market value of the applicable portions of the Project Area conveyed.

The Village shall bear all costs and charges in connection with the issuance of the Policy, the costs of any applicable transfer taxes and the cost of recording this Agreement, the Deed and any other release or conveyance documents necessary to convey fee simple title to Developer as provided herein. Developer shall bear all costs and charges in connection with recordation of any security documents for any mortgage financing it obtains. Except to the extent provided herein to the contrary, Village and Developer shall share equally all escrow fees in connection

with the Deed and Money Escrow and other closing costs charged by Title Company or Escrowee which are customarily divided between a seller and purchaser of real estate.

(ii) A currently dated survey of the Condominium Project Parcel and the Phases II and III Project Areas, prepared and certified to Developer, Village, Title Company, Developer's lender and such other parties as may be required by Developer by a registered Illinois land surveyor to the applicable standards promulgated by the American Land Title Association and the American College of Surveying and Mapping under the 1997 revision of the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys for Urban Real Estate and including items 1-4, 6-11 and 13-16 from Table A to such requirements, showing no matters which could in any way impair the Developer's ownership rights in, or intended use of the subject property, or which are not otherwise Permitted Exceptions hereunder ("Survey"). Without limiting the foregoing, the surveyor shall certify the classification of the Project Area under applicable FEMA maps.

(iii) In the event that any matter arises that is not a Permitted Exception or otherwise accepted by Developer ("Defect"), then Developer shall, at its sole option have the right to (a) terminate this Agreement, (b) agree to extend the date of the acquisition of the Project Area to permit the Village additional time to remove or cause the Title Company to insure over such Defect, or (c) agree to take title to the applicable portion of the Project Area as it then is, with the right to deduct from the purchase price, or if in excess of the purchase price, to charge the Village, amounts as will discharge, remove or cure any Defect which may be removed by the payment of a definite and ascertainable sum of money, not to exceed \$50,000 without Village approval or consent.

F. Prorations. Real Estate taxes then due and payable and all such other taxes, assessments, liens and charges of whatever nature which are then due and payable or which shall be due and payable at any time in the future and which affect the Project Area shall be paid in full and removed as a lien or charge against the Project Area prior to delivery of the Deed. The Village shall extend a credit to Developer as of the date of closing for all then unpaid general real estate taxes up to and including the date of Closing, calculated on the basis of the last ascertainable tax bill for the Project Area. The credit shall be subject to reparation at such time as the actual tax bill(s) is issued for such Project Area, at which time, the Village or Developer, as the case may be, shall pay the amount of the over payment or under payment, as applicable, within thirty (30) days after written demand from the other party.

G. Village Documents. Village shall deliver or cause to be delivered the following documents to the Escrowee at the time of the closing:

- (i) the Deed;

- (ii) an Affidavit of Title;
- (iii) a Warranty Bill of Sale conveying and warranting from the Village to Developer title to any personal property, if any, free and clear of all encumbrances;
- (iv) all documentation required by Section 1445 of the Internal Revenue Code of 1986, as amended from time to time, including without limitation, an affidavit from Village that it is not a "foreign person" as defined in such Code;
- (v) GAP undertaking; and
- (vi) ALTA loan and extended coverage statement, along with utility letters and other items required by the Title Insurer to insure over each of the five (5) general exceptions, as contained in the Title Commitment.
- (vii) Developer shall deliver to the Escrowee an ALTA loan and extended coverage statement, GAP undertaking and the purchase price, in cleared funds.
- (viii) Village and Developer shall jointly deposit with Escrowee state and city transfer tax declarations and a closing statement.

H. Environmental Audit. Prior to and as a condition precedent to Developer's obligation to purchase the Project Area and/or commence the Project, the Village, at its sole cost and expense (whether by direct payment or as a direct credit against the purchase price referenced above, if applicable), shall cause a complete and/or deliver a Phase I (or higher) environmental audit and report ("Environmental Audit") of the Project Area, with a copy thereof delivered and certified to Developer by the firm preparing the Environmental Audit. Developer shall have sixty (60) days thereafter to comment upon the Environmental Audit and its findings. To the extent to which the Environmental Audit indicates the need for an environmental remediation of any type, such remediation shall constitute a part of the Remediation Work, and shall be completed at such time as to permit the conveyance of the Project Area in the condition and in the manner herein required on the applicable Mandatory Conveyance Date. Notwithstanding the foregoing, in the event that, in the opinion of the Developer, after the Developer has had its opportunity to review and comment upon the Environmental Report, the necessary remediation would take an unreasonable amount of time in relation to the Project, then this Agreement may be terminated at the election of Developer within sixty (60) days of receipt of the certified Environmental Audit.

6.02 Village's General Project Obligations. In addition to the other obligations of the Village hereunder, Village shall have the obligation and responsibility for the payment of all costs associated with the (A) completion of any Demolition Work or Environmental Remediation Work, (B) correction of any subgrade and/or soil conditions necessary for the construction of the Public Garage only upon the Project Area, (C) construction of all Off-Site Improvements and

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public improvements relative to the Project, such as necessary relocation of utilities, and other such public accommodations and improvements such as installation of traffic control devices and sidewalks as the Village in its sole discretion may deem necessary, but not inconsistent with conceptual plans and the PD Plans and Specifications (to minimum Village specs) and including traffic signalization at Euclid and Lake and, specifically, including relocation of utilities in the alleyway behind the Phase III Parcels for the construction, use and occupancy of the Project, and (D) the costs to construct and equip the Parking Garage and complete the Walkway Improvements (all of the foregoing being hereinafter collectively referred to as the "Village Improvements"). The Village Improvements shall be completed on a timely basis to permit conveyance of the Developer Parcels on or prior to the Mandatory Conveyance Date and the construction and completion of the Project as outlined in the Project Schedule, subject to Permitted Delays.

Subject to the provisions of this Section and Section 4, Village shall fund the Parking Garage Project Costs and the Walkway Improvements Project Costs on the date of the commencement of the Parking Garage into a Construction Escrow (the "Parking Garage and Walkway Improvements Escrow") with the Title Company, disbursed as provided herein and in the Parking Garage Contract, subject to the requirements of the escrow agreement establishing the Parking Garage and Walkway Improvements Escrow; which agreement shall be entered into between Village, Developer and Title Company in the form reasonably acceptable to Village and Developer and which shall include, but not be limited to, requirements for lien waivers and the submittal of a detailed Owners Sworn Statement with regard to each draw thereunder.

6.03 Redevelopment Incentives/Additional Village Costs. In consideration of the Developer undertaking and completing the Project as herein specified, the Village agrees (A) to convey to the Developer the Phase I Condominium Project Area and the Phases II and III Project Areas as provided in this Article, which may require the Village to write-down all or a portion of the acquisition cost, (B) to complete the Village Improvements without cost to the Developer, (C) vacate and convey without additional cost to Developer portions of existing roadways within the Project Area as shall be reasonably necessary to permit the construction, use and operation of the Project in accordance with the PD, (D) allocate six (6) parking spaces within the Condominium Project Parcel and a portion of the Condominium Project Parcel adjacent to such spaces of sufficient size to accommodate the Developer's sales trailer/facility and sales operations for the Project from and after the date of the execution of this Agreement and prior to the acquisition of the Condominium Project Parcel by Developer, (E) permanently allocate parking spaces at current parking permit rates within the Parking Garage for the use of, and in adjacent proximity to, the Phase III Project sufficient to obtain a 1.5:1 parking ratio for the Apartments (such parking requirement shall be evidenced by separate agreement and shall be appurtenant to, bind and run with the Phase III Project Area and the Parking Garage Parcel), (F) to pay to Developer the Parking Garage Fee as provided in Section 4 above, and (G) to contribute such additional amounts to pay TIF Eligible Costs (as defined below) for which Village is obligated to pay hereunder (such sums and agreements being referred to herein as the "Village Contribution"). For purposes hereof, the term "TIF Eligible Costs" shall mean and refer to those costs of the Project which are permitted for reimbursement under the Act.

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6.04 Village's Assistance/Zoning and Approvals. The Village hereby agrees to designate representatives to meet with the Developer's designated representatives, as hereinabove provided, for the purpose of planning and defining the obligations to be undertaken for implementing the construction and completion of the Project and the approval of the PD and the PD Plans and Specifications; provided, however, that any action authorizing the implementation, execution or delivery of any additional agreements shall be by the Village Board in accordance with all applicable laws and procedures, it being understood that the Village Board shall have the sole authority to approve additional agreements; which authorizations and approvals shall not be unreasonably delayed or withheld if such additional matters are in substantial conformity with the Project Plan as contained in this Agreement. The Village will assist the Developer in securing and obtaining, in an expeditious manner, all necessary governmental approvals, consents, permits, licenses, authorizations and easements reasonably necessary or required for the development and construction of the Project. As a condition precedent to each Phase of construction, the Village shall, to the extent necessary, assist Developer in the rezoning of the applicable portions of the Project Area to accommodate the applicable portion of the Project to be constructed in accordance therewith and/or grant the PD as described herein and to assist in the granting of any variations requested by the Developer which are consistent with the Project as outlined in this Agreement. If rezoning or a special use or planned development is required, and the Village does not so rezone and/or grant the special use for a planned development and any related variations for the applicable portion of the Project, in substance acceptable to the Developer when the same shall be necessary for the completion of the Project in accordance with the Project Schedule, then, at the election of the Developer, this Agreement shall terminate.

6.05 Issuance of Additional Bonds. In the event that amounts on deposit in the Village Fund shall be insufficient to pay for costs of the Project for which the Village is responsible, and to the extent other sources of funds are unavailable to timely pay such amounts, Village covenants and agrees to use its best efforts to the maximum extent permitted by law to issue, to sell and to deliver the Additional Bonds pursuant to the provisions of the Act and the Local Government Debt Reform Act for the purpose of paying costs of the Project required to be paid by Village.

6.06 Certificate of Completion. After completion of the construction of each Phase of the Project in accordance with this Agreement, the Village shall promptly, at Developer's request and in accordance with then generally applicable Village's Ordinances, furnish Developer with an appropriate instrument so certifying such completion ("Certificate of Completion"). The Certificate of Completion shall be a conclusive determination of satisfaction and termination of the covenants in this Agreement with respect to the obligations of Developer and its successors and assigns to construct or cause to be constructed such Phase of the Project. The Certificate of Completion shall be in such form as will enable it to be recorded with the Cook County Recorder's Office. The Village shall respond to Developer's written request for a Certificate of Completion within fifteen (15) business days after the Village's receipt thereof, either with the issuance of a Certificate of Completion or with a written statement indicating in adequate detail how Developer has failed to complete the construction in conformity with this Agreement, and what measures or acts will be necessary, in the reasonable opinion of the Village, for Developer to take or perform in order to obtain the Certificate of Completion. If the Village requires

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additional measures or acts of Developer to assure compliance, Developer shall resubmit a written request for a Certificate of Completion upon compliance with the Village's response, given as provided above.

6.07 Utility Connections. The Village hereby agrees to permit the connection of all water lines, sanitary and storm sewer lines constructed or to be constructed for the Project located within the Project Area or Village utility lines existing or constructed at and around the perimeter of the Project Area, provided that Developer complies with all requirements of general applicability promulgated by the Village for such connections.

6.08 Permit Fees. The Village hereby agrees that Developer shall be obligated to pay, in connection with the development of the Project, only those building, permit, engineering, tap on, and inspection fees that are assessed on a uniform basis throughout the Village and are of general applicability to other property within the Village with respect to all portions of the Project which are not related to the Village Improvements, or which shall be the responsibility of the Village even though such portions of the Project may be performed by Developer at the request and direction of the Village.

6.09 Signs. The Village agrees to permit Developer to construct, install and maintain signs in conformance with the Village Code in and around the Project Area for itself, its lenders and contractors, as applicable.

6.10 Indemnity. The Village will indemnify and hold harmless the Developer from any and all costs, expenses, cause of action or judgments as may result from or arise out of the willful or negligent acts of the Village, its trustees, agents, contractors and employees, or as a result of any Default by the Village or which relates to any adverse environmental conditions existing on the Project Area prior to Developer acquiring title to any portion thereof or which, regardless of the acquisition of title, are as a result of the acts or omissions of the Village, its trustees, agents, contractors or employees. Such indemnification shall include indemnifying the Developer for the cost of any required cleanup or remediation as well as any fines, penalties, costs, fees and expenses suffered or incurred in connection therewith. If at any time subsequent to acquisition by the Developer of all or any portion of the Project Area any unacceptable environmental conditions or other hazardous substances are discovered on such conveyed portion, then the Village shall have the option of either performing the remediation and/or cleanup within a reasonable time, or immediately indemnifying the Developer prior to the Developer taking any remedial or cleanup action. If the Developer does not provide the Village with the reasonable opportunity to exercise the option to perform any cleanup or remediation, the Village shall be relieved of the responsibility to indemnify the Developer. If the Developer is notified of any such cost, fine, penalty, fee, expense or cause of action for any condition on the Priority Area, which existed prior to the time the Developer acquired title to the Priority Area or which is as a result of the acts or omissions of the Village, its trustees, agents, contractors or employees, then the Developer shall give the Village written notice of any such notification, and the Village may, in its discretion, choose to defend Developer against any such cost, fine, penalty, fee, expense or cause of action, and if the Village assumes any such defense, the

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Developer shall cooperate with the Village in any manner required to provide an appropriate defense.

6.11 Mortgagees. Notwithstanding any of the provisions of this Agreement, the holder of any mortgage who obtains title to the Project Area or any part thereof as a result of foreclosure proceedings, deed in lieu thereof, or otherwise as a result of a realization upon the interests of the Developer serving as collateral security for debt relating to the Development Site, shall in no way be obligated by the provisions of this Agreement to construct or complete all or any portion of the Project. The failure to complete the Project will, however, cause the Village to draw on the full amount of the Irrevocable Letter of Credit.

6.12 MBE/WBE Incentive Payments. The Village will provide the Developer with the following incentives in the event that the Developer is able to achieve MBE/WBE participation in the performance of the Project at the following levels:

20%	=	\$25,000.00
25%	=	\$50,000.00
30%	=	\$75,000.00
35%	=	\$100,000.00

Total MBE/WBE participation in the Project shall be determined at the completion of the project and may result in a cash payment of the incentive or as a credit against the purchase price of the parcel(s).

## 7. PERFORMANCE/DEFAULT/TERMINATION:

7.01 Time of the Essence. Time is of the essence of this Agreement.

7.02 Failure to Perform/Default. Upon a failure of either party in the performance of their respective obligation hereunder which rises to the level of a Default (as hereinafter defined), either of the parties in any court of competent jurisdiction, by any action or proceeding at law or in equity, may secure the specific performance of the covenants and agreements herein contained or may be awarded damages for failure of performance or both. Before any failure of any party to this Agreement to perform its obligations hereunder shall be deemed to be a "Default" hereunder, the party claiming such failure shall notify, in writing, the party alleged to have failed to perform of such perceived failure and shall demand performance. No Default shall be deemed to have occurred hereunder if performance has commenced to the reasonable satisfaction of the complaining party within thirty (30) days of the receipt of such notice.

7.03 Delay. For the purposes of any of the provisions of this Agreement, neither the Village nor Developer, as the case may be, nor any successor in interest, shall be considered in Default in its obligations under this Agreement in the event of any delay in the nature of a "Permitted Delay" (defined above); nor shall either the Village or Developer be considered in Default in its obligations under this Agreement in the event of any delay resulting from the conduct of any judicial, administrative or legislative proceeding or caused by litigation or

proceedings challenging the authority or right of the Village to act under the Development Plan, or any of the ordinances, to perform under this Agreement. The Village shall diligently contest any such proceedings and any appeals therefrom. The Village may settle a contested proceeding at any point, so long as the settlement results in the Village's ability to perform pursuant to this Agreement and so long as any such settlement does not impose additional obligations on Developer or increase its obligations under this Agreement. Provided, however, that the party seeking the benefit of the provisions of this Section 7.03 shall have, within ten (10) days after the beginning of any such enforced delay, notified the other party in writing of such delay and of the cause or causes thereof, and requested an extension for the period of the enforced delay.

7.04 No Waiver by Delay. Any delay by the Village in instituting or prosecuting any actions or proceedings or in otherwise exercising its rights shall not operate as a waiver of such rights or to deprive it of or limit such rights in any way (it being the intent of this provision that the Village and the Developer should still hope to otherwise resolve the problems created by any Default involved). No waiver in fact made by the Village with respect to any specific Default by Developer should be considered or treated as a waiver of the rights of the Village with respect to any other Defaults by Developer or with respect to the particular Default except to the extent specifically waived in writing. No waiver in fact made by the Developer with respect to any specific Default by Village should be considered or treated as a waiver of the rights of the Developer with respect to any other Defaults by Village or with respect to the particular Default except to the extent specifically waived in writing.

7.05 Defaults by Developer. The occurrence of any one of the following shall constitute an Event of Default by the Developer under this Agreement:

A. A default of any term, condition or provision, contained in any agreement or document relating to the Project (other than this Agreement) or the Developer's operating agreement, which would materially and adversely impair the ability of the Developer to perform its obligations hereunder, and the failure to cure such default within thirty (30) days after Village's written notice of such default or in the time and manner as may otherwise be provided herein or therein as applicable;

B. Failure to comply with any material term, provision or condition of this Agreement within the times herein specified and which has not been cured by Developer within thirty (30) days after written notice from Village of each failure;

C. A material representation or warranty of the Developer contained herein is not true and correct in material respects for a period of thirty (30) days after written notice to the Developer by the Village and has a material and adverse effect on the Project;

D. The Developer shall: (1) make a general assignment for the benefit of creditors or to an agent authorized to liquidate any substantial amount of its or their property; or (2) be adjudicated a bankrupt; or (3) file a petition in bankruptcy or to effect a plan or other arrangement with creditors; or (4) file an answer to a creditor's petition

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(admitting the material allegations thereof) for an adjudication of bankruptcy or to effect a plan or other arrangement with creditors; or (5) apply to a court for the appointment of a receiver for all or a substantial portion of its assets; or (6) have a receiver or similar official appointed for any of its assets, or, if such receiver or similar official is appointed without the consent of the Developer and such appointment shall not be discharged within sixty (60) days after his appointment or the Developer has not bonded against such receivership or appointment; or (7) a petition described in (3) is filed against the Developer and remains undismissed for a period of sixty (60) consecutive days, unless the same has been bonded or (8) the Developer has failed to renew the Irrevocable Letter of Credit with thirty (30) days of the date of its expiration and the Project has not yet been completed.

Except as otherwise provided in this Agreement, upon an occurrence of a Default by the Developer, which is not cured within applicable cure periods as hereinabove set forth, the Village shall be relieved of any and all of its obligations arising pursuant to this Agreement, and such obligations on the part of the Village shall be immediately cancelled and without any force or effect, the Letter of Credit, to the extent still in Village's possession, may be drawn upon by the Village, and the Village may take whatever action at law or in equity as may appear necessary or desirable to enforce performance and observance of any obligation, undertaking, covenant or agreement of the Developer set forth in this Agreement. If the Village receives delivery of the full amount of the Letter of Credit, such amounts shall be the sole and exclusive remedy of the Village for recovery of monetary damages hereunder, but shall not preclude any non-monetary remedies the Village may have.

7.06 Defaults by Village. In the event that the Village is unable to perform its obligations and duties under this Agreement at the time and in the manner herein prescribed, or if the Village is in Default under this Agreement after expiration of applicable cure periods, the Developer shall be entitled to reimbursement of all costs, fees and expenses incurred by Developer in performing under this Agreement; which costs, fees and expenses shall include, without limitation, all acquisition, planning and zoning costs; interest and financing costs; costs of surveys, plans, drawings, studies and other Project related materials; architectural, engineering and development fees; and the fees of professionals employed in connection with the Project and this Agreement ("Developer Reimbursement"), subject, however, to Developer reconveying any portion of the Project Area theretofore conveyed to Developer and upon which substantial construction has not commenced ("Developer Reconveyance").

7.07 Termination. In the event that this Agreement is terminated at any time by Developer or Village as permitted hereunder where no Event of Default shall exist, then in such event, this Agreement shall terminate and Village shall disburse the Developer Reimbursement to Developer and Developer shall complete the Developer Reconveyance of all project parcels to the Village concurrently therewith.

8. INSURANCE:

8.01 Construction. The Developer agrees that during such periods that the Developer is constructing improvements on the Project Area ("Developer Improvements"), and the Village agrees that at all times it is required to construct any Village Improvements, the Developer, as to the Developer Improvements not comprising any Village Improvements, and the Village, as to the Village Improvements, will cause the same to be insured (or as to the Village, self-insured), at no expense to the other party hereto, against loss or damage by fire, windstorm, hail, explosion, riot and civil commotion, damage from aircraft and vehicles and smoke damage, and such other risks as are from time to time included in "extended coverage" endorsements (including during construction thereof builder's risk insurance) in an amount and form so that the proceeds are sufficient to provide for actual replacement of the respective Improvements. Said insurance policies of the Developer and the Village (or self-insurance plan of the Village, if applicable) shall provide, respectively, for waivers of subrogation against the other. Each of the parties agrees to waive all rights of recovery as against the other party hereto arising from loss or damage caused by the perils enumerated above and agrees that any policies obtained under these provisions shall be endorsed accordingly.

8.02 Liability. In addition, the Developer and the Village also will, at their own expense, maintain or cause to be maintained general public liability insurance (or, as to the Village, self-insurance) against claims for personal injury or death and property damage occurring upon, in or about their respective Improvements, such insurance in each case to afford protection to the limit of not less than \$2,000,000 in respect of injury or death to one or more persons arising out of any one occurrence, and such insurance against property damage to afford protection to the limit of not less than \$1,000,000 in respect of any instances of property damage and umbrella coverage of not less than \$5,000,000. The Developer shall have the Village named as an additional insured on its general public liability insurance policy and shall deliver or cause to be delivered to the Village a current certificate of insurance in the required amounts, identifying the Village as an additional insured on the face of said certificate. The Developer shall provide the Village with notice and a new certificate of insurance immediately if any change in insurance or insurance coverage occurs during the term of this Agreement.

9. MISCELLANEOUS:

9.01 Term of Agreement/Recording/Covenants Running With Land. The term of this Agreement shall commence as of the date of its execution after approval by the Village Board and shall terminate once all the obligations of the parties hereto have been fully performed and all amounts of the TIF Fund expended in connection with the Project, plus any Additional Bonds, if issued, have been fully paid, or upon an Event of Default of any material provision hereof by either party hereto, which is not cured in accordance herewith. The parties agree to execute and deliver the original of this Agreement in proper form for recording and/or indexing in the appropriate land or governmental records, and the parties hereto acknowledge that this Agreement, or a memorandum thereof, may be recorded with the Cook County Recorder to evidence the obligations and covenants contained herein, each of which shall, upon such recording, run with and bind the Project Area until such time as this Agreement has been

terminated as provided above, or by written instrument executed by all parties hereto. Except to the extent expressly limited herein, either party hereto shall have the right to avail itself of any equitable or legal right or remedy to enforce the provisions hereof.

9.02 Amendment. This Agreement and any Exhibits attached hereto, may be amended only by the mutual consent of the parties and by the adoption of an ordinance or resolution of the Village approving said amendment, as provided by law, and by the execution of said amendment by the parties or their successors in interest.

9.03 No Other Agreements. Except as otherwise expressly provided herein, this Agreement supersedes all prior agreements, negotiations and discussions relative to the subject matter hereof, and, together with the Development Plan and other Exhibits, represents the full integration of the agreement of the parties.

9.04 Consent. Except as otherwise provided in this Agreement, whenever herein consent or approval of either party is required, such consent or approval shall not be unreasonably withheld.

9.05 Conflict of Interest/Limitation of Liability. No member, official or employee of the Village shall have any personal interest, direct or indirect, in this Agreement; nor shall any such member, official or employee participate in any decision relating to this Agreement which affects his personal interests or the interests of any corporation, partnership, or association in which he is directly or indirectly interested. No member, official, or employee of the Village shall be personally liable to Developer or any successor in interest in the event of any default or breach by the Village or for any amount which may become due to Developer or successor or on any obligation under the terms of this Agreement.

9.06 Mutual Assistance. The Parties agree to take such actions, including the execution and delivery of such documents, instruments, petitions and certifications, as may be necessary or appropriate to carry out the terms, provisions and intent of this Agreement.

9.07 Limited Applicability of Village's Approval. Any approvals made by the Village with regard to provisions of the Development Plan are for the purposes of this Agreement only and do not affect or constitute approvals required for building permits or approvals required pursuant to any other ordinance of the Village, nor does any approval by the Village pursuant to the Agreement constitute approval of the quality, structural soundness or the safety of the Project.

9.08 Remedies Cumulative. The remedies of a party hereunder are cumulative and the exercise of any one or more of the remedies provided for herein shall not be construed as a waiver of any of the other remedies of such party unless specifically so provided herein.

9.09 Disclaimer. Nothing contained in this Agreement nor any act of the Village, shall be deemed or construed by any of the parties, or by third persons, to create any relationship of

third party beneficiary, or of principal or agent, or of limited or general partnership, or of joint venture, or of any association or relationship involving the Village.

9.10 Notices. All notices, certificates, approvals, consents or other communications desired or required to be given hereunder shall be in writing and shall be sufficiently given on (A) the third "business day" (defined as Monday through Friday, excluding Saturday, Sunday and all nationally recognized holidays) following the day on which the same shall have been mailed by registered or certified mail, postage and fees prepaid, return receipt requested, or (B) the next succeeding business day if sent by nationally recognized overnight courier, or (C) when received if received on a business day, otherwise on the first business day after receipt, if sent by direct messenger, and in all cases, addressed as follows:

If to Village: VILLAGE OF OAK PARK  
123 Madison Street  
Oak Park, Illinois 60302  
Attention: Mr. Carl Swenson,  
Village Manager

With copy to: VILLAGE OF OAK PARK  
123 Madison Street  
Oak Park, Illinois 60302  
Attention: Raymond L. Heise, Esq.

If to Developer: THE TAXMAN CORPORATION  
9933 North Lawler Avenue  
Suite 516  
Skokie, IL 60077  
Attention: Mr. Timothy Hague

and

FOCUS DEVELOPMENT, INC.  
211 Waukegan Road  
Suite 220  
Northfield, IL 60093  
Attention: Mr. Timothy Anderson

With copy to: MELTZER, PURTILL & STELLE  
1515 East Woodfield Road  
Suite 250  
Schaumburg, IL 60173  
Attention: William J. Mitchell, Esq.

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The parties, by notice given hereunder, may designate any further or different address to which subsequent notices, certificates, approvals, consents or other communications shall be sent.

9.11 Governing Law. The provisions of this Agreement shall be governed by the laws of the State of Illinois.

9.12 Paragraph Headings. The paragraph headings and references are for the convenience of the parties and are not intended to limit, vary, define or expand the terms and provisions contained in this Agreement and shall not be used to interpret or construe the terms and provisions of this Agreement.

9.13 Counterparts. This Agreement may be executed in several counterparts, each of which shall be an original and all of which, when taken together, shall constitute a single agreement.

9.14 Broker's Fees. The Developer and the Village each represent to the other that, except for the services of Focus Development, Inc. and The Taxman Corporation obtained by the Developer at its sole cost, it has not engaged the services of any finder or broker and that it is not liable for any real estate commissions, broker's fees, or finder's fees which may accrue by means of the acquisitions of any portion of the Project Area, and each agrees to hold the other harmless from such commissions or fees as are alleged to be due from the party making such representations.

9.15 Successors and Assignees. The terms, conditions, covenants and restrictions of this Agreement shall extend and apply to and bind the successors and assignees of the Village and the successors and assigns of Developer.

9.16 Severability. If any provision of the Agreement, or any paragraph, sentence, clause, phrase or word, or the application thereof, in any circumstance, is held invalid, the remainder of the Agreement shall be construed as if such invalid part were never included herein, and the Agreement shall be and remain valid and enforceable to the fullest extent permitted by law.

9.17 Provisions Not Merged with Deed. None of the provisions of this Agreement are intended to, nor shall they be merged, by reason of any deed transferring title to any portion of the Project Area from the Village to the Developer or any successor in interest, and said deed shall not be deemed to affect or impair the provisions and covenants of this Agreement.

[signature page to follow]



THIS AGREEMENT is made and delivered as of the date first above written.

DEVELOPER:

EUCLID TERRACES, L.L.C.,  
an Illinois limited liability company

By: FOCUS MANAGEMENT, L.L.C., a Member

By:   
Timothy Anderson, Manager

and

By: CHITOWN DEVELOPMENT, L.L.C., a  
Member

By:   
Timothy R. Hague, its Agent

VILLAGE:

VILLAGE OF OAK PARK, a municipal  
corporation

By:   
Village President

ATTEST:

By:   
Village Clerk

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STATE OF ILLINOIS )  
                          ) SS  
COUNTY OF COOK )

I, William J. Mitchell, a Notary Public in and for said County, in the State aforesaid, do hereby certify that Timothy Anderson, the Manager of Focus Management, L.L.C. ("Focus") and Timothy B. Hague, the authorized Agent for Chitown Development, L.L.C. ("Chitown"), each Members of Euclid Terraces, L.L.C. ("Developer"), personally known to me to be the same persons whose names are subscribed to the within Redevelopment Agreement Re: Euclid Terraces ("Agreement") as such Manager of Focus and Agent of Chitown, appeared before me this day in person and acknowledged that they signed and delivered the Agreement as their own free and voluntary act, as the free and voluntary act of the each of Focus and Chitown, as the case may be, and as the free and voluntary act of Developer, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this 16<sup>th</sup> day of January, 2001.



  
\_\_\_\_\_  
NOTARY PUBLIC

My Commission expires:

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STATE OF ILLINOIS )  
 ) SS  
COUNTY OF COOK )

I, Kathleen M Cannon, a Notary Public in and for said County, in the State aforesaid, do hereby certify that the Hon. Barbara Furlong, Village President and Ms. Sandra Sokol, Village Clerk, of the Village of Oak Park, Illinois ("Village"), personally known to me to be the same persons whose names are subscribed to the within Redevelopment Agreement Re: Euclid Terraces ("Agreement") as such Village President and Village Clerk of Village, appeared before me this day in person and acknowledged that they signed and delivered the Agreement as their own free and voluntary act, as the free and voluntary act of the Village for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this 18<sup>th</sup> day of January, 2001.



Kathleen M. Cannon  
NOTARY PUBLIC

My Commission expires: March 25, 2003

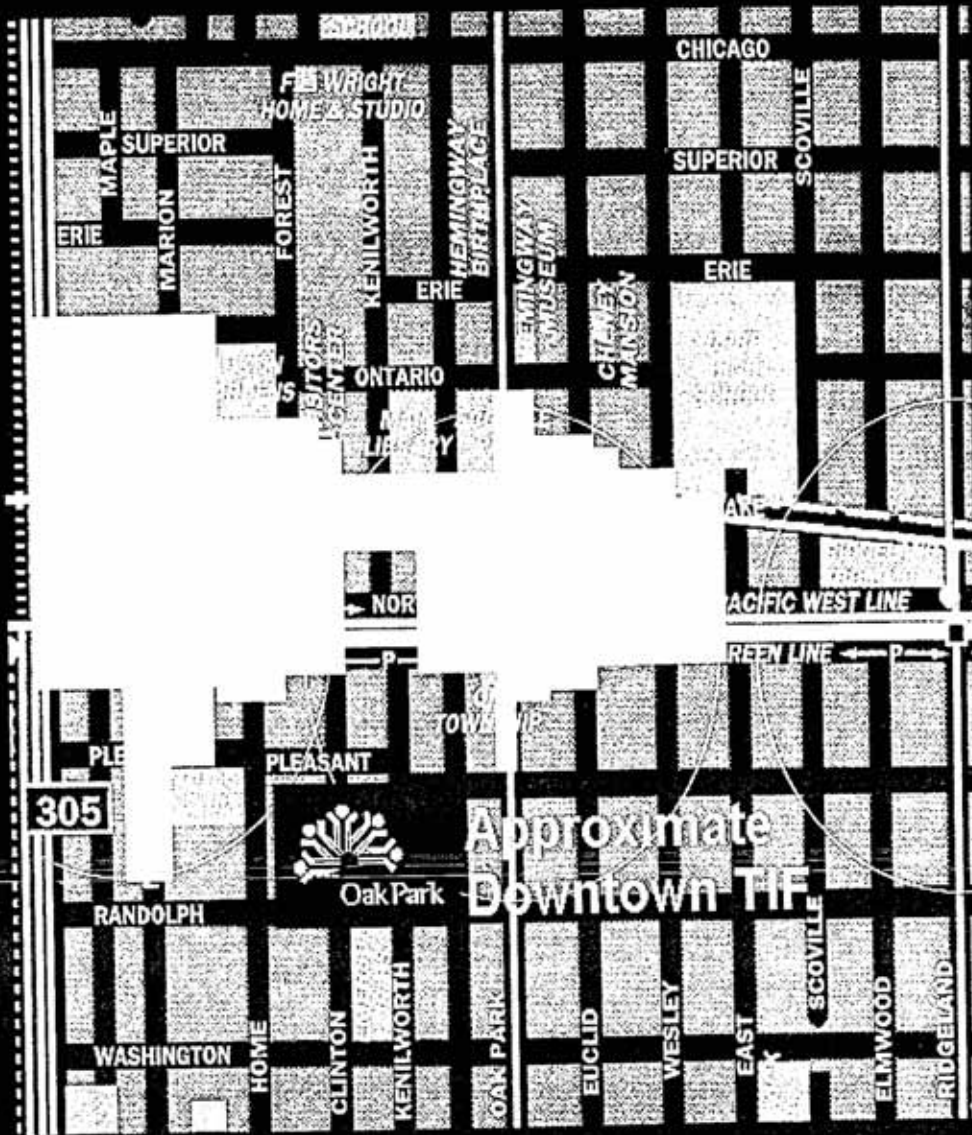
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<u>Exhibit</u>	<u>Description</u>	<u>From</u>	<u>Included Herein</u>
A	TIF Redevelopment Area	Village	*
B	Priority Area	Village	*
B-1	Parking Garage Parcel and Pedestrian Walkway	Architect	*
B-2	Townhome Project Parcel	Architect	*
B-3	Condominium Project Parcel	Village	*
B-4	Apartment/Retail Building Parcel	Village	*
B-5	Owned Land	Village	*
B-6	Unowned Land	Village	*
B-7	Amoco Site (Legal Description)	Developer	*
C	Site Plans/Conceptual Elevations	Architect	*
D	Project Costs	Developer	*
E	Project Schedule	Developer	*
F	Financing Plan	Developer	*
G	Letter of Credit	Developer	*
H	Amoco Site (Acquisition Costs Summary)	Developer	*

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Included, but not an Exhibit to the Development Agreement, is a copy of the Illinois Secretary of State Articles of Organization for development entity.

# Exhibit A – “TIF Redevelopment Area”



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EXHIBIT A

LEGAL DESCRIPTION OF TIF REDEVELOPMENT

That part of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian, Cook County, Illinois, bounded as follows: commencing at the intersection of the Easterly line of Harlem Avenue and the Northerly line of Ontario Street—thence Easterly along the Northerly line of Ontario Street to the East line of Kohn Subdivision extended North to the North line of Ontario Street; thence Southerly along the East line of Kohn's Subdivision as extended 388.5 feet to the North line of the South 322.5 feet in Skinner's Subdivision; thence Easterly 82.33 feet along the North line of the South 322.5 feet of said Lot 4 to the West line of Block 1 in Austin's Addition to Oak Park; thence Southerly 102.5 feet on the West line of said Block 1 to the North line of the East-West alley, which is 220 feet North of the North line of Lake Street; thence Easterly 415 feet on the North line of said alley to the West line of Forest Avenue;

Thence Northerly 129 feet on the West line of Forest Avenue to the North line of the South 20 feet of Lot 3 in the Philander Smith Subdivision extended West; thence Easterly 231.5 feet on the North line of the South 20 feet of said Lot 3 as extended, to the West line of

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C.E. Cook's Subdivision; thence Southerly 75 feet on the West line of Cook's Subdivision to the North line of Lot 4, in C.E. Cook's Subdivision; thence Easterly 83 feet on the North line of Lot 4 to the East line of Lot 4; thence Southerly 280 feet on the East line of Lot 4 to the North line of Lake Street;

Thence Easterly 1229 feet on the North line of Lake Street to the West line of Oak Park Avenue; thence Northerly 562 feet on the West line of Oak Park Avenue to the North line of Ontario Street; thence Easterly 290.5 feet on the North line of Ontario Street to the West line of Lot 1 in a Subdivision of Lot 1 in J.W. Scoville's Subdivision extended North; thence Southerly on the West line of Lot 1 as extended and Lots 2 and 3, 316 feet to the Northwest corner of the South 50 feet of Lot 3; thence Easterly 269 feet on the North line of the South 50 feet of Lot 3 as extended, to the East line of the Northwest corner of Lot 6 of Block 22 in C. B. Scoville's Subdivision of Lot 22; thence Southerly 125 feet on the West line of the C.B.

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Scoville Subdivision to the Northwest corner of the South 25 feet of Lot 8 in Block 22; thence Easterly 184 feet on the North line of the South 25 feet of Lot 8 as extended, to the West line of Lot 14 in Block 22; thence Southerly on the West lines of Lots 14 through 11 in Block 22 extended, to the North line of Lake Street;

Thence Easterly 95 feet on the North line of Lake Street to the East line of the West 34 feet of Lot 10 of the Subdivision of Lot 23 of J.W. Scoville's Subdivision extended North; thence Southerly to the Northwest corner of the West 34 feet of Lot 10, said line also being the Westerly line of Euclid Place Subdivision; thence Southerly following the boundary line of said Euclid Place Subdivision and Euclid Place Subdivision Phase 2, Southerly 208.52 feet to a point, Easterly 65.75 feet to a point, Northerly 10 feet to a point, Easterly 96.25 feet to a point, Northerly 78.62 feet to a point, Easterly 102.75 feet to a point, Northerly 5.69 feet to a point, Easterly 59 feet to a point, Southerly 84.25 feet to a point, Easterly 8 feet to a point, thence Southerly 160 feet to the North line of North Boulevard; thence Easterly 150 feet on the North line of North Boulevard to the West line of East Avenue; thence, no longer following the boundary line of Euclid Place Subdivision, Southerly on the West line of East Avenue to the South line of North Boulevard; thence Westerly 767 feet on the South line of North Boulevard to the East line of Euclid Avenue;

Thence Southerly 345 feet on the East line of Euclid Avenue to the Northwest corner of Lot 8 of Block 2 of Blackstone's Addition to Oak Park; thence Westerly 80 feet to the Northeast corner of Lot 23 of Block 3 in Blackstone's Subdivision; thence continuing Westerly

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174.5 feet on the North line of Lot 23 to the West line of Lot 23 extended North; thence Southerly 117.5 feet along the West lines of Lots 23 and 22 to the Southwest corner of Lot 22; thence West 15 feet to the Southeast corner of Lot 9; thence continuing West 184 feet on the South line of Lot 9 to the East line of Oak Park Avenue; thence Southerly 300 feet on the East line of Oak Park Avenue to the Southwest corner of Lot 15 (North line of Pleasant Street); thence Westerly 66 feet to the Southeast corner of Lot 11 of Block 1 of Hiatt's Subdivision (North line of Pleasant Street); thence continuing Westerly 157 feet on the North line of Lots 1 and 12 to the Southeast corner of Lot 12 of Block 1 of Hiatt's Subdivision (North line of Pleasant Street); thence North 572 feet on the East lines of Lots 12 through 22 to the Northeast corner of Lot 22; thence Northerly 150 feet to the South line of North Boulevard;

Thence Westerly 363 feet on the South line of North Boulevard to a point 135 feet East of the East line of Kenilworth Avenue; thence Northerly 50 feet to the Southeast corner of Lot 6 of Owner's Subdivision; thence Northerly 200 feet on the East lines of Lots 6 through 1 to the Northeast corner of the South 20 feet of Lot 1; thence Westerly 30 feet; thence Northerly 30 feet to the North line of Lot 1; thence Westerly 105 feet to the Northwest corner of Lot 1; thence Westerly 60 feet to the West line of Kenilworth Avenue at the

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Southeast corner of Lot 2 in the Goelitz Subdivision; thence Northerly 46 feet on the West line of Kenilworth Avenue to the Northeast corner of Lot 1; thence Westerly 83 feet on the North line of Lot 1 to the Northwest corner of Lot 1; thence Southerly 34 feet on the West lines of Lots 1 and 2 to the North line of the South 232 feet of Lot 5 of Scoville's Subdivision; thence Westerly 373.5 feet along the North lines of the South 232 feet of said Lot 5 and Lots 16 and 15 of Kettlestring's Subdivision to the Northwest corner of the South 232 feet of the East 121 feet of said Lot 15; thence Southerly 30 feet; thence Westerly 159.5 feet on the North line of the South 203.5 feet of the West 120.5 feet of said Lot 15 and the South 203.5 feet of the East 39 feet of Lot 14 to the Northwest corner of the South 203.5 feet of the East 39 feet of said Lot 14; thence Southerly on the West line of the South 203.5 feet of the East 39 feet of said Lot 14 to the North line of North Boulevard; thence continuing Southerly 50 feet to the South line of North Boulevard.

Thence Westerly 272 feet on the South line of North Boulevard to the East line of Forest Avenue; thence Southeast on the East line of Forest/Home Avenue to the Southeast corner of South Boulevard and Home Avenue; thence Southerly 202 feet on the East line of Home Avenue to the Northwest corner of Lot 23 of J. Hurlburt & Others Resubdivision; thence Westerly 66 feet to the Northeast corner of Lot

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10 of James W. Scoville's Addition to Harlem; thence Westerly 392 feet on the North lines of Lot 9 and 10 to the East line of the West 168.5 feet of said Lot 9; thence Southerly 188 feet on the East line of the West 168.5 feet of Lot 9 as extended to the South line of Pleasant Street; thence Westerly 99 feet to the East line of the East 4 feet of Lot 18, thence Southerly 178.5 feet on the East line of the West 4 feet of Lot 18 to the North line of Lot 1 of Pease's Court Addition to Oak Park; thence Easterly 62 feet on the North line of said Lot 1 to the Northeast corner of said Lot 1; thence Southerly 100 feet on the East lines of Lots 1 through 3 to the Southwest corner of Lot 17 of James W. Scoville's Addition to Harlem; thence Easterly 49 feet on the South line of said Lot 17 to the Northwest corner of Lot 21 of Pease's Court Addition to Oak Park; thence Southerly 32 feet on the West line of said Lot 21 to the South line of Lot 3 as extended; thence Westerly 181 feet on the South line of Lot 3 to the East line of Marion Street;

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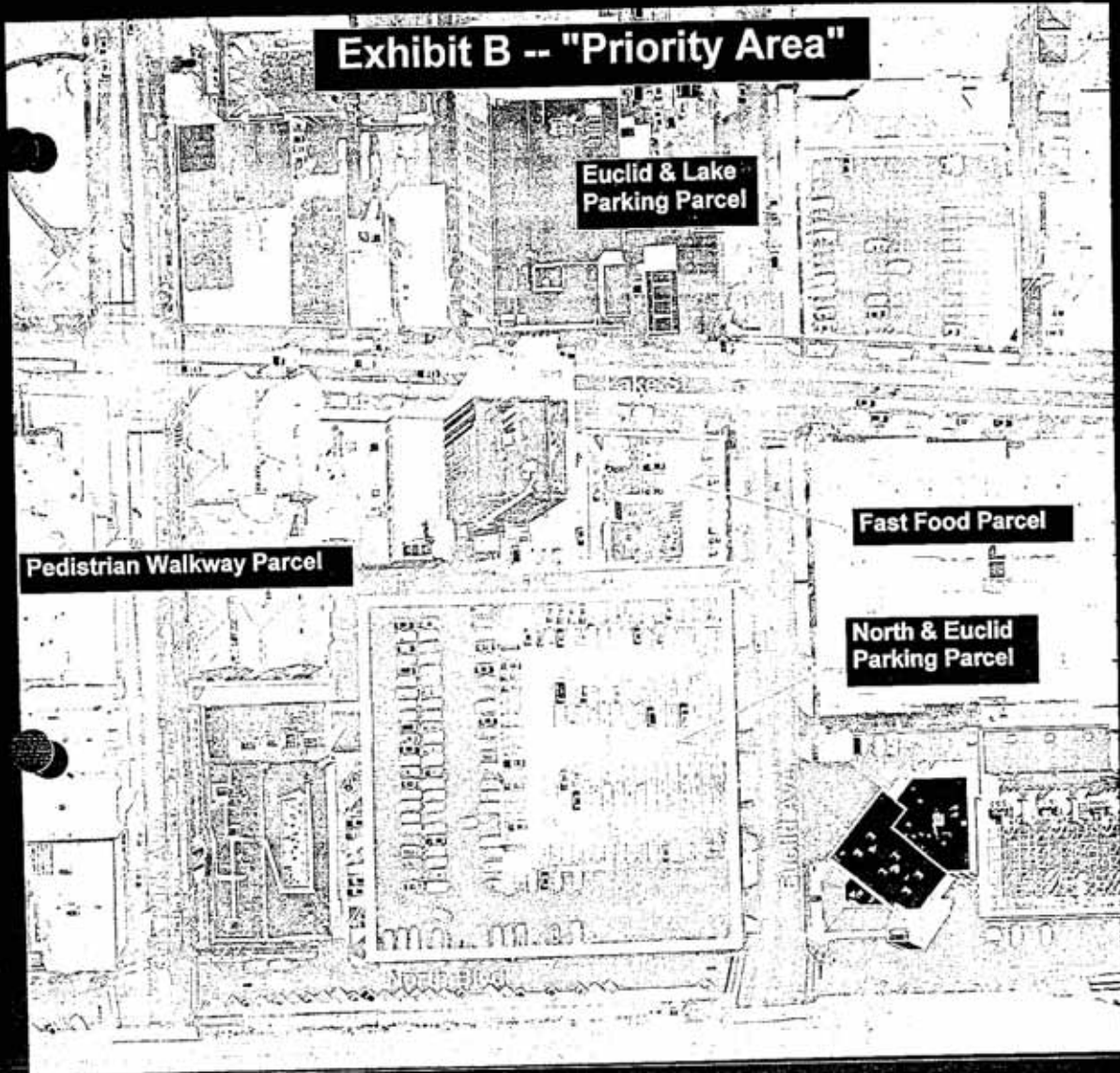
Thence Southerly 328 feet on the East line of Marion Street to the South line of the North 11 feet of Lot 9; thence Westerly 66 feet to the West line of Marion Street at the North line of the South 7 feet of Lot 21 of Block 4 of Scoville's and Niles' Addition to Oak Park; thence Westerly 188 feet on said North line as extended to the East line of Lot 22; thence Northerly 606 feet on the East lines of Lots 22-19-18-15-

14-11-10-7-6-3-2 as extended, to the Southeast corner of Lot 15 of Block 1 of Scoville's and Niles' Addition to Oak Park; thence Northerly 259 feet on the East lines of 15-12-11-8-7 to the Southeast corner of Lot 4; thence Westerly 236 feet on the South line of Lot 4 as extended, to the Southeast corner of Lot 3 in Block 2 of Scoville's and Niles' Addition to Oak Park; thence Westerly 170 feet on the South line of said Lot 3 to the East line of Harlem Avenue; thence Northerly 1660 feet on the East line of Harlem Avenue to the North line of Ontario Street, being the place of beginning, all in the Village of Oak Park, County of Cook, State of Illinois.

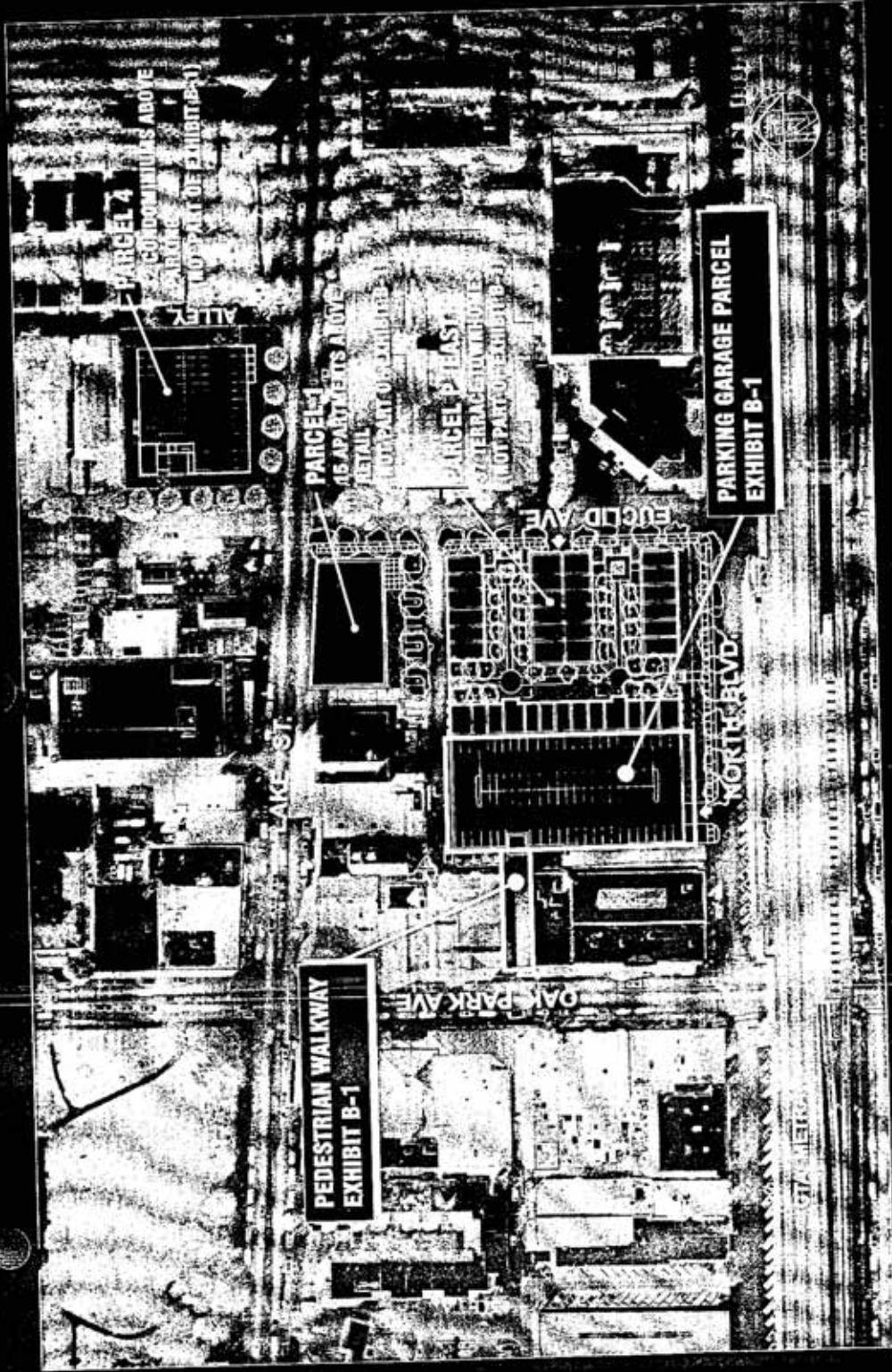
In the foregoing Legal Description, once a Subdivision is designated, all references to lots thereafter are to be the same Subdivision until a new Subdivision is designated; and all distances listed are approximate.

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**Exhibit B -- "Priority Area"**



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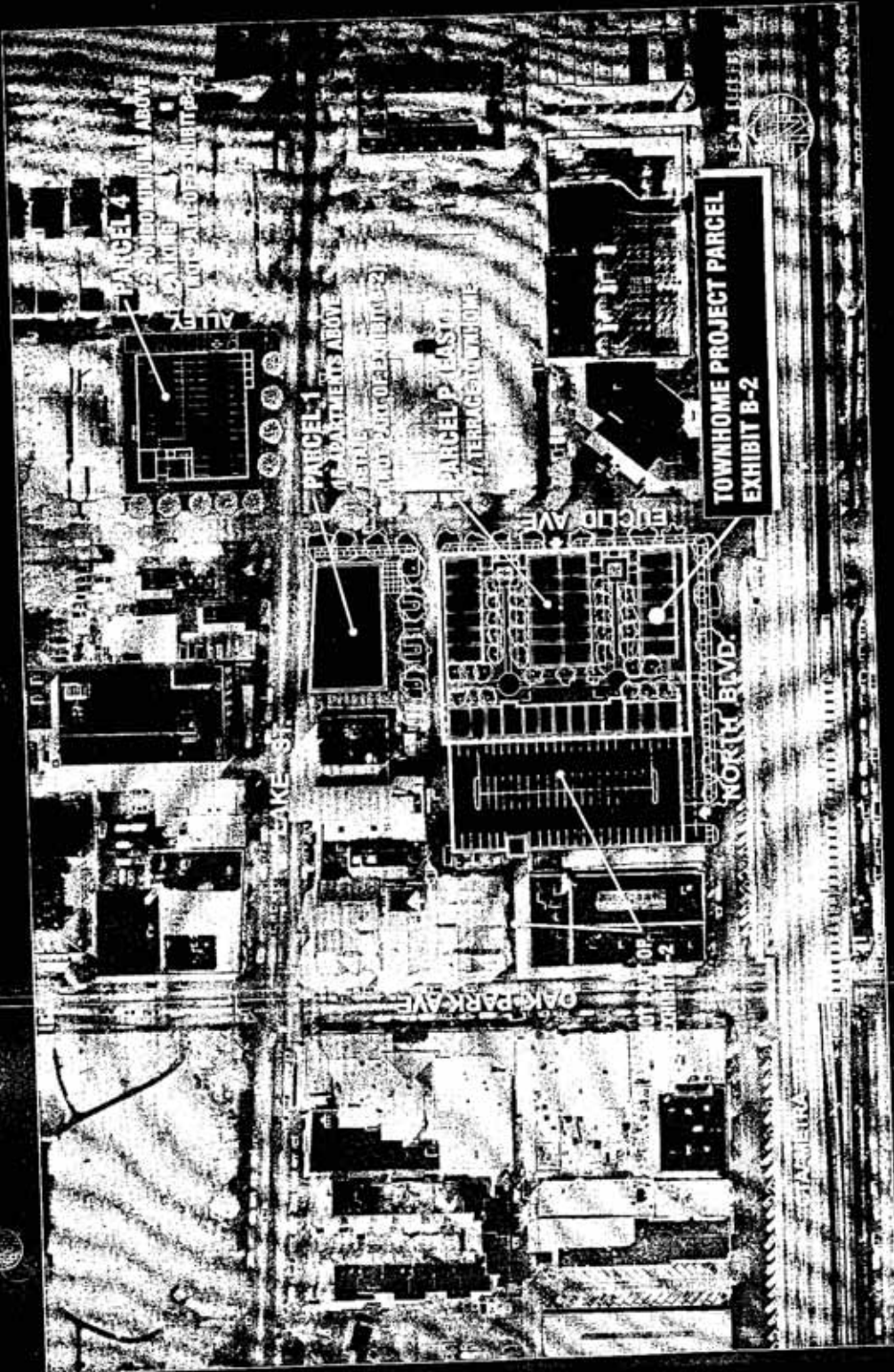
EXHIBIT B-1 KEY SITE PLAN

**EUCLID TERRACES**

A DEVELOPMENT PROPOSAL FOR THE CITY OF CLEVELAND

THE TADAMIAN CORPORATION AND FOCUS DEVELOPMENT, DEVELOPERS  
 ANTHONY ASSOCIATES, ARCHITECTS AND PLANNERS

JANUARY 8, 2001



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EXHIBIT B-2 KEY SITE PLAN

**EUCLID TERRACES**

A DEVELOPMENT PROPOSAL FOR THE CITY OF CLEVELAND

THE TADMAN CORPORATION AND POOL DEVELOPMENT, DEVELOPERS  
 ANTONOVICH ASSOCIATES, ARCHITECTS AND PLANNERS

JANUARY 4, 2001

EXHIBIT B-3

CONDOMINIUM PROJECT PARCEL

The South 25 feet of Lot 8 and all of Lots 9 and 10 in Block 22 in  
C.B. Scoville's Subdivision of Lot 22 in James W. Scoville's  
Subdivision of the West Half of the Northeast Quarter of Section 7,  
Township 39 North, Range 13, East of the Third Principal Meridian,  
in Cook County, Illinois.

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EXHIBIT B-4

APARTMENT/RETAIL BUILDING PARCEL

Lots 1 & 2 in Second Resubdivision of Lot 24 of James W. Scoville's  
Subdivision of the West Half of the Northeast Quarter of Section 7,  
Township 39 North, Range 13, East of the Third Principal Meridian,  
in Cook County, Illinois.

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EXHIBIT B-5

OWNED LAND

OWNED PORTION OF THE NORTH AND EUCLID PARKING  
PARCEL

Lot 8 (except that part of Lot 8 lying South of the North 58 feet thereof and lying West of a line parallel to and 44 feet East of the Westernmost line of said Lot), and Lot 9 (except the West 8 feet thereof) in Public Service Company's Resubdivision of Lots 8 and 9 in Second Resubdivision of Lot 24 in James W. Scoville's Subdivision of the West Half of the North East Quarter of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

Including the 16 foot East-West Alley lying North of and adjoining Lot 9 (except the West 8 feet thereof, also except the North Half of said East-West Alley lying West of the Southerly Extension of a line drawn 44 feet East of and parallel with the Westernmost line of Lot 8 aforesaid), in Cook County, Illinois.

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**PEDESTRIAN WALKWAY**

All of the 26 feet East and West Public Alley lying South of and adjoining Lot 7 and that part of the 26 feet East and West Public Alley lying East of the East line of Lot 7 and its Southerly extension and lying South of the South line of Lot 7 and its Easterly extension all in the Second Resubdivision of the Subdivision of Lot 24 of James W. Scoville's Subdivision of the West Half of the Northeast Quarter of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

**EUCLID AND LAKE PARKING PARCEL**

The South 25 feet of Lot 8 and all of Lots 9 and 10 in Block 22 in C.B. Scoville's Subdivision of Lot 22 in James W. Scoville's Subdivision of the West Half of the Northeast Quarter of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

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EXHIBIT B-6

UNOWNED LAND

**EUCLID AND NORTH PARKING PARCEL, CURRENTLY IMPROVED  
WITH A BANK DRIVE-THROUGH FACILITY**

The West 8 feet of Lot 9 and that part of Lot 8 lying South of the North 58 feet and West of a line 44 feet East of and parallel with the Westernmost line of Lot 8, together with all of the vacated North and South 16 foot alley lying between said Lots 9 and 10 and the South Half of the vacated East and West 16 foot alley lying North of and adjoining the West 8 feet of said Lot 9 and the North Half of the vacated East and West 16 foot alley lying South of and adjoining the Westernmost 44 feet of said Lot 8, all in Public Service Company's Resubdivision of Lots 8 and 9 of the Second Resubdivision of the Subdivision of Lot 24 of James W. Scoville's Subdivision of the West Half of the Northeast Quarter of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian in Cook County, Illinois.

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FAST FOOD PARCEL

Lots 1 & 2 in Second Resubdivision of Lot 24 of James W. Scoville's  
Subdivision of the West Half of the Northeast Quarter of Section 7,  
Township 39 North, Range 13, East of the Third Principal Meridian,  
in Cook County, Illinois.

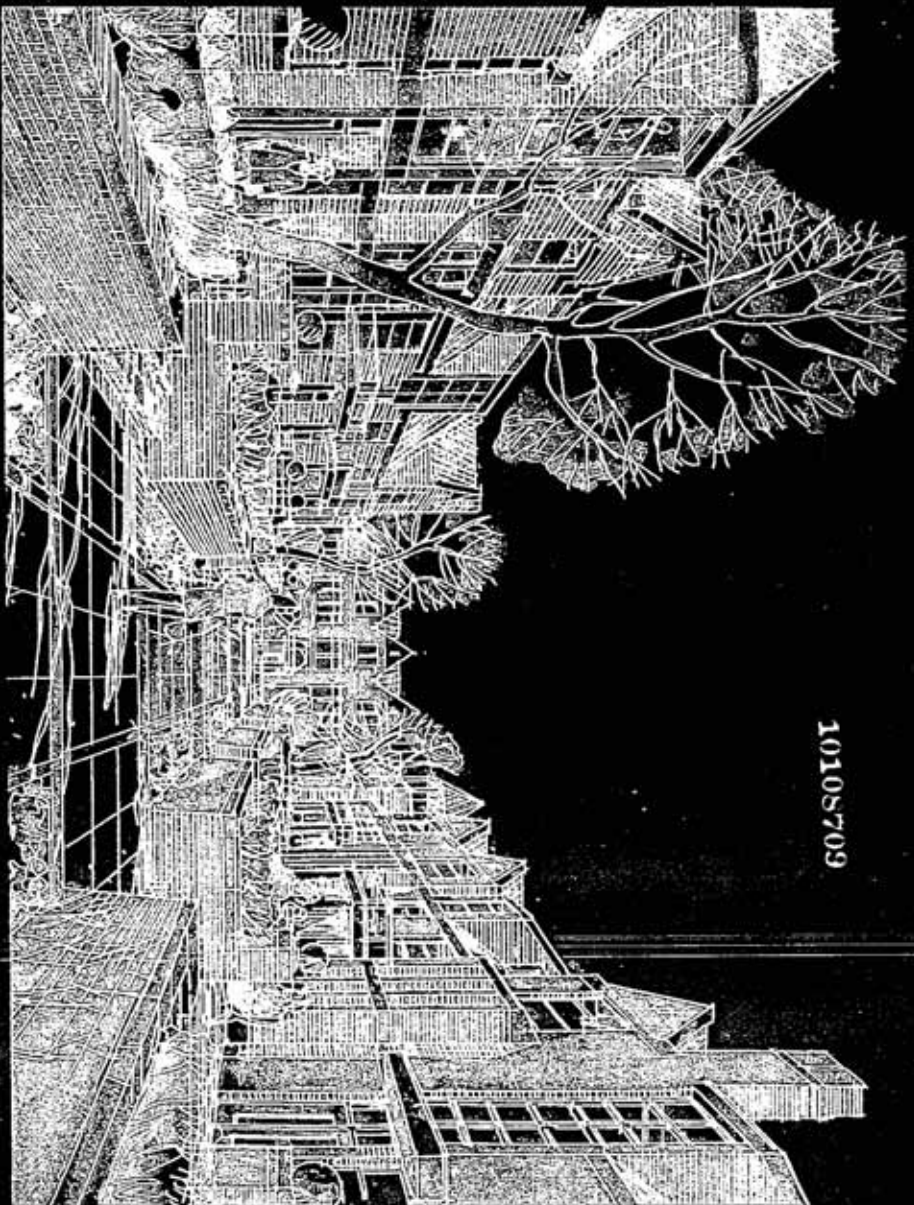
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EXHIBIT B-7

AMOCO SITE

The South 75 feet of Lot 4 (except the West 100 feet thereof) and all of Lot 5 (except the West 100 feet thereof) in Block 1 in Scoville's Subdivision of the West  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

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LANDSCAPED PEDESTRIAN TERRACES PROVIDE FRONT YARDS AND ENTRANCES FOR THE TOWNHOMES

## EUCLID TERRACES

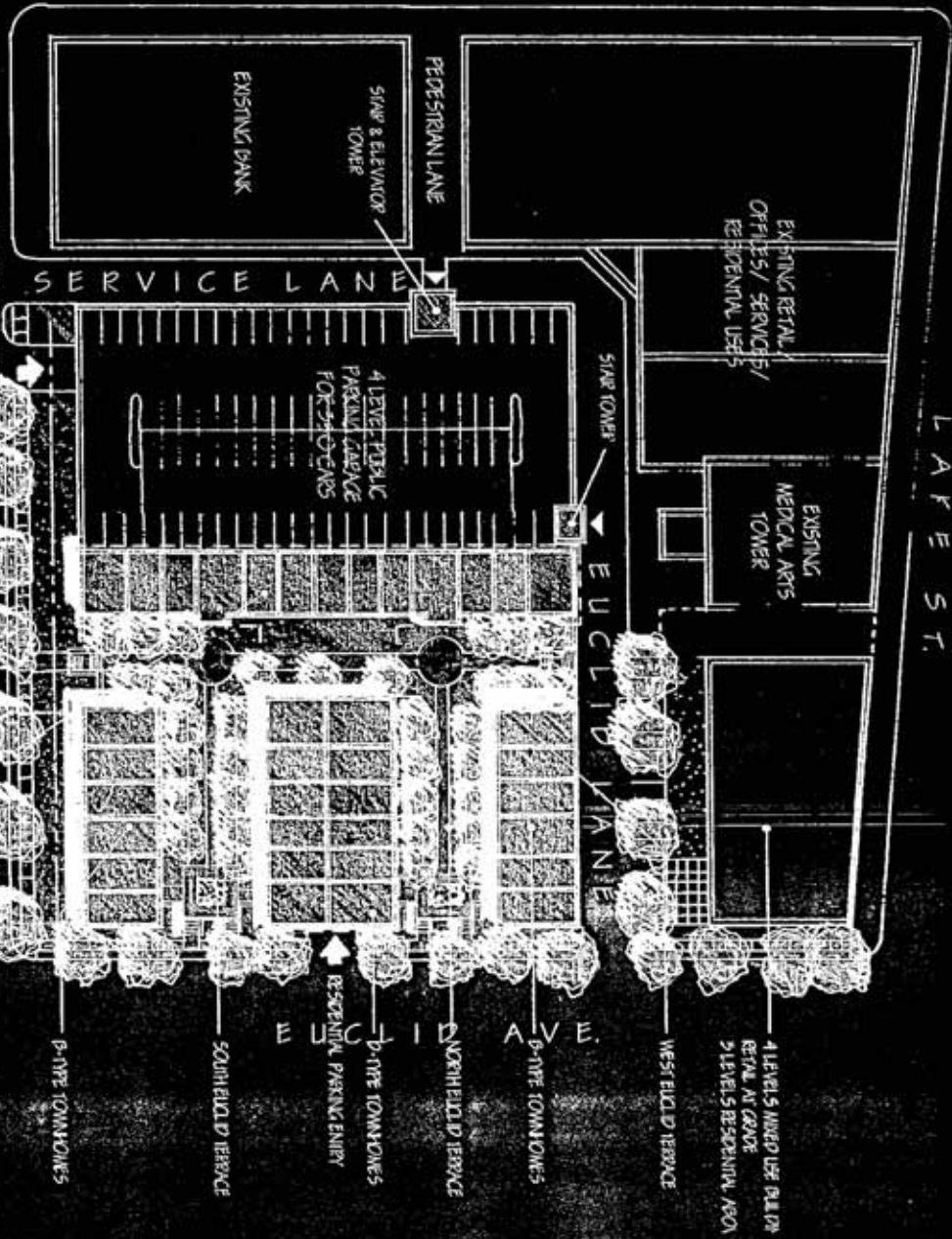
A DEVELOPER/  
THE TAX  
ASSOCIATION AND FOCUS DEVELOPMENT, DEVELOPERS  
ARTUNOV, ASSOCIATES, ARCHITECTS AND PLANNERS

EXHIBIT C JANUARY 8, 2000  
PARCEL P (EAST) TOWNHOMES



JULY 31, 2000

OAK PARK AVE.



SITE PLAN FOR PARCELS P, 1, 2 & 3

**EUCLID TERRACES**

A DEVELOPER'S "SEAL FOR THE CITY OF CLEVELAND"  
THE TAXI CORPORATION AND FOCUS DEVELOPMENT DEVELOPERS  
ANTHONY ASSOCIATES, ARCHITECTS AND PLANNERS

NORTH BLVD. EXHIBIT C JANUARY 8, 2001  
PARCEL P (EAST) TOWNHOMES

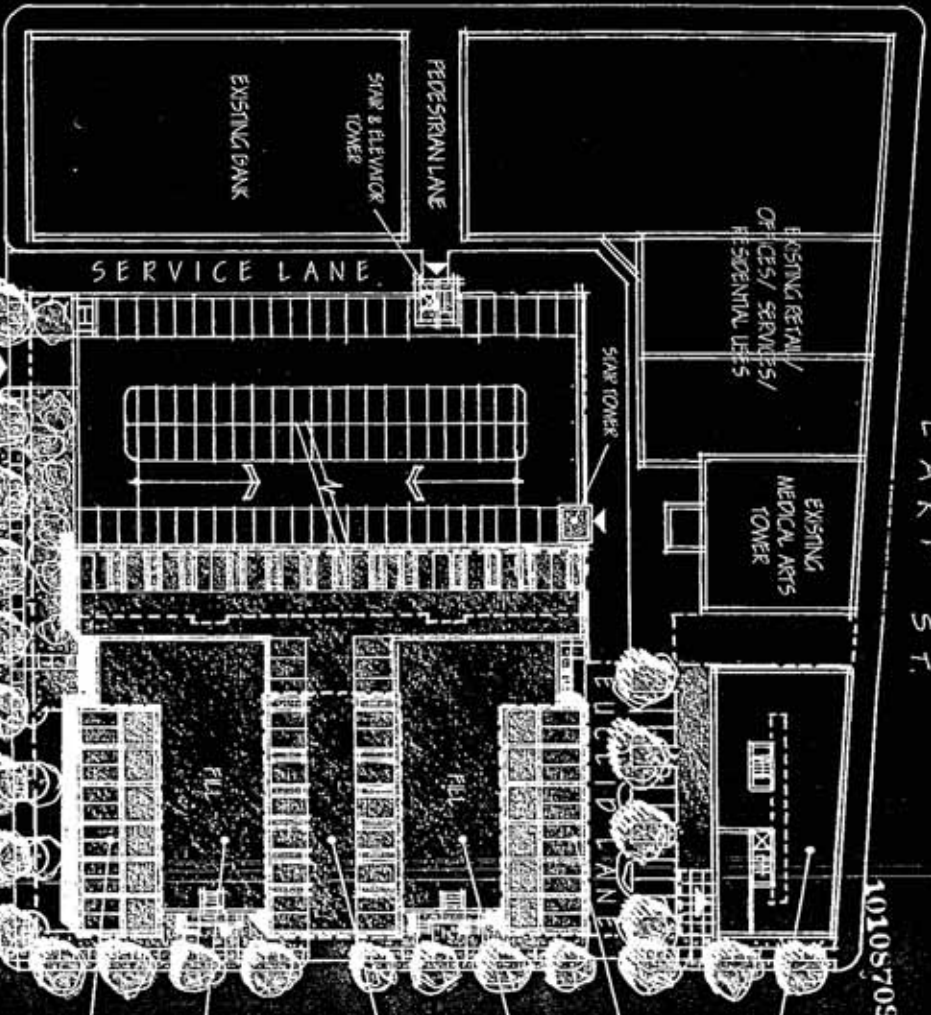


JULY 31, 2000



OAK PARK AVE.

LAKR ST.



GROUND FLOOR PLAN PARCEL 1, 2, 3, P

**EUCLID TERRACES**

A DEVELOPMENT VISION FOR THE CITY OF CLEVELAND  
 THE PLAN  
 ANTHONY  
 ASSOCIATES ARCHITECTS AND PLANNERS  
 OPERATION AND FOCUS DEVELOPMENT DEVELOPERS

NORTH BLVD.

EUCLID AVE.

1010S709

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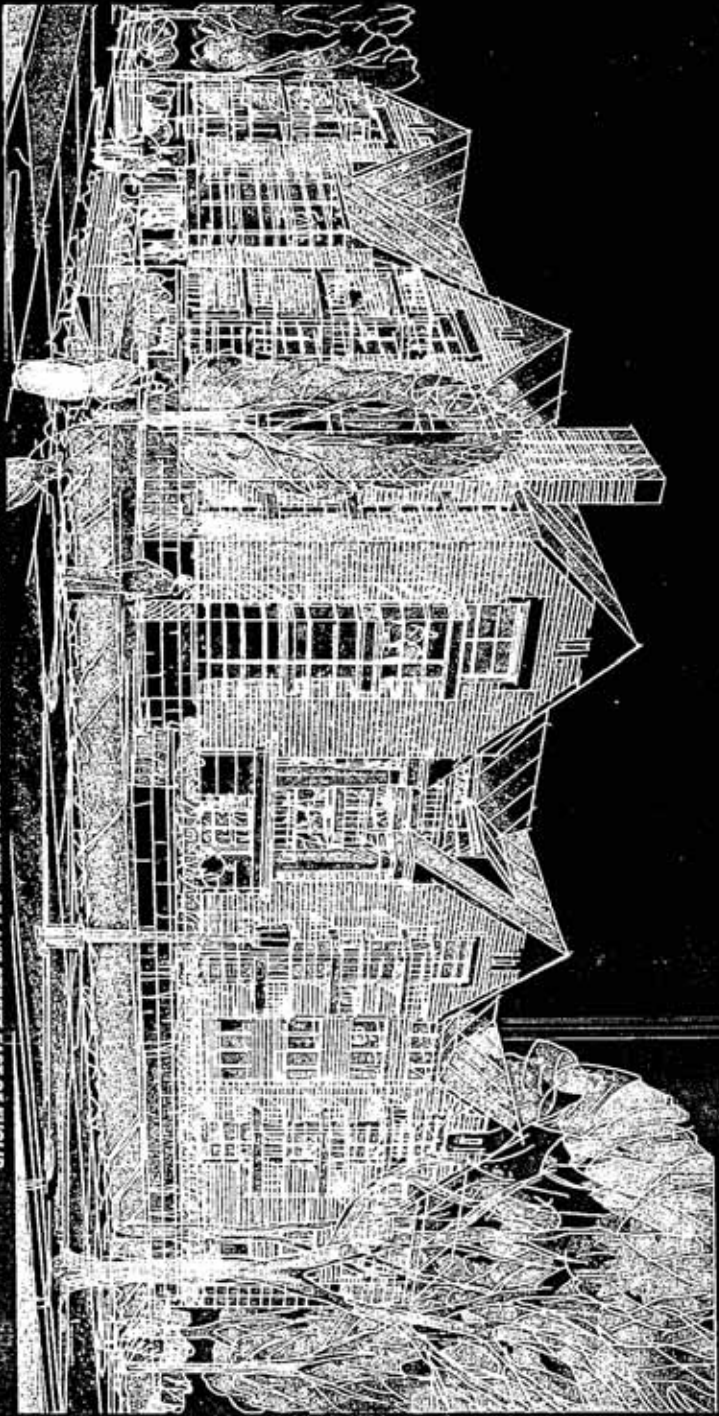


JULY 31, 2009

EXHIBIT C JANUARY 8, 2001  
 PARCEL P (EAST) TOWNHOUSES



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CONDOMINIUM HOMES REINFORCE THE RESIDENTIAL CHARACTER OF LAKE STREET EAST OF EUCLID

**EUCLID TERRACES**

A DEVELOPER'S VISION FOR THE CITY OF GREAT LAKE  
CORPORATION AND FOCUS DEVELOPMENT DEVELOPERS  
ANTUNOV ASSOCIATES, ARCHITECTS AND PLANNERS

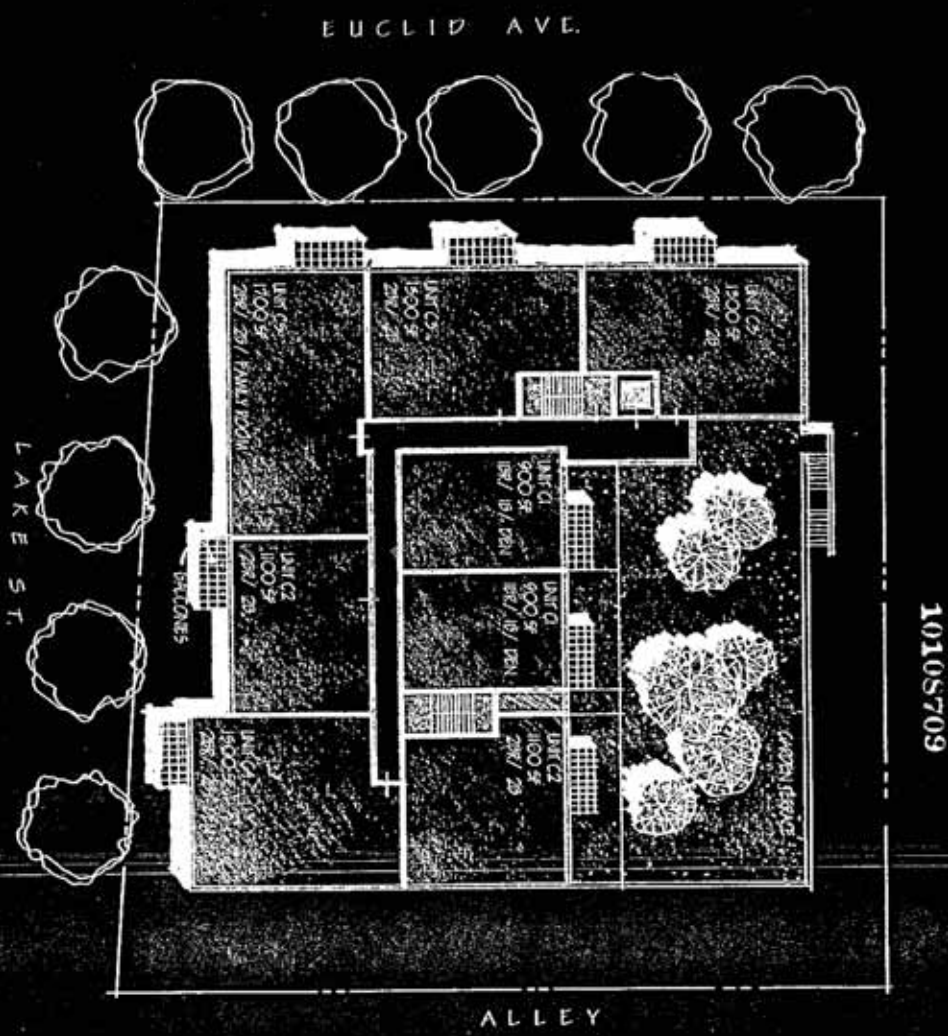
EXHIBIT C JANUARY 8, 2000  
PARCEL 4: VIEW LOOKING NORTHEAST AT EUCLID AVENUE

JULY 31, 2000

**EUCLID TERRACES**

A DEVELOPMENT PROPOSAL FOR THE CITY OF CLEVELAND  
 THE TAXIN CORPORATION AND FOCUS DEVELOPMENT DEVELOPERS  
 ANTHONY BOCCARDI, ARCHITECTS AND PLANNERS

FLOOR PLAN UPPER LEVELS PARCEL 4



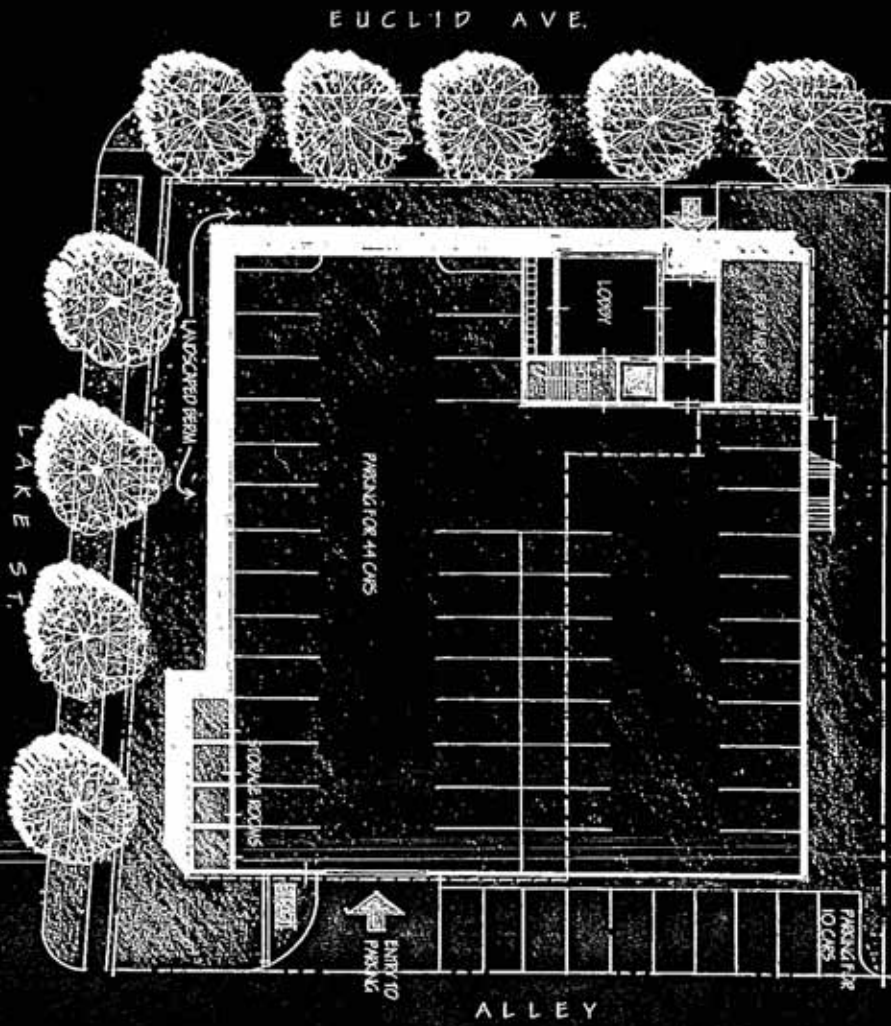
0 10' 50'

EXHIBIT C JANUARY 8, 2000

PARCEL 4: CONDOMINIUMS

JULY 31, 2000

10108709



FLOOR PLAN GROUND LEVEL PARCEL 4

### EUCLID TERRACES

A DEVELOPER: VITAL FOR THE CITY OF CLEVELAND  
 THE TOWN: REGULATION AND FOCUS DEVELOPMENT DEVELOPERS  
 ATTORNEY: SOCIATES, ARCHITECTS AND PLANNERS

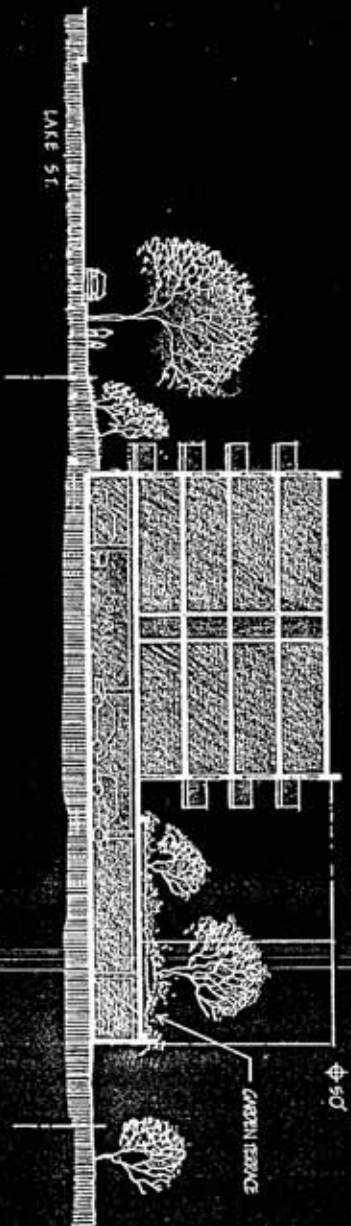


JULY 31, 2000

EXHIBIT C JANUARY 8, 2001

PARCEL 4: CONDOMINIUMS

10105709



NORTH-SOUTH DIAGRAMMATIC SECTION AT PARCEL 4

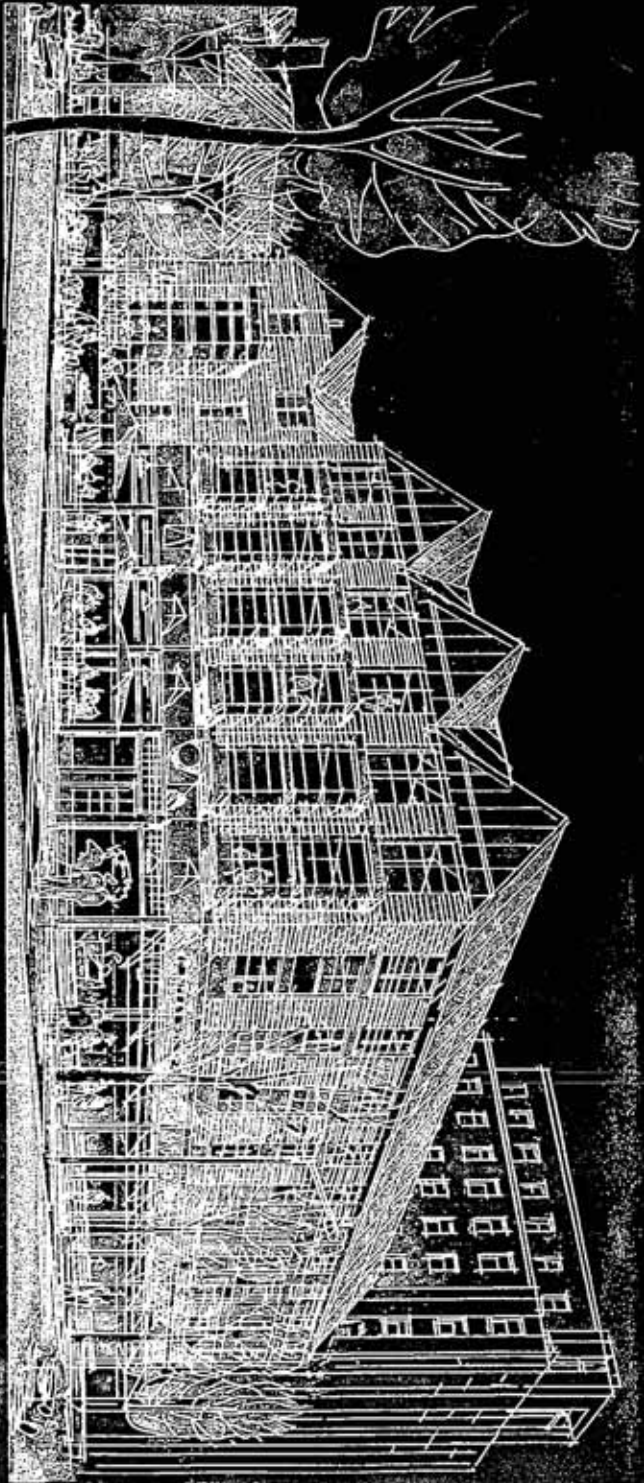
# EUCLID TERRACES

A DEVELOPMENT BY THE CITY OF CLEVELAND  
THE TOWN OF CLEVELAND  
ARTUROVICI, ASSOCIATES, ARCHITECTS AND PLANNERS

EXHIBIT C JANUARY 8, 2001  
PARCEL 4: CONDOMINIUMS



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A MIX OF RETAIL AND RESIDENTIAL CONDOMINIUMS COMPLETES THE "MAIN STREET" CHARACTER OF THE AVENUES  
COMMERCIAL DISTRICT ALONG LAKE STREET UP TO EUCLID AVENUE

## EUCLID TERRACES

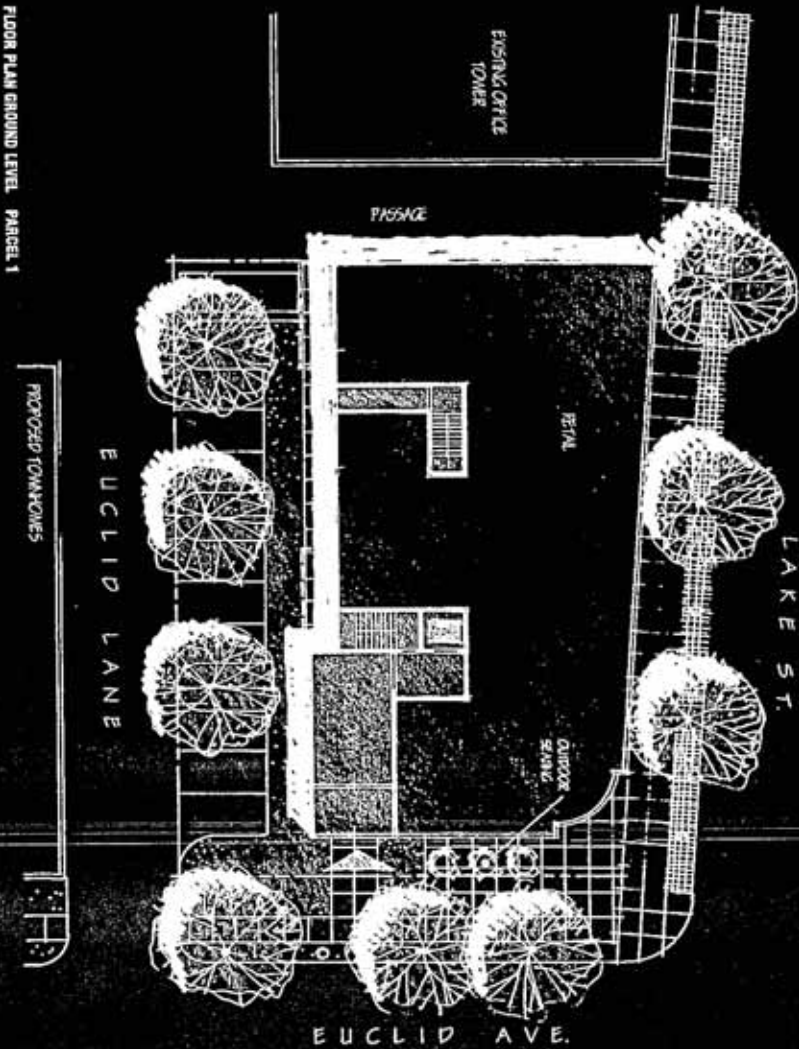
A DEVELOPER'S VISION FOR THE CITY OF BLUE HILLS

THE TAJ CORPORATION AND FOCUS DEVELOPMENT, DEVELOPERS  
ARTHUR ASSOCIATES, ARCHITECTS AND PLANNERS

EXHIBIT C JANUARY 8, 2000  
PARCEL 11 VIEW LOOKING SOUTHWEST AT EUCLID AND LAKE

JUL 8 3 11, 2000

10108709



FLOOR PLAN GROUND LEVEL. PARCEL 1

### EUCLID TERRACES

A DEVELOPMENT FOR THE CITY OF CLEVELAND  
THE TAXIN/ANTONOVIC ASSOCIATES, ARCHITECTS AND PLANNERS  
POPULATION AND FOCUS DEVELOPMENT DEVELOPERS



JULY 31, 2000

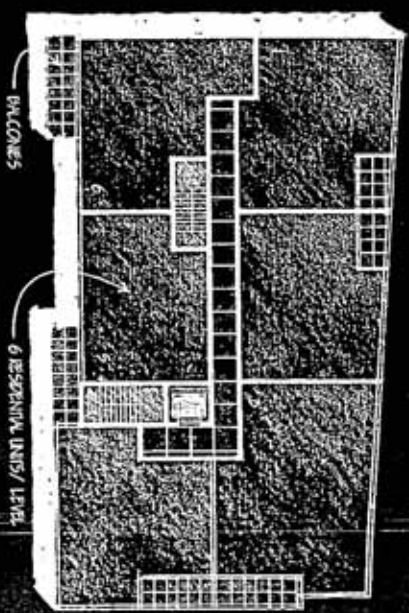
EXHIBIT C JANUARY 8, 2000

PARCEL 1 MIXED USE



1010S709

LAKE ST.



EUCLID LANE

EUCLID AVE.

FLOOR PLAN LEVELS 2, 3, 4 PARCEL 1

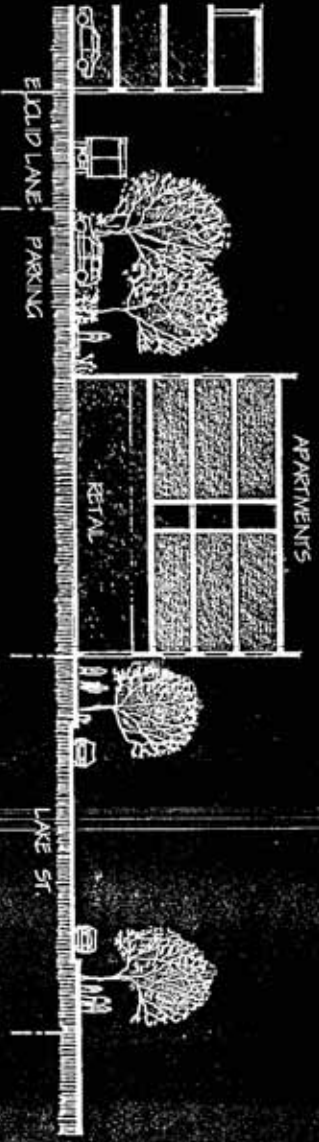
### EUCLID TERRACES

A DEVELOPER  
YEAR FOR THE CITY OF CLEVELAND  
THE TAXI  
ANTUNOVIC  
PROPOSITION AND FOCUS DEVELOPMENT, DEVELOPERS  
ASSOCIATES, ARCHITECTS AND PLANNERS

EXHIBIT C JANUARY 8, 2001  
PARCEL 1 MIXED USE



10105709



NORTH-SOUTH DIAGRAMMATIC SECTION AT PARCEL 1

**EUCLED TERRACES**

A DEVELOPER REQUEST FOR THE CITY OF SAN FRANCISCO  
THE TAHOE CORPORATION AND FOCUS DEVELOPMENT, DEVELOPERS  
ANTHONY ASSOCIATES, ARCHITECTS AND PLANNERS

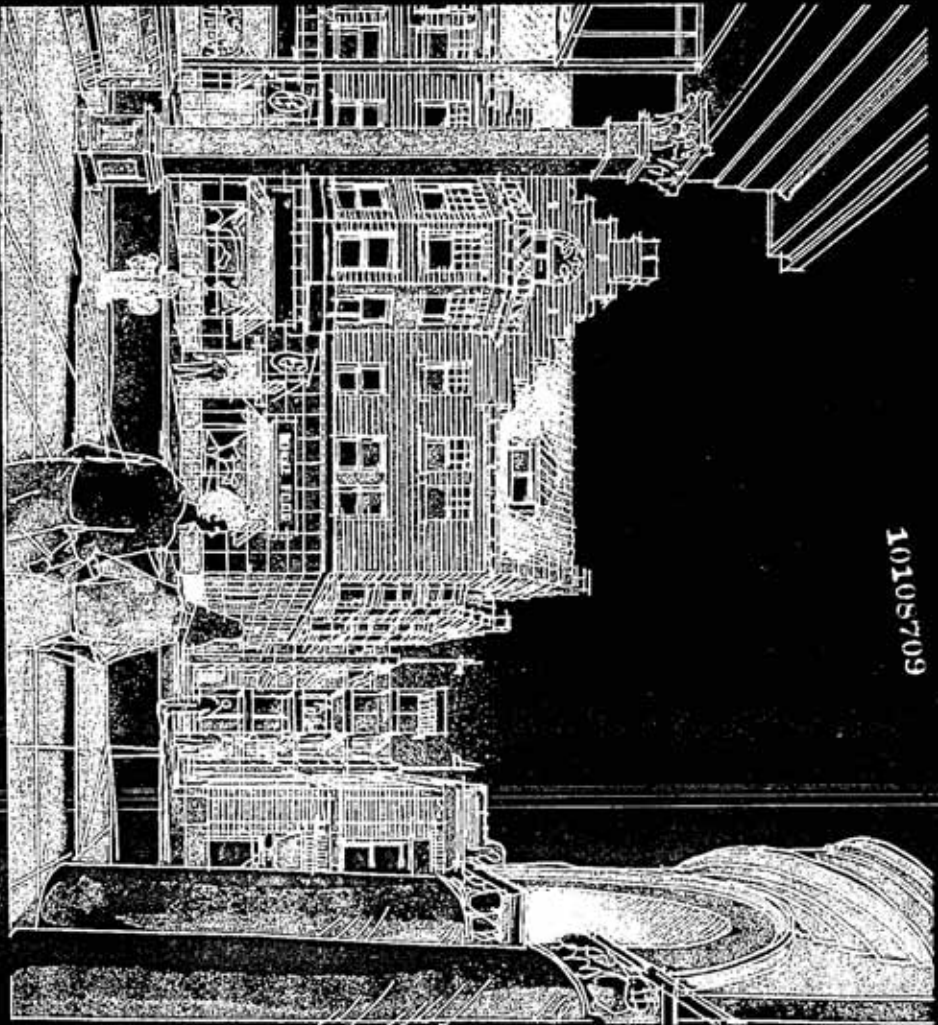
EXHIBIT C JANUARY 8, 20

PARCEL 1 MIXED U



JULY 31, 2K

10108709



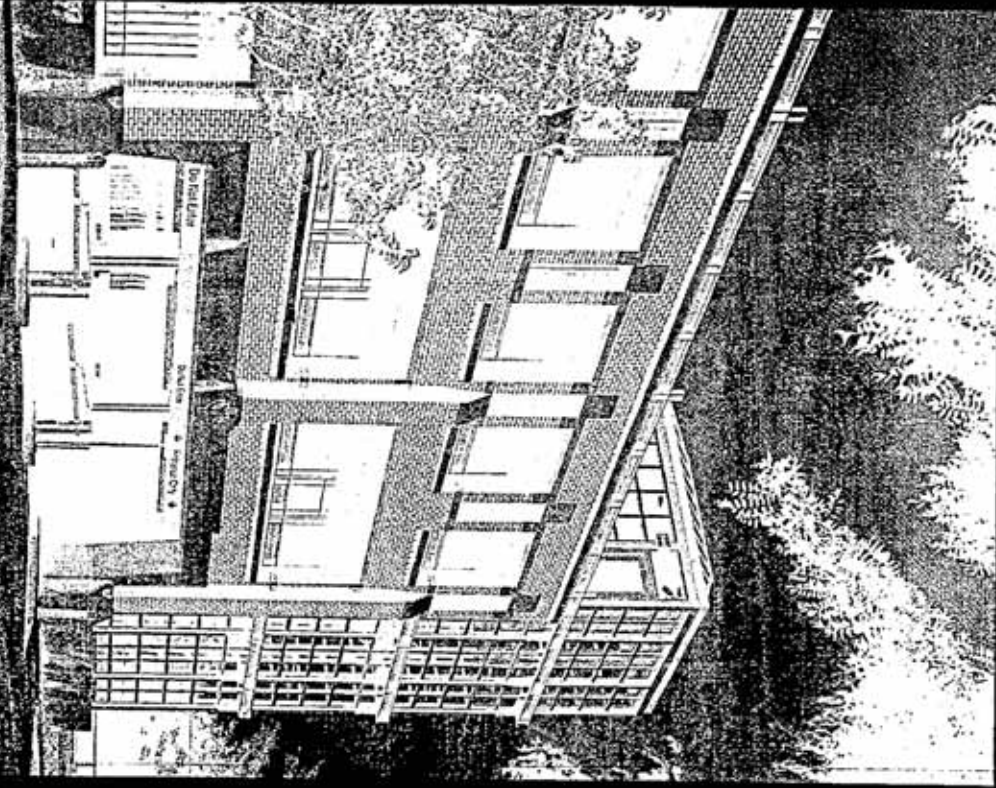
THE PARKING GARAGE STAIR & ELEVATOR TOWER IS THE FOCAL POINT OF THE PEDESTRIAN LANE FROM OAK PARK AVENUE

## EUCLID TERRACES

A DEVELOPER  
THE TAXI  
ANTUNOV,  
OPERATION AND FOCUS DEVELOPMENT, DEVELOPERS  
ASSOCIATES, ARCHITECTS AND PLANNERS

EXHIBIT C JANUARY 8, 2001  
PARCEL P (WEST) PARKING GARAGE

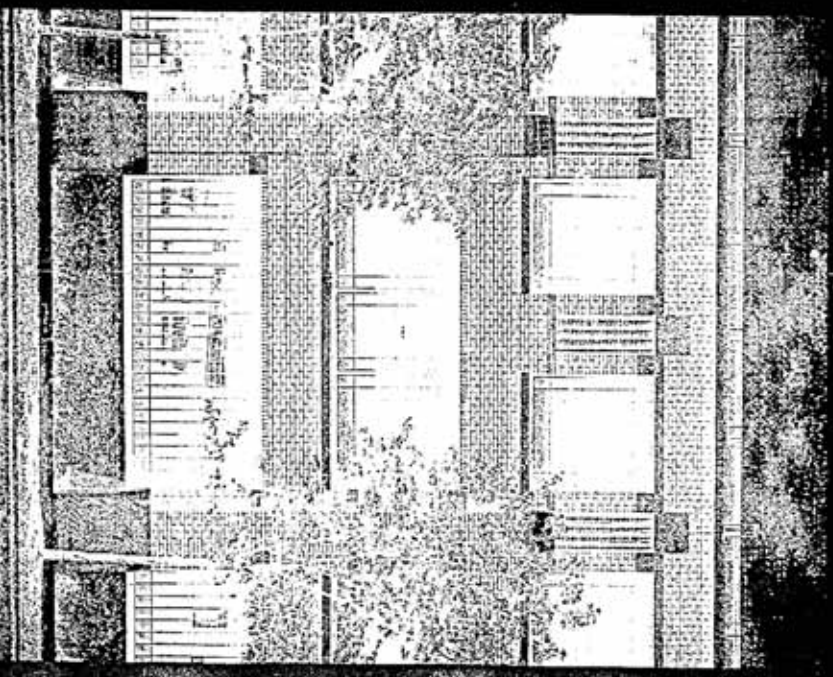
JULY 31, 2000



GARAGE FACADE TYPE 1 (WITH TYPE 2 ENTRANCE TOWER)

**EUCLID TERRACES**

A DEVELOPMENT FOR THE CITY OF CLEVELAND  
 CONSULTING ARCHITECTS AND PLANNERS  
 CONSULTING ARCHITECTS AND PLANNERS



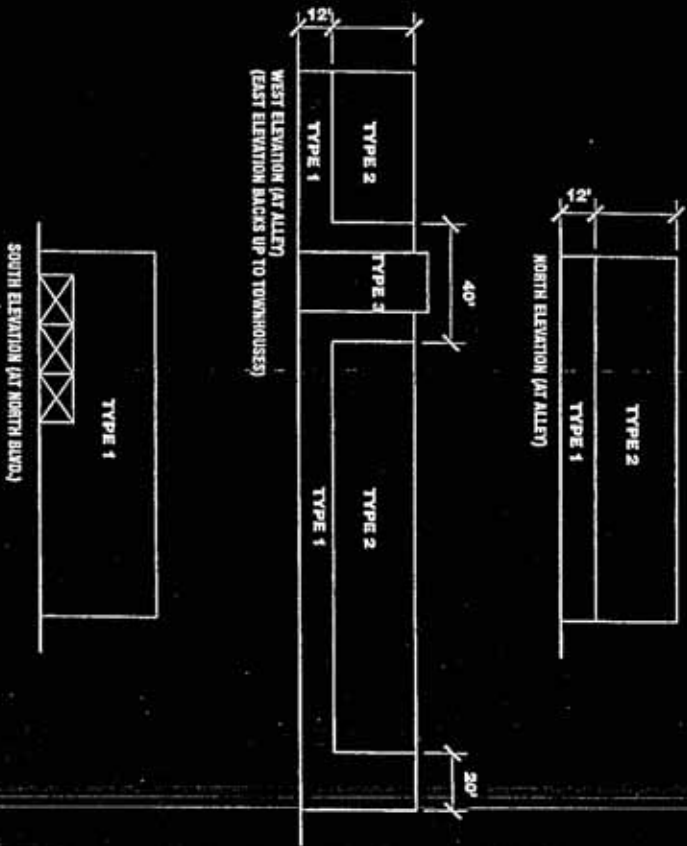
GARAGE FACADE TYPE 1

20105709

EXHIBIT C JANUARY 8, 2001

SEP 12, 2000

10108709



- TYPE 1: BRICK, METAL, CAST STONE (SIM. TO DEPAUL)
- TYPE 2: PRECAST CONCRETE SPANDREL
- TYPE 3: METAL FRAMED GLASS ENTRANCE TOWER

**EUCLID TERRACES**

A DEVELOPMENT PROPOSAL FOR THE CITY OF CLEVELAND  
THE TOWN OF CLEVELAND AND FOODS DEVELOPMENT, DEVELOPERS  
ANTUNOVIC ASSOCIATES, ARCHITECTS AND PLANNERS

EXHIBIT C JANUARY 8, 2001

PARKING GARAGE ELEVATION KEY

OCTOBER 12, 2000





# OAK PARK EUCLID TERRACES PARKING GARAGE

FOCUS-T, INC., DEVELOPERS    ANTONOVICH ASSOCIATES, ARCHITECTS AND PLANNERS    CHICAGO    JANUARY 8 2001    SCALE 1/8" = 1'-0"    EXHIBIT

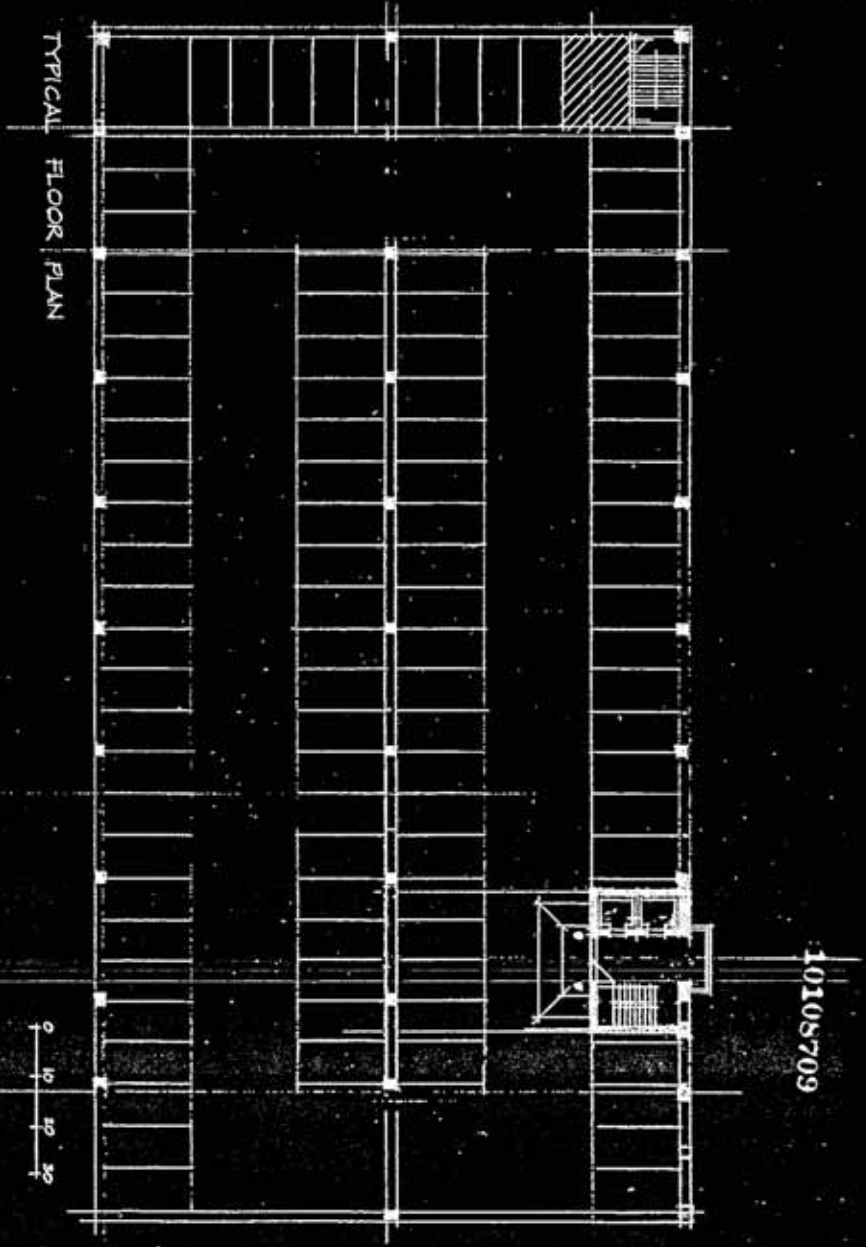


EXHIBIT D

Euclid Terraces

July 31, 2000

PROJECT COSTS

	Phase I		Phase II	Phase III	All Phases
	Parcel 4	Parking Garage	Project Site	Parcel 1	Totals
<b>Project Data</b>					
Total Number of Units	32	NA	37	17	86
Total Number of Parking Spaces	52	522**	63	9 surface*	115
<b>Areas</b>					
Parking Area	15,000	122,000	21,300		158,300
Gross Residential (incl. Lobby, mech, etc.)	45,000		66,900	19,700	131,600
Retail Space				6,000	6,000
Total Gross Area	60,000	122,000	88,200	25,700	295,900
Net Residential	39,200		66,900	17,100	123,200
Average Unit Size	1,225		1,808	1,006	1,433
<b>Sales Assumptions</b>					
Average Price per SF	\$ 185.00		\$ 175.00		
Average Sales Price	\$ 226,625.00		\$ 316,418.92		
Parking Sales at \$18,000 per extra space	\$ 216,000.00		\$ 252,000.00		
Floor /Site Premiums	\$ 80,000.00		\$ 150,000.00		
Total Gross Sales	\$ 7,548,000.00		\$ 12,109,500.00		\$ 19,657,500.00
Less Closing Costs	\$ (301,820.00)		\$ (484,380.00)		\$ (786,300.00)
Total Net Sales	\$ 7,246,080.00		\$ 11,625,120.00		\$ 18,871,200.00
Sales Absorption	2.5 per month		2.3 per month		
<b>Rental Assumptions</b>					
Average Apartment Rent per SF				\$ 1.65	
Average Monthly Apartment Rent				\$ 1,659.71	
Average Net Retail Rent per SF				\$ 20.00	
Total Annual Rents				\$ 458,580.00	\$ 458,580.00

Project Budget\*\*\*\*

	Parcel 4	Parking Garage	Project Site	Parcel 1	Totals
<b>Land Acquisition</b>					
	\$ 3,000,000.00	\$ 1,000,000.00	\$ 1,000,000.00	\$ 2,000,000.00	\$ 7,000,000.00
<b>Improvements</b>					
Including construction costs & management	\$ 4,500,000.00	\$ 2,250,000.00	\$ 3,000,000.00	\$ 2,025,000.00	\$ 10,275,000.00
<b>Soft Costs</b>					
Architect/ Engineer	\$ 125,000.00	\$ 270,000.00	\$ 200,000.00	\$ 90,000.00	\$ 685,000.00
Legal/ Accounting/ Title	\$ 57,000.00	\$ 30,000.00	\$ 90,000.00	\$ 35,000.00	\$ 212,000.00
Financing/ Appraisal/ Inspecting architect	\$ 85,000.00		\$ 125,000.00	\$ 40,000.00	\$ 250,000.00
Insurance	\$ 20,000.00	\$ 15,000.00	\$ 35,000.00	\$ 10,000.00	\$ 80,000.00
Municipal Fees/ Real Estate Taxes	\$ 100,000.00	\$ 50,000.00	\$ 150,000.00	\$ 50,000.00	\$ 350,000.00
Marketing	\$ 265,000.00		\$ 420,000.00	\$ 60,000.00	\$ 745,000.00
Surveys/ Testing	\$ 10,000.00	\$ 10,000.00	\$ 15,000.00	\$ 5,000.00	\$ 40,000.00
Operating Costs/ Utilities	\$ 18,000.00		\$ 25,000.00	\$ 8,000.00	\$ 51,000.00
Developer Fee and Overhead	\$ 220,000.00	\$ 339,300.00	\$ 440,000.00	\$ 102,000.00	\$ 1,101,300.00
Unallocated Interest	\$ 750,000.00		\$ 250,000.00	\$ 500,000.00	\$ 1,500,000.00
Contingency	\$ 300,000.00		\$ 600,000.00	\$ 100,000.00	\$ 1,000,000.00
<b>TOTALS</b>	<b>\$ 8,230,000.00</b>	<b>\$ 3,269,300.00</b>	<b>\$ 5,360,000.00</b>	<b>\$ 2,780,000.00</b>	<b>\$ 19,639,300.00</b>

Notes:

- \*27 incl. in parking garage
- \*\* includes 27 spaces that could be used by apartment renters.
- \*\*\* Village of Oak Park currently owns the land and would retain ownership of the garage, and fund project costs without a construction loan.
- \*\*\*\* Project Budget assumes all projects to be done in sequence per proposed project schedule to maintain economies of scale.



EXHIBIT E

Project Schedule

10105709





EXHIBIT F

FINANCING PLAN

Developer intends to finance the development with traditional acquisition, development and construction financing in an amount equal to approximately 80% of the value of the project. Equity contributions are anticipated to be privately funded and/or guaranteed by the principals of the partnership pursuant to the requirements of the lender.

10108709

EXHIBIT G

**IRREVOCABLE LETTER OF CREDIT**  
NO. \_\_\_\_\_

Issue Date: \_\_\_\_\_, 2001  
Beneficiary: Village of Oak Park  
Amount: \$500,000.00  
Expiration Date: \_\_\_\_\_, 2002

Re: Euclid and Lake Redevelopment

Ladies and Gentlemen:

\_\_\_\_\_ ("Bank") hereby establishes, at the request of and for the account of Euclid Terraces, L.L.C., an Illinois limited liability company ("Borrower"), in favor of the Village of Oak Park, an Illinois municipal corporation ("Beneficiary") our Irrevocable Letter of Credit No. \_\_\_\_\_ for the sum or sums not exceeding Five Hundred Thousand and No/Dollars (US \$500,000.00) ("Credit Amount") available on the date hereof, and expiring on \_\_\_\_\_, 2002 ("Expiration Date"). The Credit Amount is (i) established under Section 4.03 of that certain Redevelopment Agreement made and entered into as of January 8, 2000, by and between the Beneficiary and the Borrower (as Developer thereunder), for the referenced project, a copy of which is attached hereto as Exhibit 1 and made a part hereof ("Redevelopment Agreement") and (ii) available to Beneficiary against presentation of Beneficiary's draft(s) at sight drawn on Bank at \_\_\_\_\_, Illinois, \_\_\_\_\_ or upon presentation of Beneficiary's draft(s) as delivered by certified mail to Bank at the foregoing address.

Each request drawn under this Letter of Credit must be accompanied by:

- (i) an original executed Sight Draft, in the form attached hereto as Annex A ("Sight Draft");
- (ii) an original executed certification, in the form of a letter, on Beneficiary's letterhead, in the form attached hereto as Annex B ("Certification"); and

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(iii) this original Letter of Credit, so that the amount of any partial draw upon this Letter of Credit can be marked or reflected thereon, prior to being returned to the Beneficiary, or so that this Letter of Credit can be retained and canceled if the entire balance or remaining balance of the Credit Amount is drawn hereunder.

This Letter of Credit shall expire on the earlier to occur of:

- (i) the Expiration Date;
- (ii) the date on which Beneficiary surrenders this Letter of Credit to Bank for cancellation; or
- (iii) payment at any time by Bank of the entire balance or the remaining balance of the Credit Amount. If the Expiration date of this Letter of Credit is not a business day (as defined below), then this Letter of Credit shall expire at Bank's close of business on the first business day (as defined below) thereafter. Beneficiary shall promptly deliver this Letter of Credit to Bank upon expiry.

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We hereby engage with the Beneficiary that all drafts drawn under and in strict compliance with the terms of this Letter of Credit will be duly honored by us upon presentation to Bank of the applicable Sight Draft, the Certification and the Letter of Credit as specified above at the aforesaid address during Bank's business hours on any day on which Bank is open for business (a "business day") through the Expiration Date.

The Credit Amount of this Letter of Credit shall be automatically reduced by the amount of any previous payment by Bank hereunder, regardless of whether any such payment is marked or reflected on this Letter of Credit.

This Letter of Credit shall be governed by the International Chamber of Commerce's uniform Customs and Practices for Documentary Credits, 1993 revision, International Chamber of Commerce Publication No. 500.

This Letter of Credit is irrevocable and unconditional. This Letter of Credit sets forth in full the terms of Bank's undertaking, and this undertaking shall not in any way be modified, amended or amplified by reference to any document, instrument or agreement referred to herein or in which this Letter of Credit is referred to or to which this Letter of Credit relates and any such reference shall not be deemed to incorporate herein by reference any document, instrument or agreement, except as attached hereto.

This Letter of Credit is not transferable or assignable, except with the prior written consent of Bank. Please address all correspondence regarding this Letter of Credit to the attention of our \_\_\_\_\_ Department, mentioning our reference number as it appears above.

Very truly yours,

\_\_\_\_\_

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Attest: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

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EXHIBIT 1  
Redevelopment Agreement

10108709



ANNEX A

(To Issuing Bank)  
Letter of Credit No. \_\_\_\_\_

SIGHT DRAFT

DRAWN UNDER \_\_\_\_\_ IRREVOCABLE LETTER OF CREDIT NO. \_\_\_\_\_  
\$ \_\_\_\_\_, 20\_\_\_\_

At sight pay to the order of the Village of Oak Park, 123 Madison Street, Oak Park, Illinois  
60302 the sum of \_\_\_\_\_ Dollars (\$ \_\_\_\_\_).

VILLAGE OF OAK PARK

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Attest: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

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To: \_\_\_\_\_ [Issuer Name and Address]

ANNEX B

(To Issuing Bank)  
Letter of Credit No. \_\_\_\_\_

CERTIFICATION

[Insert Issuer Name and Address]  
Attention: \_\_\_\_\_ Department

Ladies and Gentlemen:

The undersigned holds the office and position set forth below and is authorized to make the certifications herein provided on behalf of the Village of Oak Park, Illinois ("Beneficiary"). Beneficiary hereby certifies to \_\_\_\_\_ ("Bank") as follows:

1. This statement is made and delivered to obtain payment against your Irrevocable Letter of Credit No. \_\_\_\_\_, dated \_\_\_\_\_, 2001 ("Credit").

2. Beneficiary has declared Euclid Terraces, L.L.C. ("Developer") to be in default to Beneficiary (a) under the terms and provisions of that certain "Redevelopment Agreement" (defined in the Credit) relating to the payment of the Credit Amount to the Beneficiary, and in particular, as follows:

[Described Nature of Default]

or (b) as a result of Developer's failure to furnish a replacement or renewal Letter of Credit not less than thirty (30) days prior to the expiration of the Credit.

3. Beneficiary has notified Developer in writing of said failure, and said failure has not been corrected or cured as permitted under the Redevelopment Agreement.

4. The amount of the accompanying sight draft is due and payable to Beneficiary and such amount shall be used only as permitted in the Redevelopment Agreement.

VILLAGE OF OAK PARK

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Attest: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

10105709

EXHIBIT H - "AMOCO SITE"

Costs Summary

CLOSING COSTS

Purchase Price	\$375,000
Brokerage Fee	25,000
Chicago Title and Trust Co.	335
Transfer Tax	3,000
Legal & Accounting	6,611

ADDITIONAL COSTS

Interest Expense * (Thru 12/1/00)	5,074
Survey	830
Environmental Consulting	
Demolition	
	<hr/>
Subtotal	\$415,850

\* Interest Expense will be calculated from the date of the Developer's acquisition thru the date of closing with the Village.

10/10/01

CLERK'S CERTIFICATE

I, Sandra Sokol, Village Clerk of the Village of Oak Park, in the County of Cook and the State of Illinois, do hereby certify that ORDINANCE #2001-0-05 entitled ORDINANCE AUTHORIZING EXECUTION OF REDEVELOPMENT AGREEMENT WITH EUCLID TERRACES L.L.C., FOR THE REDEVELOPMENT OF THE NORTH EUCLID SITE LOCATED WEST OF EUCLID AND NORTH OF NORTH BOULEVARD was adopted by the Village Board of Trustees on January 16, 2001 and approved by the Village President on January 16, 2001. The ORDINANCE is available for public inspection in the Office of the Village Clerk.

10108709

IN WITNESS WHEREOF I have set my hand and affixed the seal of said Village of Oak Park this 8th day of February, 2001.

  
SANDRA SOKOL  
Village Clerk

(seal)

**ORDINANCE AUTHORIZING EXECUTION OF REDEVELOPMENT  
AGREEMENT WITH EUCLID TERRACES L.L.C., FOR THE  
REDEVELOPMENT OF THE NORTH EUCLID SITE LOCATED WEST  
OF EUCLID AND NORTH OF NORTH BOULEVARD**

**BE IT ORDAINED** by the President and Board of Trustees of the Village of Oak Park, Cook County, State of Illinois, pursuant to its home rule powers as set forth in Article VII, Section 6 of the Constitution of the State of Illinois (1970), as amended as follows

**SECTION 1: FINDINGS:**

A. The President and Board of Trustees hereby adopt as its Findings and incorporate as though set forth fully herein the recitals set forth on pages 1, 2 and 3 of the Redevelopment Agreement attached hereto as Exhibit "A" and made a part hereof.

B. It is in the best interests of the health, safety and welfare of the Village of Oak Park and its citizens to authorize this Agreement, as it will have the effect of adding to the tax base of the Oak Park Tax Increment Financing District. Further, the development will have the effect of serving the needs of the Village, increase employment opportunities, arrest physical decay and decline now existing within the TIF Redevelopment Area, stimulate commercial growth, stabilize the tax base of the Village, and create new housing opportunities. Further, the development will further the growth of the Village, improve the environment of the Village, increase the assessed valuation of the real estate situated within the Village, increase sales tax revenues realized by the Village, increase employment

10108709

opportunities within the Village, enable the Village to control the development of the Priority Area, and otherwise be in the best interests of the Village by furthering the health, safety, morals and welfare of its residents and taxpayers.

**SECTION 2:** The Village President and Village Clerk are, therefore, authorized and directed to execute the Agreement with Euclid Terraces, L.L.C. attached as Exhibit "A" and made a part hereof.

**THIS ORDINANCE** is executed pursuant to the home rule powers of the Village of Oak Park and shall be in full force and effect from and after its adoption and approval as provided by law.

**ADOPTED** this 16th day of January, 2001, pursuant to a roll call vote as follows:

**AYES:** Trustees Ebner, Hodge-West, Kostopulos, Kuner, Trapani and Turner and President Furlong

**NAYS:** None

**ABSENT:** None

**ADOPTED AND APPROVED** this 16th day of January, 2001.

*Barbara Furlong*

Barbara Furlong  
Village President

**ATTEST:**

*Sandra Sokol*  
Sandra Sokol  
Village Clerk

Box 321

PREPARED BY:

Name: Amoco Oil Company  
Attention: David Piotrowski  
Address: Amoco Oil Co. #5379  
708 West Lake St.  
Oak Park, Illinois 60301

0010387405

2007/0047 07 001 Page 1 of 7  
2001-05-09 10:18:27  
Cook County Recorder 63.00

RETURN TO:

Name: AFTER RECORDING, MAIL TO:  
CHICAGO TITLE INSURANCE CO.  
ATTN: TAIWAN MILLER  
Address: 171 N. CLARK ST. • M/C: 046P  
CHICAGO, IL 60601

LEAVE ABOVE SPACE FOR RECORDER'S OFFICE

LEAKING UNDERGROUND STORAGE TANK ENVIRONMENTAL NOTICE

THE OWNER AND/OR OPERATOR OF THE LEAKING UNDERGROUND STORAGE TANK(S) ASSOCIATED WITH THE RELEASE REFERENCED BELOW, WITHIN 45 DAYS OF RECEIVING THE NO FURTHER REMEDIATION LETTER CONTAINING THIS NOTICE, MUST SUBMIT THIS NOTICE AND THE REMAINDER OF THE NO FURTHER REMEDIATION LETTER TO THE OFFICE OF THE RECORDER OR REGISTRAR OF TITLES OF COOK COUNTY IN WHICH THE SITE DESCRIBED BELOW IS LOCATED.

Illinois EPA Number: 0312255057  
LUST Incident No.: 902418

Amoco Oil Company, the owner and operator of the leaking underground storage tank(s) associated with the above-referenced incident, whose address is 28100 Torch Parkway, 3-S, Warrenville, Illinois, has performed investigative and/or remedial activities for the site identified as follows:

1. Legal description or Reference to a Plat Showing the Boundaries: THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
2. Common Address: 708 West Lake St., Oak Park, Illinois 60301
3. Real Estate Tax Index/Parcel Index Number: 16-07-218-026
4. Site Owner: Chitown Development, Ltd., 9933 N. Lawler, Skokie, Illinois 60077
5. Land Use Limitation: The groundwater under the site shall not be used as a potable water supply.
6. See the attached No Further Remediation Letter for other terms.

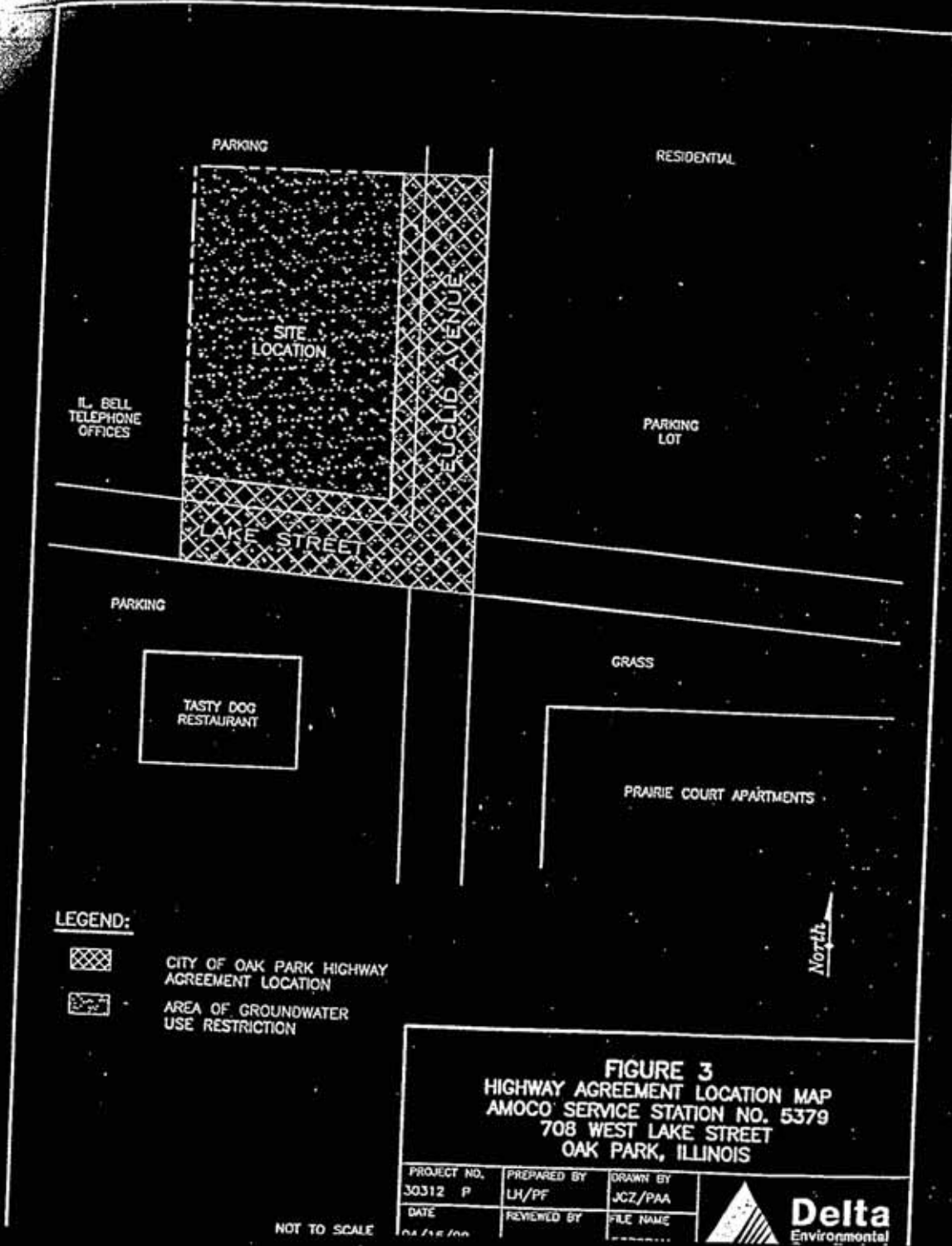
Leaking Underground Storage Tank Environmental Notice

BOX 333-CTI



531-002

DIX.

JP  
CE



**LEGEND:**

-  CITY OF OAK PARK HIGHWAY AGREEMENT LOCATION
-  AREA OF GROUNDWATER USE RESTRICTION

**FIGURE 3**  
**HIGHWAY AGREEMENT LOCATION MAP**  
**AMOCO SERVICE STATION NO. 5379**  
**708 WEST LAKE STREET**  
**OAK PARK, ILLINOIS**

PROJECT NO. 30312 P	PREPARED BY LH/PF	DRAWN BY JCZ/PAA
DATE 04/15/09	REVIEWED BY	FILE NAME



NOT TO SCALE





## ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

1021 NORTH GRAND AVENUE EAST, P.O. BOX 19276, SPRINGFIELD, ILLINOIS 62794-9276

THOMAS V. SKINNER, DIRECTOR

217/782-6762

APR 16 2001

Amoco Oil Company  
 Attention: David Piotrowski  
 28100 Torch Parkway, 3-S  
 Warrenville, Illinois 60555

Re: LPC #0312255057 -- Cook County  
 Oak Park/Amoco Oil Co. #5379  
 708 West Lake St.  
 LUST Incident No. 902418  
 LUST Technical File

CERTIFIED MAIL



Dear Mr. Piotrowski:

The Illinois Environmental Protection Agency ("Illinois EPA") has reviewed the Closure Report submitted for the above-referenced incident. This information is dated September 24, 1997; was received by the Illinois EPA September 26, 1997; and was prepared by Delta Environmental Consultants, Inc. Citations in this letter are from the Environmental Protection Act ("Act") and 35 Illinois Administrative Code ("35 IAC").

The Corrective Action Completion Report and the Professional Engineer Certification submitted pursuant to 35 IAC Part 731 indicate remediation has been successfully completed.

Based upon the certification by Debra Hagerty, a Registered Professional Engineer of Illinois, and based upon other information in the Illinois EPA's possession, your request for a no further remediation determination is granted under the conditions and terms specified in this letter.

Issuance of this No Further Remediation Letter ("Letter"), based on the certification of the Registered Professional Engineer, signifies that: (1) all statutory and regulatory corrective action requirements applicable to the occurrence have been complied with; (2) all corrective action concerning the occurrence has been completed; and (3) no further remediation concerning the occurrence is necessary for the protection of human health, safety and the environment. This Letter shall apply in favor of the following persons:

1. Amoco Oil Company;
2. The owner and operator of the UST(s);

GEORGE H. RYAN, GOVERNOR

PRINTED ON RECYCLED PAPER

3. Any parent corporation or subsidiary of the owner or operator of the UST(s);
4. Any co-owner or co-operator, either by joint-tenancy, right of survivorship, or any other party sharing a legal relationship with the owner or operator to whom the letter is issued;
5. Any holder of a beneficial interest of a land trust or inter vivos trust, whether revocable or irrevocable;
6. Any mortgagee or trustee of a deed of trust of the owner of the site or any assignee, transferee, or any successor-in-interest of the owner of the site;
7. Any successor-in-interest of such owner or operator;
8. Any transferee of such owner or operator whether the transfer was by sale, bankruptcy proceeding, partition, dissolution of marriage, settlement or adjudication of any civil action, charitable gift, or bequest; or
9. Any heir or devisee of such owner or operator.

This Letter, and all attachments, including but not limited to the Leaking Underground Storage Tank Environmental Notice, must be filed within 45 days of its receipt as a single instrument with the Office of the Recorder or Registrar of Titles in the County where the above-referenced site is located. This Letter shall not be effective until officially recorded by the Office of the Recorder or Registrar of Titles of the applicable County in accordance with Illinois law so it forms a permanent part of the chain of title for the above-referenced property. Within 30 days of this Letter being recorded, a certified copy of this Letter, as recorded, shall be obtained and submitted to the Illinois EPA. For recording purposes, it is recommended that the Leaking Underground Storage Tank Environmental Notice of this Letter be the first page of the instrument filed.

#### CONDITIONS AND TERMS OF APPROVAL

##### LEVEL OF REMEDIATION AND LAND USE LIMITATIONS

1. The remediation objectives for the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, were established in accordance with the requirements of the Tiered Approach to Corrective Action Objectives (35 IAC Part 742) rules.
2. As a result of the release from the underground storage tank(s) associated with the above-referenced incident, the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this Letter, shall not be used in a manner inconsistent with the following land use limitation: The groundwater under the site shall not be used as a potable water supply. It has been demonstrated that the groundwater under the site meets Class II (General Resource) groundwater criteria, rather than Class I (Potable Resource) groundwater. Groundwater classifications are defined at 35 IAC Part 620, Subpart B.

Page 3

3. The land use limitation specified in this Letter may be revised if:
  - a) Further investigation or remedial action has been conducted that documents the attainment of objectives appropriate for the new land use; and
  - b) A new Letter is obtained and recorded in accordance with Title XVII of the Act and regulations adopted thereunder.

PREVENTIVE, ENGINEERING, AND INSTITUTIONAL CONTROLS

4. Preventive: The groundwater under the site described in the attached Leaking Underground Storage Tank Environmental Notice of the Letter shall not be used as a potable supply of water. No person shall construct, install, maintain or utilize a potable water supply well. In accordance with Section 3.65 of the Act, "potable" means generally fit for human consumption in accordance with accepted water supply principles and practices.

Engineering: None.

Institutional: This Letter shall be recorded as a permanent part of the chain of title for the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this letter.

The Village of Oak Park agrees, through the use of a Highway Authority Agreement, to allow contaminated groundwater or soils to remain beneath its highway right-of-way adjacent to the site located at 708 West Lake Street, Oak Park. Specifically, as shown on the attached map, contamination will remain in the right-of-way for Lake Street and Euclid Avenue as indicated in the Highway Authority Agreement. The Highway Authority agrees (a) to prohibit the use of groundwater under the highway right-of-way that is contaminated above residential Tier 1 remediation objectives from the release as a potable or other domestic supply of water, and (b) to limit access to soil contamination under the highway right-of-way that is contaminated above residential Tier 1 remediation objectives. A copy of the Highway Authority Agreements can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to the Bureau of Land, FOIA Unit as detailed elsewhere in this letter. Questions regarding the Highway Authority Agreement should be directed to the Director of Public Works at 1 Village Hall Plaza, Oak Park, Illinois 60302.

5. Failure to establish, operate, and maintain controls in full compliance with the Act, applicable regulations, and the approved corrective action plan may result in voidance of this Letter.

OTHER TERMS

6. Any contaminated soil or groundwater removed, or excavated from, or disturbed at the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, must be handled in accordance with all applicable laws and regulations.
7. Further information regarding the above-referenced site can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to:

Illinois Environmental Protection Agency  
Attention: Freedom of Information Act Officer  
Bureau of Land - #24  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, Illinois 62794-9276

8. Should the Illinois EPA seek to void this Letter, the Illinois EPA shall provide notice to the owner or operator of the leaking underground storage tank(s) associated with the above referenced incident and the current title holder of the real estate on which the tanks were located, at their last known addresses. The notice shall specify the cause for the voidance, explain the provisions for appeal, and describe the facts in support of the voidance. Specific acts or omissions that may result in the voidance of this Letter include, but shall not be limited to:
  - a) Any violation of institutional controls or industrial/commercial land use restrictions;
  - b) The failure to operate and maintain preventive or engineering controls or to comply with any applicable groundwater monitoring plan;
  - c) The disturbance or removal of contamination that has been left in place in accordance with the Corrective Action Plan or Completion Report;
  - d) The failure to comply with the recording requirements for the Letter;
  - e) Obtaining the Letter by fraud or misrepresentation; or
  - f) Subsequent discovery of contaminants, not identified as part of the investigative or remedial activities upon which the issuance of the Letter was based, that pose a threat to human health or the environment.

Submit the certified copy of this letter, as recorded, to:

Illinois Environmental Protection Agency  
Bureau of Land - #24  
LUST Section  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, Illinois 62794-9276

If you have any questions or need further assistance, please contact the Illinois EPA project manager, Melinda Friedel, at 217/782-6762.

Sincerely,



Michael T. Lowder  
Unit Manager  
Leaking Underground Storage Tank Section  
Division of Remediation Management  
Bureau of Land

Attachments: Leaking Underground Storage Tank Environmental Notice  
Site Base Map

cc: Delta Environmental  
Division File

[Home](#)

[Feedback](#)

# Cook County Tax Search Report

20 YEAR DELINQUENT GENERAL TAX SEARCH BY P.I.N.  
30 YEAR SPECIAL ASSESSMENT SEARCH BY P.I.N.

**ORDER:** 153226044T **VOL:** 141 **PIN:** 16-07-218-029-8001 **SUBMITTER:** TDENIG@STEWART.COM

**\*\*\*\* 2014 TAX INFORMATION \*\*\*\***

<b>ASSESSEE:</b> <b>NONE</b>	<b>1st Installment Information:</b>		<b>2nd Installment Information:</b>	
	DUE DATE: 03/03/2015		DUE DATE: 08/03/2015	
	DUE:	\$0.00	DUE:	\$0.00
	PAID:	\$0.00	PAID:	\$0.00
	BALANCE DUE:	<b>\$0.00</b>	BALANCE DUE:	<b>\$0.00</b>

---

*PRIOR GENERAL TAXES ON THIS P.I.N ARE SATISFIED WITH THE FOLLOWING EXCEPTIONS:*

*NO RESEARCH REQUIRED*

---

**No Annual Benefits Report Found**

**No Special Assessments Found**

[Search Taxes](#) | [Search Taxes\(ByBatch\)](#) | [Feedback](#)  
Copyright© 2003-2012 Taxes Unlimited  
Last modified: 09/25/2013

**COOK COUNTY TAX SEARCH REPORT  
20 YEAR DELINQUENT GENERAL TAX SEARCH BY P.I.N.  
30 YEAR SPECIAL ASSESSMENT SEARCH BY P.I.N.**

CLIENT: c200\_stewart

01/08/2016

ORDER: 153226044t

VOL: 141 PIN: 16-07-218-029-8002 SUBMITTER:

\*\*\*\* 2014 TAX INFORMATION \*\*\*\*

<b>ASSESSEE</b> TASTY DOG, INC 708 LAKE STREET OAK PARK IL 60301	<b>1st Installment Information:</b>		<b>2nd Installment Information:</b>	
	Due: 03/03/2015		Due: 08/03/2015	
	Due:	\$11758.56	Due:	\$10255.34
	Paid:	\$0.00	Paid:	\$0.00
	Balance Due:	\$11758.56	Balance Due:	\$10255.34

**PRIOR GENERAL TAXES ON THIS P.I.N ARE SATISFIED WITH THE FOLLOWING EXCEPTIONS:**

- 2013 [21379.20 STATUS = ] *Open Item*
  - 2012 [21372.36 STATUS = ] *Open Item*
  - 2011 [20590.07 STATUS = ] *Open Item*
  - 2010 [21295.94 STATUS = ] *Open Item*
  - 2009 [20363.38 STATUS = ] *Open Item*
  - 2008 [9029.26 STATUS = ] *Open Item*
  - 2007 [19185.01 STATUS = ] *Open Item*
  - 2006 [18686.48 STATUS = ] *Open Item*
  - 2006 [0.00 STATUS = NEW PARCEL ]
  - 2005 [18214.75 STATUS = BACK TAX ASSESSED ]
  - 2004 [19565.99 STATUS = BACK TAX ASSESSED ]
  - 2003 [13777.08 STATUS = BACK TAX ASSESSED ]
- } *Open Item in 2007 WARRANT*

Additional Research to Follow

NO SPECIAL ASSESSMENTS FOUND



# DISTRICT HOUSE

## **SECTION 2. AFFIDAVIT OF NOTICE (SEE ALSO EXHIBITS 8.1 & 8.2)**

### **EXHIBIT 2.1: AFFIDAVIT OF NOTICE FOR ADJACENT PROPERTY OWNERS (FORM #3)**

The Developer has completed the pre-application notice. Prior to the submission of the application, the Developer notified the public and business owners that an application is ready to be filed (utilizing the same property owner information created for the Public Hearing). The notice was sent not more than 30 days prior to submittal of the application to the Village, including all of the owners of property within 500 feet of, and including, the subject property, measured from the property line, excluding rights-of-way. Additional notice was provided, pursuant to the requirements of the Zoning Ordinance, to fulfill the Public Hearing notice requirement for the Village of Oak Park Plan Commission.

- Affidavit of Notice for Adjacent Property Owners (Form #3) (dated May 19, 2016)
- Affidavit of Notice for Adjacent Property Owners (Form #3) (dated March 21, 2016)
- Notice to Adjacent Property Owners of a Public Hearing (Form #2) (dated May 9, 2016 and May 18, 2016)
- Notice to Adjacent Property Owners of a Neighborhood Meeting (Form #2) (dated February 23, 2016)
- Notice to Adjacent Property Owners of Intent to File a Planned Development (Form #2) (dated March 18, 2016)
- USPS Mailing Transaction Receipts (dated February 29, 2016, March 22, 2016 and May 17, 2016)



**AFFIDAVIT OF NOTICE  
FOR ADJACENT PROPERTY OWNERS**

The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 500 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation from a reputable title company [or other approved agency] indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior to such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

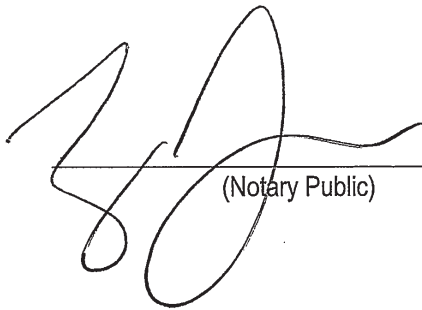
**District House LLC,  
an Illinois limited liability company**

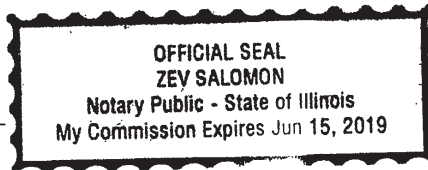
**By: Ranquist Partners II LLC  
an Illinois limited liability company,  
its Managing Member**

By:   
(Signature of Applicant)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

**21st** DAY OF **March**, **2016**

  
(Notary Public)



**AFFIDAVIT OF NOTICE  
FOR ADJACENT PROPERTY OWNERS**

The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 500 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation from a reputable title company [or other approved agency] indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior to such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

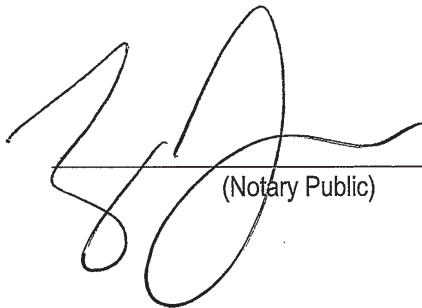
**District House LLC,  
an Illinois limited liability company**

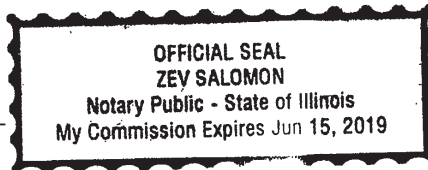
**By: Ranquist Partners II LLC  
an Illinois limited liability company,  
its Managing Member**

By:   
(Signature of Applicant)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

19th DAY OF May, 2016

  
(Notary Public)





## DISTRICT HOUSE

### **EXHIBIT 2.2: NOTICE TO ADJACENT PROPERTY OWNERS OF A NEIGHBORHOOD MEETING (FORM #2)**

- Wednesday Journal, Classified Section (dated May 25, 2016)
- Wednesday Journal Classified Advertising Invoice (dated February 24, 2016)
- Wednesday Journal Certification of Publication (dated February 24, 2016)
- Wednesday Journal, Classified Section (dated February 24, 2016)
- Neighborhood/Hemingway District Feedback (obtained March 15, 2016 and March 16, 2016)
- Neighborhood Meeting Attendee Lists (dated March 16, 2016)



February 23, 2016

RE: Lake & Euclid Development — Neighborhood Meeting

Dear Neighboring Property or Business Owner:

The Oak Park Zoning Ordinance requires owners of property, business owners and renters within 500 feet of the subject property be notified of a neighborhood meeting for a Planned Development proposal. The owners and renters shall be notified of the nature of the proposal, and the date, time, and place of the neighborhood meeting regarding the proposal.

A Legal Notice will appear in the February 24, 2016 edition of the Wednesday Journal. The community meeting will take place at **6:30 PM on Wednesday, March 16, 2016** and will be located in the Veterans' Room (Second Floor) of the Oak Park Public Library located at 834 Lake Street in Oak Park, Illinois. The neighborhood meeting is open to the public and comments and questions from the public on the proposal are invited.

Ranquist Development Group and Campbell Coyle Real Estate, both of Chicago, Illinois, will be presenting their plans for a mixed use project (residential and retail) proposed at the northwest corner of Lake Street and Euclid Avenue (708 Lake Street, a Village-Owned commercial property).

If you have any questions or concerns regarding this proposal prior to the neighborhood meeting, please contact Chris Dillion at Campbell Coyle Real Estate at 312 282 8396 or via e-mail at [cdillion@campbellcoyle.com](mailto:cdillion@campbellcoyle.com).

Thank you for your time and consideration.

Respectfully,

A handwritten signature in black ink, appearing to read 'Chris Dillion', written over a white background.

Christopher S. Dillion



March 18, 2016

RE: District House Development — Planned Development Application

Dear Neighboring Property or Business Owner:

Thank you to the neighbors that were available to participate in the first neighborhood meeting on District House, a project proposed by Chicago-based developers Ranquist Development and Campbell Coyle. The mixed use project (residential and retail) is proposed at the northwest corner of Lake Street and Euclid Avenue (708 Lake Street, a Village-Owned commercial property).

The Oak Park Zoning Ordinance requires owners of property, business owners and renters within 500 feet of the subject property be notified of a pending Planned Development proposal. We intend to submit the Planned Development proposal to the Village of Oak Park within the next 30 days.

Following review by the Village, a public hearing will be held to consider the proposed project. We will issue an additional notice once that hearing has been scheduled.

If you have any questions or concerns regarding this proposal, please contact Chris Dillion at Campbell Coyle Real Estate at 312 282 8396 or via e-mail at [cdillion@campbellcoyle.com](mailto:cdillion@campbellcoyle.com).

Thank you for your time and consideration.

Respectfully,

A handwritten signature in black ink, appearing to read "Chris Dillion", written over a light blue horizontal line.

Christopher S. Dillion



May 9, 2016

RE: District House Development (702-708 Lake Street and 139-147 N. Euclid Avenue)  
— Public Hearing before the Oak Park Plan Commission

Dear Neighboring Property or Business Owner:

The Oak Park Zoning Ordinance requires owners of property, business owners and renters within 500 feet of the subject property be notified of a public hearing for a Planned Development proposal. The owners and renters shall be notified of the nature of the proposal, and the date, time, and place of the public hearing regarding the proposal.

A Legal Notice will appear in the May 18, 2016 edition of the Wednesday Journal. The hearing will take place at **7:00 PM on Wednesday, June 2, 2016** and will be located in the **Council Chambers, Room 201** at Village Hall, located at 123 Madison Street in Oak Park, Illinois. The hearing is open to the public and comments and questions from the public on the proposal are invited. Those property owners within the 500 foot notice area and those persons with a special interest beyond that of the general public ("Interested Parties") wishing to cross-examine witnesses must complete and file an appearance with the Village Clerk not later than 5:00 PM on the business day preceding the public hearing. Forms are also available in the Clerk's Office at Village Hall.

District House LLC, comprised of Ranquist Development Group and Campbell Coyle Real Estate, both of Chicago, Illinois, seek approval of a Planned Development for District House, a mixed use project (residential and retail) proposed at the northwest corner of Lake Street and Euclid Avenue (702-708 Lake Street and 139-147 N. Euclid Avenue, a Village-Owned commercial property).

If you have any questions or concerns regarding this proposal prior to the public hearing, please contact Chris Dillion at Campbell Coyle Real Estate (312 282 8396 or via e-mail at [cdillion@campbellcoyle.com](mailto:cdillion@campbellcoyle.com)) or Craig Failor, Village of Oak Park Planner (708 358 5418 or by e-mail at [cfailor@oak-park.us](mailto:cfailor@oak-park.us)).

Thank you for your time and consideration.

Respectfully,

A handwritten signature in black ink, appearing to read "Chris Dillion", written over a white background.

Christopher S. Dillion





## PLAN COMMISSION

Docket No: PC 16-01

Name of Zoning Applicant: District House LLC

### APPEARANCE OF INTERESTED PARTY WITH RIGHT TO CROSS-EXAMINE

I, \_\_\_\_\_, hereby enter my appearance in the above proceedings with the right to cross-examine witnesses pursuant to the Rules of Procedure of the Oak Park Plan Commission.

I am an Interested Party, which is a person with a special interest beyond that of the general public, for the following reason(s): \*

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\*The reason(s) must be stated and is subject to review and approval by the Plan Commission. Property owners within the 500 foot notice area are considered to be Interested Parties.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name (PRINTED)

\_\_\_\_\_  
Address - Street

\_\_\_\_\_  
Community

This appearance bearing an **ORIGINAL** signature must be filed with the Village Clerk not later than 5:00 P.M. on the business day preceding the commencement of the public hearing.

***NOTE:*** *This form is intended for those who wish to cross-examine the applicant at the public hearing. This is not for public testimony. Public testimony can be provided at the public hearing or in writing to the Plan Commission through the Village Planner's office at 123 Madison Street, Oak Park, IL 60302 (planning@oak-park.us).*



May 18, 2016

**CORRECTION**

RE: District House Development (702-708 Lake Street and 139-147 N. Euclid Avenue)  
— **Revised Public Hearing** scheduled before the Oak Park Plan Commission

Dear Neighboring Property or Business Owner:

The Oak Park Zoning Ordinance requires owners of property, business owners and renters within 500 feet of the subject property be notified of a public hearing for a Planned Development proposal. The owners and renters shall be notified of the nature of the proposal, and the date, time, and place of the public hearing regarding the proposal.

Due to unforeseen circumstances, the hearing will be moved from Thursday, June 2, 2016 to 7:00 PM on Thursday, June 9, 2016 and will be located in the **Council Chambers, Room 201** at Village Hall, located at 123 Madison Street in Oak Park, Illinois.

A Legal Notice will appear in the May 25, 2016 edition of the Wednesday Journal. The hearing is open to the public and comments and questions from the public on the proposal are invited. Those property owners within the 500-foot notice area and those persons with a special interest beyond that of the general public ("Interested Parties") wishing to cross-examine witnesses must complete and file an appearance with the Village Clerk not later than 5:00 PM on the business day preceding the public hearing. Forms are also available in the Clerk's Office at Village Hall.

District House LLC, comprised of Ranquist Development Group and Campbell Coyle Real Estate, both of Chicago, Illinois, seek approval of a Planned Development for District House, a mixed use project (residential and retail) proposed at the northwest corner of Lake Street and Euclid Avenue (702-708 Lake Street and 139-147 N. Euclid Avenue, a Village-Owned commercial property).

If you have any questions or concerns regarding this proposal prior to the public hearing, please contact Chris Dillion at Campbell Coyle Real Estate (312 282 8396 or via e-mail at [cdillion@campbellcoyle.com](mailto:cdillion@campbellcoyle.com)) or Craig Failor, Village of Oak Park Planner (708 358 5418 or by e-mail at [cfailor@oak-park.us](mailto:cfailor@oak-park.us)).

Thank you for your time and consideration.

Respectfully,

A handwritten signature in black ink, appearing to read "Chris Dillion", written over a white background.

Christopher S. Dillion





**From:** Lynnette Bonness Lynnette@ranquist.com  
**Subject:** RE: District House: FedEx Confirmation  
**Date:** March 1, 2016 at 11:40 AM  
**To:** Christopher S. Dillion cdillion@campbellcoyle.com



From: [SYSTEM\\_GENERATED@usps.gov](mailto:SYSTEM_GENERATED@usps.gov) [mailto:SYSTEM\_GENERATED@usps.gov]  
 Sent: Monday, February 29, 2016 1:21 PM  
 To: [MAIL1140@fedex.com](mailto:MAIL1140@fedex.com)  
 Subject: Receipt for postage statement 234062526

<b>Company Detail</b>	
Company Name	FEDEX OFFICE
Address	115 W LAKE DR STE 100 GLENDALE HEIGHTS, 60139 -4882
Contact Name	ALEC KOPMAN
Phone Number	(630)407-0204
Profit Indicator	P
<b>PS Form 3607R - Mailing Transaction Receipt</b>	
Account Holder Account Number	14902
Account Holder Permit Number	73
Account Holder Permit Type	PI
Account Holder CRID	5778541
Post Office of Permit	CAROL STREAM IL 60199-9653
Post Office of Mailing	CAROL STREAM IL 60199-9653
Post Office of Permit Cost Center	161274-0993
Post Office of Mailing Cost Center	161274-0993
Mailing Agent Name	FEDEX OFFICE
Mailing Agent CRID	5778541
Mail Owner Name	FEDEX OFFICE
Mail Owner CRID	5778541
JOB ID	
Customer Reference ID	3634_02TW21_Bonness
CAPS Transaction Number	2016022913205502M1
Class of Mail	Standard Mail
Processing Category	Letters
Postage Statement ID	234062526
Mailing Group ID	162941811
Mailer's Mailing Date	02/29/2016
Total Pieces	659 pcs.
Weight of a single-piece	Non-Identical
Total Weight	15.4453 lbs.
Total Number of Containers	4
Total Postage (Without Incentive/Fee)	178.51
Incentive/Discount	\$0.00
Fee	\$0.00
Total Adjusted Postage	\$178.51
Payment Date and Time	02/29/2016 13:20
Payment Transaction Number	201606013205323M1

Mailer Figures Adjusted?	No
<b>Person authorizing adjustment</b>	
Name	
Phone Number	
Acceptance Site Mailer ID	
Clerk Initials	EMI
Mail Arrival Date and Time	02/29/2016 10:04

If you no longer wish to receive emails from Self Service Terminal, please click on the 'Unsubscribe' link below:

[Unsubscribe](#)

---

From: Christopher S. Dillion [mailto:cdillion@campbellcoyle.com]  
Sent: Monday, February 29, 2016 8:07 PM  
To: Lynnette Bonness  
Subject: District House: FedEx Confirmation

Lynnette,

Can you forward the confirmation you received with regards to the USPS mailing?

Thank you,

Chris

CHRISTOPHER S. DILLION LEED AP

152 W. Huron Street, Suite 200  
Chicago, Illinois 60654  
312 282 8396



# Postage Statement -- Standard Mail

Transaction Number: 201608316225701 M1	CAPS Transaction Number: 2016032316225800M1	Postage Statement Number: 236006113
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Mailing Group	Mailing Group ID 164278485	Mailing Job Number AO4170Z	Open Date 03-23-2016
	Preparer 4184-PI-PALMER PRINTING /ACT +	Origin MailXML	Close Date
	Job Description P28497_CampbellCoyle		

Mailer	Permit Holder's Name and Address and Email Address, if Any  ACT-PALMER PRINTING 739 S CLARK ST CHICAGO, IL 60605-1722 Contact Name: MARTHA RAMIREZ (312)427-7150 MRAMIREZ@PALMER-PRINTING.COM  CAPS Customer Ref. No: 26233  CRID: 5231179	Name and Address of Mailing Agent <i>(If other than permit holder)</i>  PALMER PRINTING /ACT + 719 S CLARK ST FL 1 CHICAGO, IL 60605-1703  CRID: 5231179	Name and Address of Individual or Organization for Which Mailing is Prepared <i>(If other than permit holder)</i>  Campbell Coyle Real Estate 152 W HURON ST UNIT 200 CHICAGO, IL 60654-7385  CRID: 20206379
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Mailing	Post Office of Mailing MAIN POST OFFICE, CHICAGO, ILL	Processing Category Letters	Mailer's Mailing Date 03/23/16	Federal Agency Cost Code	Statement Seq. No. 28497	No. & Type of Containers  Sacks: 0 1 ft. Letter Trays: 3 2 ft. Letter Trays: 1 EMM Letter Trays: 0 Flat Trays: 0 Pallets: 0 Other: 0
	Type of Postage Permit Imprint		SSF Transaction # 0		Total # of Pieces in Mailing 661	
	Permit # 4184	For Mail Enclosed Within Another Class [ ]Mailpiece is a product sample. _____ % Samples	For Mail Enclosed Within Another Class [ ]Mailpiece is a product sample. _____ % Samples	Weight of a Single Piece 0.0250 lbs.	Combined Mailing	Total Weight 16.5250 lbs.
	For Automation Rate Pieces, Enter Date of Address Matching and Coding 03/23/16	For Carrier Route Pieces, Enter Date of Address Matching and Coding 03/23/16	For Carrier Route Pieces, Enter Date of Carrier Route Sequencing _ / _ / _	For Pieces Bearing a Simplified Address Enter Date of Delivery Statistics File or Alternative Method _ / _ / _		
	Move Update Method: NCOALink					
	This is a Political Campaign Mailing No		This is Official Election Mail No		[ ]Letter-size or flat mailpiece contains DVD/CD or other disc.	

Postage	Parts Completed <b>A, B</b>		
	<b>Subtotal Postage (Add parts totals)</b>	\$179.41	
	Complete if the mailing includes pieces bearing metered/PC Postage or precanceled stamps. Rate at Which Postage Affixed (Check one) [ ]Correct [ ]Lowest [ ]Neither	_____ pcs. x \$ _____ = <b>Postage Affixed</b>	\$0.00
	Incentive/Discount Flat Dollar Amount	\$-0.65	
	Fee _____	\$0.00	
	<b>Net Postage Due</b>	\$179.41	
<b>For USPS Use Only: Additional Postage Payment (State reason)</b>			
<b>Total USPS Adjusted Postage</b>	\$179.41		

**Certification**

Incentive/Discount Claimed: N/A                      Type of Fee: N/A

The mailer certifies acceptance of liability for and agreement to pay any revenue deficiencies assessed on this mailing, subject to appeal. If an agent certifies that he or she is authorized on behalf of the mailer then that mailer is bound by the certification and agrees to pay any deficiencies. In addition, agents may be liable for any deficiencies resulting from matters within their responsibility, knowledge, or control. The mailer hereby certifies that all information furnished on this form is accurate, truthful, and complete; that the mail and the supporting documentation comply with all postal standards and that the mailing qualifies for the prices and fees claimed; and that the mailing does not contain any matter prohibited by law or postal regulation. I understand that anyone who furnishes false or misleading information on this form or who omits information requested on this form may be subject to criminal and/or civil penalties, including fines and imprisonment.

Privacy Notice: For information regarding our Privacy Policy visit [www.usps.com](http://www.usps.com)

This postage statement was verified and accepted under the PostalOne! program. No postal signature or round stamp is required.

# Part A

## Automation Letters

### Letters 3.3 oz (0.2063 lbs) or less

Entry	Price Category	Price	No. of Pieces	Subtotal Postage	Discount Total*	Fee Total	Total Postage	
A1	None	5-Digit	\$0.266	552	\$146.8320	\$-0.5520	\$0.0000	\$146.2800
A4	None	Mixed AADC	\$0.304	96	\$29.1840	\$-0.0960	\$0.0000	\$29.0880
A11	DSCF	AADC	\$0.238	1	\$0.2380	\$-0.0010	\$0.0000	\$0.2370

A23	<b>Part A Total (Add lines A1-A22)</b>						\$175.60
-----	--	--	--	--	--	--	----------

## Full Service Intelligent Mail Option

A24	DISPLAY ONLY Letters - Number of Pieces that Comply 649.0 x 0.0010 =						\$0.6490
-----	--	--	--	--	--	--	----------

\* May contain both Full Service Intelligent Mail and other discounts

# Part B

## Nonautomation Letters

### Machinable Letters 3.3 oz (0.2063 lbs) or less

Entry	Price Category	Price	No. of Pieces	Subtotal Postage	Discount Total	Fee Total	Total Postage	
B2	None	Mixed AADC	\$0.317	12	\$3.8040	\$0.0000	\$0.0000	\$3.8040

<b>Part B Total (Add lines B1 - B27)</b>						\$3.80
--	--	--	--	--	--	--------

This postage statement was verified and accepted under the PostalOne! program. No postal signature or round stamp is required.



Shipment Confirmation  
Acceptance Notice

**A. Mailer Action**

**Note To Mailer:** The labels and volume associated to this form online, must match the labeled packages being presented to the USPS® employee with this form.

Shipment Date: 5/17/2016

Shipped From: \_\_\_\_\_  
Name: Palmer Printing Inc  
Address: 739 S Clark Street  
City: Chicago  
State: IL ZIP+4® 34747

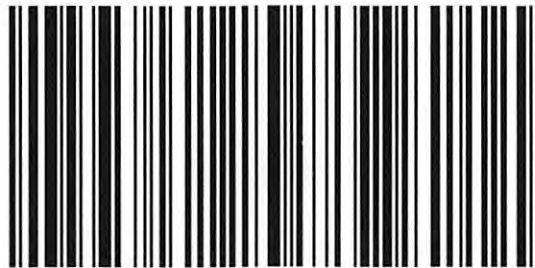
Type of Mail	Volume
Priority Mail Service®	0
Priority Mail Express Service®*	0
International Mail*	0
Other	100
Total Volume	100

\*Start time for products with service guarantees will begin when mail arrives at the local Post Office™ and items receive individual processing and acceptance scans.

**B. USPS Action**

**USPS EMPLOYEE:** Please scan upon pickup or receipt of mail. Leave form with customer or in customer's mail receptacle.

USPS Tracking



94 757 102 007 93672236929





**Shipment Confirmation  
Acceptance Notice**

**A. Mailer Action**

**Note To Mailer:** The labels and volume associated to this form online, must match the labeled packages being presented to the USPS® employee with this form.

**Shipment Date:** 5/17/2016

**Shipped From:** \_\_\_\_\_  
**Name:** Palmer Printing Inc  
**Address:** 739 S Clark Street  
**City:** Chicago  
**State:** IL ZIP+4® 34747

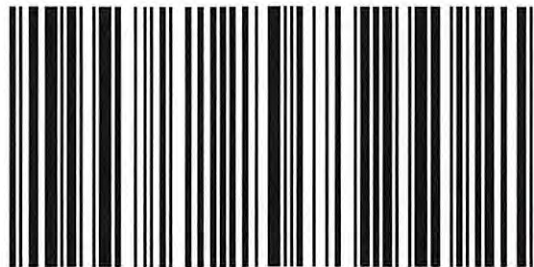
Type of Mail	Volume
Priority Mail Service®	0
Priority Mail Express Service®*	0
International Mail*	0
Other	100
<b>Total Volume</b>	<b>100</b>

\*Start time for products with service guarantees will begin when mail arrives at the local Post Office™ and items receive individual processing and acceptance scans.

**B. USPS Action**

**USPS EMPLOYEE:** Please scan upon pickup or receipt of mail. Leave form with customer or in customer's mail receptacle.

USPS Tracking



94 757 102 007 93672239456





**Shipment Confirmation  
Acceptance Notice**

**A. Mailer Action**

**Note To Mailer:** The labels and volume associated to this form online, must match the labeled packages being presented to the USPS® employee with this form.

Shipment Date: 5/17/2016

Shipped From: \_\_\_\_\_  
Name: Palmer Printing Inc  
Address: 739 S Clark Street  
City: Chicago  
State: IL ZIP+4® 34747

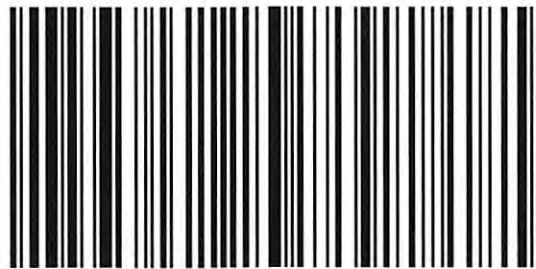
Type of Mail	Volume
Priority Mail Service®	0
Priority Mail Express Service®*	0
International Mail*	0
Other	100
Total Volume	100

\*Start time for products with service guarantees will begin when mail arrives at the local Post Office™ and items receive individual processing and acceptance scans.

**B. USPS Action**

**USPS EMPLOYEE:** Please scan upon pickup or receipt of mail. Leave form with customer or in customer's mail receptacle.

USPS Tracking



94 757 102 007 93672240865





**Shipment Confirmation  
Acceptance Notice**

**A. Mailer Action**

**Note To Mailer:** The labels and volume associated to this form online, must match the labeled packages being presented to the USPS® employee with this form.

**Shipment Date:** 5/17/2016

**Shipped From:**  
**Name:** Palmer Printing Inc  
**Address:** 739 S Clark Street  
**City:** Chicago  
**State:** IL **ZIP+4®** 34747

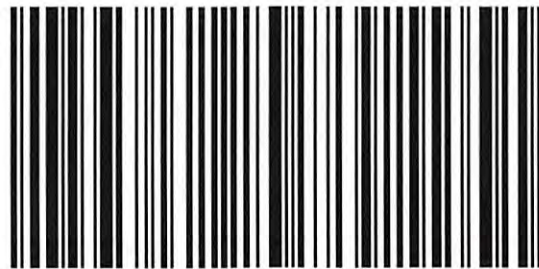
Type of Mail	Volume
Priority Mail Service®	0
Priority Mail Express Service®*	0
International Mail*	0
Other	100
<b>Total Volume</b>	<b>100</b>

\*Start time for products with service guarantees will begin when mail arrives at the local Post Office™ and items receive individual processing and acceptance scans.

**B. USPS Action**

**USPS EMPLOYEE:** Please scan upon pickup or receipt of mail. Leave form with customer or in customer's mail receptacle.

USPS Tracking



94 757 102 007 93672242258







**Shipment Confirmation  
Acceptance Notice**

**A. Mailer Action**

**Note To Mailer:** The labels and volume associated to this form online, must match the labeled packages being presented to the USPS® employee with this form.

Shipment Date: 5/17/2016

Shipped From: \_\_\_\_\_  
Name: Palmer Printing Inc  
Address: 739 S Clark Street  
City: Chicago  
State: IL ZIP+4® 34747

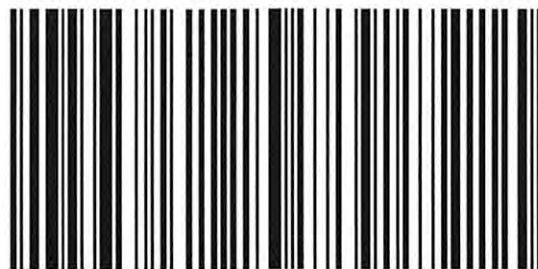
Type of Mail	Volume
Priority Mail Service®	0
Priority Mail Express Service®*	0
International Mail*	0
Other	100
Total Volume	100

\*Start time for products with service guarantees will begin when mail arrives at the local Post Office™ and items receive individual processing and acceptance scans.

**B. USPS Action**

**USPS EMPLOYEE:** Please scan upon pickup or receipt of mail. Leave form with customer or in customer's mail receptacle.

USPS Tracking



94 757 102 007 93672243613





Shipment Confirmation  
Acceptance Notice

**A. Mailer Action**

**Note To Mailer:** The labels and volume associated to this form online, must match the labeled packages being presented to the USPS® employee with this form.

Shipment Date: 5/17/2016

Shipped From: \_\_\_\_\_  
Name: Palmer Printing Inc  
Address: 739 S Clark Street  
City: Chicago  
State: IL ZIP+4® 34747

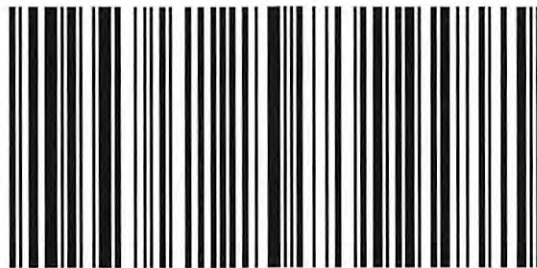
Type of Mail	Volume
Priority Mail Service®	0
Priority Mail Express Service®*	0
International Mail*	0
Other	161
Total Volume	161

\*Start time for products with service guarantees will begin when mail arrives at the local Post Office™ and items receive individual processing and acceptance scans.

**B. USPS Action**

**USPS EMPLOYEE:** Please scan upon pickup or receipt of mail. Leave form with customer or in customer's mail receptacle.

USPS Tracking



94 757 102 007 93672225121





141 S. Oak Park Avenue  
Oak Park, Illinois 60302  
Phone: 708/524-8300  
Fax: 708/524-0447

ACCOUNT NO.	DATE
022316-00001	02/24/16

P.O. No. \_\_\_\_\_  
3 ~~REMITTANCE~~

Check enclosed: AMOUNT: \_\_\_\_\_

Please bill my credit card:  
 MasterCard  Visa  American Express

Campbell Coyle Real Estate  
Christopher S. Dillon  
152 W. Huron Suite 200  
Chicago, IL 60654

Card No. \_\_\_\_\_

Exp. Date \_\_\_\_\_ Signature \_\_\_\_\_

Please detach & return upper portion with your payment.

CLASSIFIED ADVERTISING INVOICE

START DATE: 02/24/16  
# Of Insertions: 1

Size: 17 Units

Rate: Legal-WJ

Classification: PUBLIC NOTICES

Editions: D

D = Oak Park, River Forest, Forest Park, Riverside, Brookfield

A = Austin Weekly News C = Chicago Journal

FIRST LINE OF AD TEXT:  
PUBLIC NOTICE NOTIC

COST FOR THIS AD: \$ 56.00

Payment Terms Are Net 30 Days

**PAID**

THANK YOU FOR YOUR BUSINESS!  
Classified Ad Deadline Tuesday 9:30 A.M.  
Tearsheets are available upon request for \$1

THANK YOU FOR YOUR BUSINESS!

Publishers Of:  
Wednesday Journal • Forest Park Review  
Austin Weekly News • Riverside-Brookfield Landmark

State of Illinois  
County of Cook  
Oak Park, Illinois

I, Dan Haley do hereby certify that I am one of the publishers of the WEDNESDAY JOURNAL, a secular newspaper, published by WEDNESDAY JOURNAL, INC., of Oak Park, County of Cook and in the State of Illinois for more than one year prior to this date.

February 24, \_\_\_\_\_ A.D. 2016

I do further certify that the said WEDNESDAY JOURNAL has been a secular newspaper of general circulation throughout the Villages of Oak Park & River Forest, Cook County, Illinois for more than one year past, and is in compliance with Illinois revised Statute, Chapter 100.

I do further certify that the printed notice re: PUBLIC NOTICE NOTICE OF NEIGHBORHOOD MEETING A neighborhood meeting will be held Wednesday, March 16, 2016 at 6:30 PM . . .to discuss the proposed mixed-use (residential and retail) development project located at approximately 708 Lake Street (a commercial property owned by the Village at the northwest corner of Lake Street and Euclid Avenue).

attached hereto is a true, perfect and complete copy of the notice which was published in the said WEDNESDAY JOURNAL in each and every copy of its issue dated:

\_\_\_\_\_ A.D. 2016  
February 24, \_\_\_\_\_ A.D. 2016  
\_\_\_\_\_ A.D. 2016

I do further certify that I am duly authorized by said WEDNESDAY JOURNAL, INC. to make this certificate and affidavit.

[Signature]  
One of the publishers

Sworn and subscribed to me this 24th  
day of February \_\_\_\_\_ A.D. 2016

[Signature]  
Notary Public



CLASSIFIED (708) 613-3333 • FAX: (708) 524-0447 • E-MAIL: CLASSIFIEDS@OAKPARK.COM | CLASSIFIEDS@RIVERFOREST.COM

PUBLIC NOTICES

LEGAL NOTICE
ZONING BOARD OF APPEALS
RIVER FOREST, ILLINOIS

Public Notice is hereby given that a public hearing will be held by the Zoning Board of Appeals of the Village of River Forest, County of Cook, State of Illinois, on Thursday, March 10, 2016 at 7:30 p.m. at the Community Room of the Municipal Complex, 400 Park Avenue, River Forest, Illinois on the following matter:

The Zoning Board of Appeals will consider a zoning violation application submitted by Peter Phillips, owner of the property at 1102 Franklin Avenue, who is proposing to construct a new two story addition on top of the foundations of the existing single story home which currently stands on the property. The applicant is requesting variances to Section 10-9-7 that would allow the home to be constructed to match the existing wall line of the house, to increase the height of a portion of the north wall of the house to two stories, to allow the construction of the roof overhang at the first floor level which maintains a non-conforming setback, and to allow the addition of the roof overhang at the second floor which will not meet the required setback.

The legal description of the property at 1102 Franklin Avenue is as follows:
LOT 8 OF THE SUBDIVISION OF PART OF NORTHWOODS BEING THE NORTH HALF OF THE EAST HALF OF SECTION 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

All interested persons will be given the opportunity to be heard at the public hearing. A copy of the meeting agenda will be available to the public at the Village Hall.

Clifford Reatsch
Secretary
Zoning Board of Appeals
Published in Wednesday Journal
2/24/2016

PUBLIC NOTICE
Notice is hereby given, pursuant to "An Act in relation to the use of an Assumed Business in the conduct or transaction of Business in the State," as amended, that a certification was filed by the undersigned with the County Clerk of Cook County, FILE NO. D16145464 on February 10, 2016. Under the Assumed Name of HAPI SANKOFA with the business located at: 15017 S. Lincoln Avenue, Harvey, IL 60426. The true name(s) and residence address of the owner(s) is: Johnnie Verry, 15017 S. Lincoln Avenue, Harvey, IL 60426

Published in Wednesday Journal
2/24/2016
Starting A New Business?
Publish Your Assumed Name Legal
Notice in Wednesday CLASSIFIED

PUBLIC NOTICES

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ZONING BOARD OF APPEALS
RIVER FOREST, ILLINOIS

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PUBLIC NOTICES

PUBLIC NOTICE
Notice is hereby given, pursuant to "An Act in relation to the use of an Assumed Business in the conduct or transaction of Business in the State," as amended, that a certification was filed by the undersigned with the County Clerk of Cook County, FILE NO. D16145464 on February 10, 2016. Under the Assumed Name of HAPI SANKOFA with the business located at: 807 Fair Oaks, Oak Park, IL 60302. The true name(s) and residence address of the owner(s) is: Joshua Martin 807 Fair Oaks, Oak Park, IL 60302.

Published in Wednesday Journal
2/17/2016
PUBLI...
Notice is hereby given, pursuant to "An Act in relation to the use of an Assumed Business in the conduct or transaction of Business in the State," as amended, that a certification was filed by the undersigned with the County Clerk of Cook County, FILE NO. D16145444 on the 10th of February 2016 Under the Assumed Name of ADAM TRANSPORTATION with the business located at: 350 PARK RIDGE, IL 60068. The true name(s) and residence address of the owner(s) is: MOHAMMED STEELE 350 PARK RIDGE, IL 60068

Published in Wednesday Journal
2/24, 3/2, 3/9/2016
PUBLI...
Notice is hereby given, pursuant to "An Act in relation to the use of an Assumed Business in the conduct or transaction of Business in the State," as amended, that a certification was filed by the undersigned with the County Clerk of Cook County, FILE NO. D16145444 on the 10th of February 2016 Under the Assumed Name of ADAM TRANSPORTATION with the business located at: 350 PARK RIDGE, IL 60068. The true name(s) and residence address of the owner(s) is: MOHAMMED STEELE 350 PARK RIDGE, IL 60068

Published in Wednesday Journal
2/24, 3/2, 3/9/2016
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Published in Wednesday Journal
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Published in Wednesday Journal
02/24/2016
PUBLI...
Notice is hereby given, pursuant to "An Act in relation to the use of an Assumed Business in the conduct or transaction of Business in the State," as amended, that a certification was filed by the undersigned with the County Clerk of Cook County, FILE NO. D16145522 on February 22, 2016 Under the Assumed Name of ANNE BURKETT DESIGNS with the business located at: 805 S. KENILWORTH AVENUE OAK PARK, IL 60304. The true name(s) and residence address of the owner(s) is: ANNE FRANCES

Published in Wednesday Journal
02/24/2016
PUBLI...
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REAL ESTATE FOR SALE

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS DEPARTMENT - CHANCERY DIVISION. PROPERTY MORTGAGE BANK NA F/K/A RBS CITIZENS NA, Plaintiff, ALEYANMA P. ZACHARIAS, TERRACE CONDOMINIUM ASSOCIATION, Defendants 15 CH 012472 1005 S. DES PLAINES AVENUE UNIT #506 FOREST PARK, IL 60130

PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on November 17, 2015, an agent for The Judicial Sales Corporation, will at 10:30 AM on March 24, 2016, at The Judicial Sales Corporation, One South Wacker Drive-24th Floor, CHICAGO, IL, 60608, sell at public auction, the highest bidder, as set forth below, the following described real estate:

Commonly known as 1005 S. DES PLAINES AVENUE UNIT #506, FOREST PARK, IL 60130 Property Index No. 15-13-900-022-1038. The real estate is improved with a condo/townhouse. Sale terms: 25% down at the close of the sale payable to the Judicial Sales Corporation. No third party checks will be accepted. Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court. Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file for this purpose.

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS DEPARTMENT - CHANCERY DIVISION. NATIONAL ASSOCIATION AS TRUSTEE SUCCESSOR IN INTEREST NATIONAL BANK OF AMERICA, NATIONAL ASSOCIATION BY MERGER SUCCESSOR BY MERGER TO LASALLE BANK NATIONAL ASSOCIATION, AS TRUSTEE FOR STRUCTURED ASSET INVESTMENT LOAN TRUST MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2004-BN2, Plaintiff, RICKIE C. TANKSLEY, JANICE TANKSLEY, FIA CARD SERVICE (USA), N.A., CAPITAL ONE BANK (USA), N.A., Defendants 1048 N. EUCLID AVENUE OAK PARK, IL 60302

PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on November 17, 2015, an agent for The Judicial Sales Corporation, will at 10:30 AM on March 24, 2016, at The Judicial Sales Corporation, One South Wacker Drive-24th Floor, CHICAGO, IL, 60608, sell at public auction, the highest bidder, as set forth below, the following described real estate:

REAL ESTATE FOR SALE

ments required by The Condominium Property Act, 765 ILCS 605/18.9(c)(1), IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 90 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW. You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales. For information, examine the court file or contact Plaintiff's attorney: CODILIS & ASSOCIATES, P.C., 15W068 NORTH FRONTAGE ROAD, SUITE 100, BURR RIDGE, IL 60527, (630) 794-9876 Please refer to file number 14-15-19388. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60608-6690 (312) 236-2176. You can also visit The Judicial Sales Corporation at www.jscc.com for a 7 day status report of pending sales. Sale terms: 25% down at the close of the sale payable to the Judicial Sales Corporation. No third party checks will be accepted. Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court. Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file for this purpose.

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REAL ESTATE FOR SALE

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REAL ESTATE FOR SALE

60527, (630) 794-9876 Please refer to file number 14-13-33240. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60608-6690 (312) 236-2176. You can also visit The Judicial Sales Corporation at www.jscc.com for a 7 day status report of pending sales. CODILIS & ASSOCIATES, P.C., 15W068 NORTH FRONTAGE ROAD, SUITE 100, BURR RIDGE, IL 60527 (630) 794-5300 E-Mail: pleadings@il.calegal.com Attorney File No. 14-13-33240 Attorney ARDC No. 00468002 Attorney Code, 21762 Case Number: 14 CH 000879 T.USCF: 95-2250 NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose.

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#### NEIGHBORHOOD MEETING

**ATTENDEES** VARIOUS COMMUNITY MEMBERS (SEE SIGN-IN SHEETS)  
NORTHWORKS/MILLER HULL: Austin DePree , Brian Essig, Monika Miller  
RANQUIST/CAMPBELL COYLE: Chris Dillion, John Pawlicki, Bob Ranquist, Zev Salomon  
JAMESON: Cory Robertson, Frank Vihtelic

**DATE** March 16, 2016

#### HEMINGWAY DISTRICT EXECUTIVE MEETING

**ATTENDEES** HEMINGWAY DISTRICT: Jim August, Dan Haley, Jim Solnes  
OAK PARK ECONOMIC DEVELOPMENT CORPORATION (OPEDC): John Lynch, Viktor Schrader  
RANQUIST/CAMPBELL COYLE: Chris Dillion, Bob Ranquist  
JAMESON: Cory Robertson, Frank Vihtelic

**DATE** March 15, 2016

**SUBJECT** District House/Oak Park – Neighborhood/Hemingway District Feedback

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1. Overall concerns relating to loading on North Euclid Avenue and specifically move-in/move-out procedures for building residents (Neighborhood Meeting). **Developer response:** The development team highlighted the loading areas for the retail block. The Project team will review residential move-in/move-out procedures with the Village of Oak Park.
2. Questions regarding the anticipated retail mix, whether retail is marketable given existing vacancies, etc. (Neighborhood and Hemingway District Meetings). **Developer response:** Formal marketing efforts will commence when the Village approves the Listing Agreement with CBRE or once the Redevelopment (RDA) is in place. In many instances, the retail component of a mixed-use development is treated as an afterthought. In this case, the development team has specific expertise in place-making retail. In the case of several of the surrounding spaces (especially the vacant retail), they are inadequately sized, have below average ceiling heights and the finishes are not consistent with the needs of today's 'best in class' retailers. The development team views the retail component fronting Lake Street as an important element to help 'activate' the ground floor of the project and properly mark the gateway to the Hemingway District. Further, the ground floor retail space is important to the Project's financial pro forma.
3. Questions regarding the market for condominiums at the proposed price points (Neighborhood Meeting). **Developer response:** The development team and the sales/marketing team have carefully analyzed the market. The projects most commonly flagged during the Neighborhood Meeting were multi-family rental projects. The Project creates additional housing opportunities in the Downtown area. In fact, the proposed Project is uniquely aligned with the Chicago Metropolitan Agency for Planning (CMAP) Homes for a Changing Region report (2009). CMAP specifically evaluated the future housing needs for Oak Park, identifying significant market demand which aligns with the proposed Project. The study also indicated that the current housing stock in Oak Park has a substantial shortage of upscale housing options. CMAP also indicated that 79% of the new units needed for Oak Park's residents before 2030 would be multi-family residential. This multi-family condominium Project, along with recent multi-family rental projects, contribute to this goal.
4. Questions regarding anticipated retail rental rates (Hemingway District Meeting). **Developer response:** The development team is targeting market rental rates that support the Project's financial viability. Rental rates associated with new construction are traditionally higher than existing buildings.
5. General concerns relating to parking and specifically the parking conditions on North Euclid Avenue (Neighborhood Meeting). **Developer response:** The Project's goal is to satisfy the resident parking demand



with on-site, secure parking. The traffic and parking consultant has indicated that the retail mix that is proposed will be less vehicular-focused than the former use.

6. Concern regarding the impact that the school district's project will have on the subject area (Neighborhood and Hemingway District Meetings). **Developer response:** The Project team is monitoring this project and will do everything commercially possible to mitigate any impact the Project components have on parking and traffic-related concerns.
7. Questions relating to the addition of on-street parking (Neighborhood and Hemingway District Meetings). **Developer response:** The Project team will analyze the additional spaces and review them with the Village for comment and approval.
8. Will there be another meeting (Neighborhood Meeting)? **Developer Response:** The Project team has distributed contact information and indicated that it is willing to meet with community groups, smaller groups of Project neighbors, etc. In addition, the Project will undergo a formal community engagement period as a part of the Planned Development submittal.



# DISTRICT HOUSE

OAK PARK NEIGHBORHOOD MEETING • WEDNESDAY, MARCH 16, 6:30 PM

NAME Elizabeth McGinnity EMAIL

PHONE

ADDRESS

140 N Euclid O.P.

NAME Theresa Czarnik EMAIL

PHONE

ADDRESS

179 Linden Ave. O.P.

NAME Gary Falese EMAIL

179 LINDEN AVE OP

PHONE

ADDRESS

NAME John Rice EMAIL

PHONE

312-617-6096

ADDRESS

NAME Karen Doty EMAIL

Karen doty @ Comcast.net

PHONE

708-848-2932

ADDRESS

174 N. Euclid Ave OP 60302

NAME DAVE WATERS EMAIL

DAVEIWATERS@YAHOO.COM

PHONE

630-258-2756

ADDRESS

324 N EUCLID

NAME Paula O'Connor EMAIL

Paula.livesey@talk21.com

PHONE

201 628 5081

ADDRESS

164 N. Euclid Ave

NAME Liz Haley EMAIL

MLHALEY@COMCAST.NET

PHONE

708-928-7721

ADDRESS

160 N Euclid





# DISTRICT HOUSE

OAK PARK NEIGHBORHOOD MEETING • WEDNESDAY, MARCH 16, 6:30 PM

NAME Lisa Andreoli EMAIL lisa.andreoli@bairdwarner.com

PHONE 708-557-9546 ADDRESS 624 N. East Ave. OP 60302

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NAME Meredith E. Conn EMAIL meredith.conn@bairdwarner

PHONE 708-743-6973 ADDRESS 231 S. Elmwood, OP AZ

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NAME Peter Pero EMAIL Education662@yahoo.com

PHONE 708 263 7872 ADDRESS 108 S. ELMWOOD

---

NAME M Reinhofer EMAIL N/A

PHONE ADDRESS 140 N Euclid

---

NAME DAN WAADT EMAIL dan.waadt@gmail.com

PHONE (708) 445-0965 ADDRESS 140 N. EUCLID AVE.

---

NAME RADA BURNS EMAIL rada.burns@bairdwarner.com

PHONE 312 678 6305 ADDRESS

---

NAME Jan Zimmerman EMAIL THEZARCHESTER@GMAIL.COM

PHONE ADDRESS

---

NAME EMAIL

---

PHONE ADDRESS

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# DISTRICT HOUSE

OAK PARK NEIGHBORHOOD MEETING • WEDNESDAY, MARCH 16, 6:30 PM

NAME Timothy Inkobay EMAIL tim@oakpark.com  
PHONE 773-484-6731 ADDRESS 1415 Oak Park Ave

NAME Cynthia J. Rose EMAIL \_\_\_\_\_  
PHONE 708 ADDRESS 210 N Oak Park Ave OP

NAME Ann Seizer EMAIL annseizer@gmail.com  
PHONE \_\_\_\_\_ ADDRESS 210 N Oak Park Ave OR

NAME Kelly Walsh EMAIL kellywalsh@yahoo.com  
PHONE 7 ADDRESS 214 No Oak Park 100

NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

PHONE \_\_\_\_\_ ADDRESS \_\_\_\_\_

NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

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PHONE \_\_\_\_\_ ADDRESS \_\_\_\_\_

NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

PHONE \_\_\_\_\_ ADDRESS \_\_\_\_\_



# DISTRICT HOUSE

OAK PARK NEIGHBORHOOD MEETING • WEDNESDAY, MARCH 16, 6:30 PM

NAME *Mary Rose Lambke*

EMAIL

PHONE

ADDRESS *643-3 Ontario, OP 60302*

NAME

EMAIL

PHONE

ADDRESS

NAME

EMAIL

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ADDRESS



# DISTRICT HOUSE

OAK PARK NEIGHBORHOOD MEETING • WEDNESDAY, MARCH 16, 6:30 PM

NAME Rob & Julie Carpenter EMAIL rob.carpenter@ipcos.com  
PHONE 312-961-1890 ADDRESS 156 N. Oak Park #112

NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

PHONE \_\_\_\_\_ ADDRESS \_\_\_\_\_

NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

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NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

PHONE \_\_\_\_\_ ADDRESS \_\_\_\_\_

\*This information is being collected for compliance with the Village of Oak Park Planned Development Application and Zoning Ordinance requirements.



# DISTRICT HOUSE

NAME Greg Barton EMAIL greg@barton.com  
PHONE \_\_\_\_\_ ADDRESS 1046 W. Washington Blvd

NAME Jane Hewell EMAIL j.hewell@me.com  
PHONE \_\_\_\_\_ ADDRESS 154 N. O.P. Ave

NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

PHONE \_\_\_\_\_ ADDRESS \_\_\_\_\_

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NAME \_\_\_\_\_ EMAIL \_\_\_\_\_

PHONE \_\_\_\_\_ ADDRESS \_\_\_\_\_



DISTRICT HOUSE

**SECTION 3.  
APPLICATION FEE**

**EXHIBIT 3.1: PLANNED DEVELOPMENT APPLICATION FEE**

- Check number 1129, dated March 21, 2016

CAMPBELL COYLE HOLDINGS LLC 04-13  
200 N JEFFERSON ST., APT. 1408  
CHICAGO, IL 60661-1279

<sup>2-1</sup>  
710 474


1129

DATE 03/21/16

PAY TO THE ORDER OF VILLAGE OF OAK PARK

\$ 2000.00

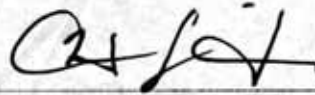
TWO THOUSAND AND XX/100

DOLLARS  Security Features  
Included  
Check or Scan

J.P.Morgan

Founded 1799  
JPMorgan Chase Bank, N.A.  
Chicago, Illinois

MEMO DISTRICT HOUSE PD FEE



⑆071000013⑆

478167708⑈1129



# DISTRICT HOUSE

## **SECTION 4. PROJECT SUMMARY**

### **EXHIBIT 4.1: OAK PARK ECONOMIC DEVELOPMENT CORPORATION (OPEDC) LETTER OF SUPPORT**

#### **BUILDING SUMMARY**

District House (the “Project”) is a 75,966 gross square foot proposed mixed-use boutique condominium development located at the northwest corner of Lake Street and Euclid Avenue. The Village of Oak Park has assigned the Project the following addresses: 702 Lake Street, 704 Lake Street, 708 Lake Street, 139 N. Euclid Avenue and 147 N. Euclid Avenue (the primary residential entry). The Project will be composed of a five story building (approximately 75 feet) that will consist of ground floor retail (fronting Lake Street), a residential lobby and enclosed parking with four stories of residential condominiums above. The residential component consists of 28 spacious 3 bedroom, 2-3 bath+ condominiums. Units range from approximately 1,700 to 2,000 square feet, though plans remain flexible for combination units in an effort to respond to market demand.

The ground floor incorporates approximately 4,500 square feet of retail fronting Lake Street. The space is anticipated to accommodate between two and three tenants. The first floor also incorporates a 37-space private enclosed parking garage. Of the 37 spaces, 30 are “lift capable”, accommodating up to 67 vehicles in total.

To provide a more functional garage that can accommodate the maximum number of automobiles and mechanical equipment, the design team has increased the floor to floor height of the garage from 15 feet to 16 feet. This results in an additional foot of overall building height when compared to the original Planned Development submittal. The building will be 75 feet tall, which is still similar to nearby buildings along Lake Street, and in fact, the building will stand shoulder to shoulder with the adjacent AT&T building.

The building will be constructed as a steel and concrete podium for the ground floor retail and enclosed parking area. Upper stories will be constructed of steel and wood-frame construction. This building will be clad primarily in a combination of brick, metal or fiber cement panels, wood clad windows (at the residential floors), and aluminum storefront (at the retail level). Alternate materials such as stucco and split face CMU block are also being considered. Material selection will be finalized as the design progresses. Terrace levels on the second floor and the rooftop will incorporate active and passive green roof areas. Active areas will incorporate private roof terraces and a common deck amenity area for use by residents. Passive areas will be comprised of green roof vegetation.

The condominiums are served by a building core and elevator that are centrally located within the Project. The core provides easy access from the residential units to the first floor parking and roof area amenities.

The Project seeks to provide an architecturally significant, appropriately scaled contribution at an important gateway to the Hemingway District. It seeks to be contextual with the scale of the neighborhood, marking an important transition as the Hemingway District gives way to downtown Oak Park to the west.





## DISTRICT HOUSE

The massing of the building is consistent with the neighboring property to the west, known locally as the AT&T building. At five stories, District House rises approximately one story above neighboring condominium developments (125 N. Euclid Avenue and 140 N. Euclid Avenue). The tallest building on the 700 block of Lake Street remains the Medical Arts Building (715 Lake Street) (approximately 122 feet), an Oak Park landmark with a façade of brick and terra-cotta.

District House has been designed to enhance the active commercial district along Lake Street. With approximately 4,500 square feet of retail space at the ground floor, the Project will provide destinations for local residents, encouraging pedestrian activity. Above the storefront, there will be four residential floors with a total of 28 three-bedroom units. Large green roof terraces will reduce the visual mass of the building while also contributing to storm water management. The intent is to provide a building that will fit into the surrounding context and reinforce the mixed-use activity along Lake Street. The Project Team proposes extending beyond the 45 foot maximum building height in order to maintain the current density along the block. With a total height of 75 feet, the new 5 story development is at an appropriate scale for a block with buildings between four and ten stories tall. Even though the Project is intended to promote the walkable commercial area along Lake Street, there will be 37 secured parking spaces, 30 of which can be outfitted with parking lifts to further increase parking capacity.

### COMPREHENSIVE PLAN STANDARDS

District House is consistent with the goals and objectives of the Comprehensive Plan. In particular, it achieves the following goals:

- The Project contributes a strategically located “end cap” to the Hemingway District retail frontage at an important gateway location. The Project’s merchandising and leasing strategy will serve to revitalize the surrounding retail within the Hemingway District, a portion of which is currently vacant or underutilized.
- The Project creates additional housing opportunities in the Downtown area. In fact, the proposed Project is uniquely aligned with the Chicago Metropolitan Agency for Planning (CMAP) Homes for a Changing Region report (2009). CMAP specifically evaluated the future housing needs for Oak Park, identifying significant market demand which aligns with the proposed Project. The study also indicated that the current housing stock in Oak Park has a substantial shortage of upscale housing options. CMAP also indicated that 79% of the new units needed for Oak Park’s residents before 2030 would be multi-family residential. This multi-family condominium Project, along with recent multi-family rental projects, contribute to this goal.
- The Project replaces an auto-centric restaurant use with a mixed-use building highlighted by a pedestrian-oriented retail component. It relocates a curb cut from Lake Street to Euclid Avenue, employing strong urban design principles by re-establishing a retail street wall along Lake Street. The Project results in a reduction in overall vehicular day trips and is anticipated to contribute to a reduction in traffic congestion.
- District House will provide off-street, secure parking for residents and a limited amount of parking for the retail uses on an exclusive, non-public basis. Of the 37 spaces, 30 are “lift capable”, accommodating up to 67 vehicles in total. According to the census data, the average available vehicles per household (auto ownership) is approximately 1.15 vehicles per household within a 0.25-mile radius from the Oak Park Avenue CTA station.
- District House promotes transit usage of the CTA, Metra, and Pace systems. 51.5% of Oak Park residents travel to the City of Chicago for work and the close proximity and transit connectivity are key to the Project’s sales and marketing strategy. Consistent with the CMAP study, the 2005 Greater Downtown Master Plan for Oak Park called for 1,200 new multifamily units to be located primarily along the CTA Green Line in Oak Park. As of December 2009, only 43 of those units were



## DISTRICT HOUSE

developed and only an additional 330 units had been approved. This Project contributes to the underlying goals outlined in that plan, while reinforcing the unique attributes Oak Park enjoys as one of the most transit connected suburbs.

- The Project will serve as an economic catalyst for the Hemingway District, contributing additional employment, shoppers and residents to the District (and the surrounding area, including downtown Oak Park).
- District House will create additive sales tax revenue and incremental real estate taxes to the Village of Oak Park and the Greater Mall Tax Increment Area. The market transaction requires no public subsidies.

### **MUNICIPAL SERVICE STANDARDS**

District House is consistent with the service standards within the Village of Oak Park:

- The Project provides a mix of uses that will not be materially detrimental to or endanger the public health, safety, morals or general welfare of the residents of the Village of Oak Park. Furthermore, the Project will comply with all of the applicable Village building codes and safety measures to ensure a safe environment, both during construction and upon completion.
- District House will provide for adequate utilities, street access and site drainage (see Exhibit 15.4: Village of Oak Park Public Works Letter).
- Pursuant to a meeting held February 16, 2016 and written confirmation from the Village of Oak Park Police Department (see Exhibit 15.2: Village of Oak Park Police Department Letter) and the Village of Oak Park Fire Department (see Exhibit 15.3: Village of Oak Park Fire Department Letter), adequate services have been confirmed, as further detailed in Section 15.
- The Project has commenced an extensive engineering process to ensure that adequate services will be provided and designed to the applicable building codes. Public Works has confirmed that the Project will not place any adverse impacts on the sewer and water system, as detailed in Section 15 (see Exhibit 15.4: Village of Oak Park Public Works Letter).
- The Project provides for adequate ingress and egress to avoid undue traffic congestion and provide a safe pedestrian environment. Additional information regarding traffic congestion and pedestrian safety is further detailed in Section 13. The Project replaces an auto-centric use resulting in a reduction in overall vehicular day trips and is anticipated to contribute to a reduction in traffic congestion.
- The Project also relocates a curb cut from Lake Street to Euclid Avenue, employing strong urban design principles by re-establishing a continuous retail street wall along Lake Street. This contributes to a stronger pedestrian experience, a key to the Project vision.
- An energy-efficient, LEED certified building located near public transportation will contribute to a reduction in the energy impact of the community's housing and transportation. These are the largest contributors to energy consumption in Oak Park.

### **NEIGHBORHOOD STANDARDS**

The Project is consistent and will complement or exceed the neighborhood standards within the Village of Oak Park. The Project's combination of uses will not diminish the use or enjoyment of surrounding properties. The Project will also provide the following benefits to the neighborhood:

- The Project will contribute an architecturally significant building at a prominent corner.
- The Project will contribute a compelling new retail environment at the gateway to the Hemingway District.
- District House will introduce a number of new residents to the Hemingway District and Oak Park. These residents will patronize local retailers, restaurants and other businesses.



# DISTRICT HOUSE

- The Project replaces an auto-centric use, including an existing accessory surface parking lot and drive thru for former customers of the retail establishment.

Taken in sum, the Project will meet or exceed the neighborhood standards for the Village of Oak Park. The Project's contributions will have a positive effect on property values and the economic development of the Hemingway District and the surrounding vicinity.

From a design perspective, the Project's design and combination of uses will complement the character of the surrounding neighborhood. District House has been designed to enhance the active commercial district along Lake Street. With approximately 4,500 square feet of retail space at the ground floor, the Project will provide destinations for local residents, encouraging pedestrian activity. Above the storefront, there will be four residential floors with a total of 28 three-bedroom units. Large green roof terraces will reduce the visual mass of the building while also contributing to storm water management. The intent is to provide a building that will fit into the surrounding context and reinforce the mixed-use activity along Lake Street.

## **ECONOMIC DEVELOPMENT STANDARDS**

District House has the benefit of being one of several projects to take part in a collaborative development process with the Village of Oak Park and the Oak Park Economic Development Corporation (OPEDC). As a result of this process and the predecessor Request for Proposal (RFP) issued jointly by the Village of the OPEDC, the Project has been thoroughly analyzed on a variety of levels and metrics. Several of the items that were evaluated include the following:

- The strength of the Project Team. As further detailed on Section 5, the Project Team brings specific expertise in similar residential projects, public-private partnerships and sustainable development.
- The enhancement of the sales and property tax base with the addition of the Project.
- A catalytic contribution from an economic development perspective, the Project will mark a key gateway into the Hemingway District and downtown Oak Park to the west. The Project will contribute additional employment, shoppers and residents to the area, though its impact will extend far beyond the boundaries of the District.
- District House will create additive sales tax revenue and incremental real estate taxes to the Village of Oak Park and the Greater Mall Tax Increment Area. The market transaction requires no public subsidies.
- Village Services will not be negatively impacted, pursuant to Section 15.

## **ZONING RELIEF**

A summary of Zoning Ordinance (ZO) relief follows, acknowledged and confirmed by the Village of Oak Park in writing on February 26, 2016 and May 10, 2016.

Building height — ZO section 3.8.1.A.2

- Maximum height 45 feet, per ZO
- Proposed roof height varies between 64 feet and 75 feet

Bulk regulations — ZO section 3.8.1.A.b

- 26 dwelling units allowed by ZO
- 28 3-bedroom units proposed

Rear setback — ZO section 3.8.1.B.2.c



## DISTRICT HOUSE

- 15 foot setback required by ZO
- Proposed design provides no setback at first floor parking garage
- A 15 foot setback on all residential floors will be provided (balconies are proposed on the north side of the building that extend into the rear yard)

### Side setback — ZO section 3.8.1

- Side setback is required along Euclid Avenue due to adjacent residential property
- Proposed design does not include a setback along Euclid Avenue

### Loading dock reduction — ZO section 6.2.8

- The ZO requires two loading docks
- Loading docks will not be provided due to the limited retail space and availability of the residential parking garage (review alternative, as proposed)

### Parking reduction — ZO section 6.2.2.D

- 66 parking spaces are required per the ZO
- 37 parking spaces will be provided, 30 of which are “lift capable”
- Creation of on-street parking spaces (forecasting a net gain of nine spaces along Lake Street and Euclid Avenue)

The ZO contemplates a parking reduction with the addition of bicycle related parking, infrastructure and facilities. Based on previous discussions with the Village of Oak Park, the Project Team understands that a reduction up to 25% may be granted for this element of the Project.

### Landscape Requirements — ZO section 6.4.2

- Per the ZO, building setback areas along all public streets shall be planted with a minimum of one tree and ten shrubs per 40 lineal feet of setback area.
- No landscaping due to the elimination of the side yard setback. See above.

### 3.9.3 Transit-Related Retail Overlay District — ZO section 3.9.3

- Per the ZO, Section F. Use Restrictions, a series of uses are excluded from being located at grade level or on the ground floor of any building or structure unless located at least 50 feet from any street line. The Project Team specifically seeks approval for (ii.) Health, athletic, recreation and amusement facilities indoor.
- Pursuant to discussions with the Village, these restrictions do not preclude the Project Team from seeking a variance for a prospective retail use in the future.

## **COMPENSATING BENEFITS**

The following summarizes the compensating benefits associated with District House, in context with the requested zoning relief:

### Streetscape improvements

- Elimination of curb cuts along Lake Street, improving traffic flow and increasing pedestrian safety
- Improved sidewalk area with new patio space, ideal for café seating
- New trees and plantings in the public way
- A compelling design serving as the gateway to the Hemingway District and downtown Oak Park to the west
- Retail along Lake Street (which wraps the corner at Euclid Avenue) to encourage an active pedestrian environment



## DISTRICT HOUSE

- Elimination of surface parking along Lake Street provides a continuous urban street wall that will enhance the Lake Street retail corridor and the Hemingway District
- Secure parking shielded from view
- Adherence to the forthcoming streetscape standards via minimum standards as outlined in the RDA

### Sustainability

- A LEED certified building (LEED for Homes) emphasizing access to bike facilities to encourage alternatives to reliance on cars
- Public bike parking facilities will be installed near the intersection of Lake Street and Euclid Avenue

### Affordable housing

- A portion of the Purchase Price (\$280,000) will be allocated and contributed to the Village to support affordable housing activities within the Village, as outlined in the RDA

### Public art

- A public art installation (as proposed) that contributes to a sense of place and reinforces the pedestrian experience
- An innovative lighting feature, as proposed, at the outdoor seating area that will highlight this building as a destination, reinforce its gateway presence and increase activity along Lake Street

Letters of support from the Oak Park Economic Development Corporation (OPEDC) and Hemingway District follow.

- Exhibit 4.1: OPEDC Letter of Support (dated March 22, 2016)
- Exhibit 4.2: Hemingway District Letter of Support (dated March 24, 2016)



March 22, 2016

To: Board of Trustees, Village of Oak Park

From: John Lynch, Executive Director

Re: Development Support – Ranquist Development, 708 Lake Street

A handwritten signature in black ink, appearing to read "John Lynch", is positioned to the right of the recipient and sender information.

OPEDC is pleased to provide this letter in support of Ranquist Development's proposed project, District House, for the Village-owned parcel located at 708 Lake Street, Oak Park. We have worked closely with the development team and Village staff on the proposed building concept and fully support approval of the project including the requested relief on building height, bulk, setbacks, loading dock and parking requirements. We also support the roof line projections as we believe it will benefit both the environmental footprint of the building as well as the first floor retail experience.

OPEDC has found the development team, which also includes Campbell Coyle Real Estate and architects Miller Hull and Northworks, to be diligent, responsive, organized, and otherwise well-qualified to undertake this project. Early design concepts have suggested a development that is contextual in terms of height and massing, yet visually progressive enough to be a landmark project for the Village. The estimated \$17.1 million project is also expected to generate significant sales and property taxes to Oak Park.

As currently proposed, the five-story mixed-use residential building would include 28 condominium units, 4,450 square feet of ground level retail, and 38 parking spaces – a parking ratio of 1.36:1, which exceeds the 1:1 ratio recently approved for Madison Street. We are comfortable with the project's size and mix of uses, and we encourage the Trustees to support the project as proposed.

Please do not hesitate to contact me with any questions.



March 24, 2016

To: Board of Trustees, Village of Oak Park  
From: Jim August, President, Hemingway Business District  
Re: Letter of Support – 708 Lake Street Development

The Hemingway District is providing this letter in support of the condo development project proposed for the former Tasty Dog site located at 708 Lake Street, Oak Park.

On March 14<sup>th</sup> 2015, members of the business district Board of Directors met with the development team to discuss the project and its impact on the Hemingway District. During this meeting we also discussed the required variances being sought for the project through the Planned Unit Development approval process.

Based on this conversation, the Hemingway District is in full support of the development concept. We believe that the residential units and retail will be a great addition to our commercial area. With regard to the requested variances, we do not see any issue with those proposed to date. Additionally, we feel that the vehicular traffic and parking impact resulting from this project will be minimal. However, we do suggest that the Village consider reconfiguring on-street parking on the corner of Lake Street and Euclid Avenue to provide additional spaces for the commercial tenants.

Please feel free to contact me directly if any additional information is needed.

Sincerely,

Jim August  
President  
Hemingway District Business Association



## **SECTION 5. PROFESSIONAL QUALIFICATIONS**

### **EXHIBIT 5.1: DEVELOPMENT TEAM PROJECT OVERVIEWS**

#### **RANQUIST DEVELOPMENT GROUP**

Ranquist Development Group's philosophy unites uncompromised design, a forward thinking grasp of today's urban home buyers, and a fresh real estate perspective that encourages innovation, efficiency, and affordability.

Bob Ranquist and Zev Salomon, of Ranquist Development Group, have developed over two hundred high-value residences in the last 15 years that satisfy the most discriminating tastes and advance Chicago's reputation for architectural excellence. Decades of experience have taught the value of superior design and impeccable construction.

They have been recognized through dozens of awards and publications for their distinctive vision, value, and success. Builder Magazine honored these achievements, awarding Ranquist with the prestigious Project of the Year award in 2009 for their Urban Sandbox project in the Bucktown neighborhood of Chicago. Ranquist was named "Developer of the Year, 2011" by Chicago Agent Magazine. Ranquist Development Group's most recent project, Basecamp, is 47 rowhomes in the River North neighborhood of Chicago. The development sold out in only 6 months, and is currently under construction.

#### **CAMPBELL COYLE REAL ESTATE**

Campbell Coyle creates and enhances inspired places. Campbell Coyle collaborates with community builders and city makers to serve as a catalyst for sustainable change.

Recognized as a highly innovative market leader in sustainable projects and district-scale revitalization, Campbell Coyle has produced highly transformative real estate projects in a growing number of urban and micro-urban communities throughout the Great Lakes region.

Its work transcends community visioning and planning, real estate development and urban revitalization. Guided by a commitment to community, Campbell Coyle and its strategic partners leverage extensive expertise in place-making, public-private partnerships and catalytic development, helping its partners achieve shared objectives and create lasting value.

Campbell Coyle recognizes that the true measure of a project's success extends beyond its impact on the built and natural environments. Campbell Coyle is deeply committed to empowering local communities through economic growth, job creation and entrepreneurship. When matched with its commitment to celebrate the culture, art and beauty that defines a place, it contributes to a healthier, more resilient community.





# DISTRICT HOUSE

## RANQUIST PROJECT HISTORY

Basecamp River North  
450 West Oak  
47 row homes  
10 condominiums

1327 North Wolcott  
3 condominiums

Flexhouse 2  
2630 North Ridgeway  
31 row homes

747 North Clark  
6 condominiums

BackYard  
4832 North Clark  
23 row homes

Flexhouse  
2801 West Shakespeare  
8 row homes

Urban Treehouse  
1849 North Hermatige  
7 condominiums

1713 North Wood  
1 single family home

3030 North Lakeshore  
4 condominiums

2028 West Division  
7 mixed-use units

1711 West Division  
14 mixed-use units

Urban Sandbox  
1611-1615 North Wolcott  
9 mixed-use units

1617 North Wolcott  
1 single family home

2154 West Division  
7 mixed-use units

2157 West Division  
7 mixed-use units

1721 North Sheffield  
6 condominiums

1750 North Clybourn  
8 mixed-use units

2313-2325 West Erie  
6 single family homes

1230-1232 North Hoyne  
2 single family homes

2010-2016 West Race  
3 single family homes

1748 North Winchester  
1 single family home

4 West Fry  
11 mixed-use units

430 West 37th Street  
21 single family homes

156 West Superior  
9 condominiums

915 North Wolcott  
1 single family home

919 North Wolcott  
9 condominiums

925 North Wolcott  
9 condominiums

836 North Paulina  
7 condominiums

839 North Hermitage  
5 condominiums

935 North Wolcott  
5 condominiums

1212 North Hoyne  
7 condominiums

1706 West Wabansia  
1 single family home

## CAMPBELL COYLE PROJECT HISTORY

Harper Court  
150,000 square feet office  
75,000 square feet retail  
131 room Hyatt Place

University Hall  
100,000 square feet office/  
academic



## DISTRICT HOUSE

### **THE MILLER HULL PARTNERSHIP**

Founded in 1977 by partners with defining background in the Peace Corps, The Miller Hull Partnership is strongly influenced by site and environmental conditions. By continually exploring the boundaries of current thought to leverage the latest in technology, materials and cultural context, the firm is widely recognized for innovative, timeless designs that elevate the ordinary in harmony with nature and which provide enduring value. Capabilities include architecture, master planning, interior design and space planning for a range of projects including multi-family and private residences, educational and interpretive environments, as well as public buildings and infrastructure facilities. Miller Hull has received over 275 regional and national awards for design excellence, including seven AIA Committee on the Environment (COTE) Top 10 Design Awards and the distinguished AIA National Firm Award—the highest honor bestowed by the U.S. architectural community.

Miller Hull strives to find the logic of vernacular and historical building traditions for expression. Be it a cosmopolitan setting in Chicago, a verdant valley in Washington State or arid acreage in Scottsdale, Arizona, Miller Hull's projects are truly connected to their respective sites. 156 West Superior is a nine-story condominium in Chicago that pays homage to the rich architectural traditions of steel and glass in Chicago and the early Illinois Institute of Technology innovations. For over 10 years Miller Hull has worked with Ranquist Development in Chicago providing designs for multi-family living. Together Miller Hull and Ranquist have five projects in the Bucktown and River North neighborhoods, several are infill projects that serve as catalysts in reviving an urban block; some are examples of successful adaptive reuse – a cavernous Chicago warehouse is transformed into a home. Whatever the site and setting, a Miller Hull building makes a positive contribution to the built environment.

### **NORTHWORKS**

Northworks is a Chicago-based full service architecture and planning firm, offering new building design, historic preservation, site planning, construction management, building conditions analysis, and interior design, including custom furniture. Northworks is committed to a collaborative design approach to all project types.

The firm believes in the interactive decision making process, working with all parties dedicated to the successful completion of every project. This holistic approach explores all elements of the existing context while introducing modern innovation to meet the aesthetic, functional, sustainable and budgetary needs of clients.

Northworks is LEED accredited and licensed to practice architecture in Colorado, Florida, Illinois, Iowa, Massachusetts, Michigan, Missouri, Texas, Wisconsin and Wyoming. All members of Northworks strive to maintain a studio environment of inspiration and creativity where clients, consultants and contractors all work together in the design and execution of a wide range of building types. Their commitment to the details of process, from conceptual planning to construction administration, leads to sound methods of practice and production.

Since establishing their practice in 2005, Austin DePree and Bill Bickford have combined their visions of architecture as concept, profession and way of life. A mutual fascination of the built world inspires them to develop their own style of practice that balances innovative design with sensible execution. Their shared passion for creating lasting architecture through collaboration is the foundation of Northworks.

Selected Development Team project summaries follow in Exhibit 5.1: Development Team Project Over-



DISTRICT HOUSE

views. Additional information is available upon request.

- Exhibit 5.1: Development Team Project Overviews



# flexhouse

Each of these homes showcases a modest, energy efficient, open-plan design, allowing for seamlessness between working, living and play. The three-story homes feature central kitchens, generous backyards, and third floor master suites, among other amenities. The facades display custom fabricated stainless steel window wraps, varied-width fiber cement planking, and an eccentric painting scheme to add a unique, contemporary feel.

The eight row homes in the residential Logan Square neighborhood were completed in the Summer of 2013.

## LOGAN SQUARE

**FEATURED IN:**  
 -RESIDENTIAL BUILDING MAGAZINE  
 OCTOBER 2013 PROJECT OF THE MONTH  
 -ARCHITECT MAGAZINE  
 SEPTEMBER 2013

**AIA PHILADELPHIA**  
 2013 HONOR AWARD – BUILT CATEGORY

***“In a world dominated by banal tract housing, it’s the rare developer who is willing to go out on a limb.”***

- Residential Building Magazine, October 2013



# FLEXHOUSE 2

The Flexhouse is a new type of home that is tuned to the “new normal” of the twenty-first century. The houses are modest, efficient, urban, and cool — appealing to urban families that seek to make sustainable lifestyle choices. Rather than rigidly defined rooms and hallways, the house flows, is more open and allows easy adaptation to a variety of uses and lifestyles.

Flexhouse 2 is an extremely flexible model that brings semi-custom modern design to a new neighborhood at a price point that could previously not be afforded in Chicago. The 31 row homes in the residential Logan Square neighborhood were completed in Fall of 2015.

## LOGAN SQUARE

**FEATURED IN:**  
 - CHICAGO MAGAZINE, SEPTEMBER 2014  
 - THE ARCHITECT'S NEWSPAPER, OCTOBER 2014  
 - BUILDER MAGAZINE, JULY 2015

**AIA PHILADELPHIA**  
 2015 MERRIT AWARD – BUILT CATEGORY





# BACKYARD

Backyard features 23 modern rowhomes in a park-like setting — an oasis set on the city's north side, within one of Chicago's most desirable urban neighborhoods—Andersonville.

Rich in history and culture, Andersonville is home to a diverse assortment of locally-owned businesses. Residents of Backyard have access to a wide variety of food and activities, all located just steps from their front door. The rowhomes were completed in the Fall of 2014.

## ANDERSONVILLE

**FEATURED IN:**  
-BUILDERMAGAZINE, FEBRUARY 2014

***"Homeowners get the feel of a swanky town-house while living in Andersonville, a vibrant urban neighborhood. Pubs, transit, pizza parlors, and music clubs are within five blocks and Wrigley Field is a 15-minute walk away."***

- Builder Magazine, February 2014



# BASECAMP

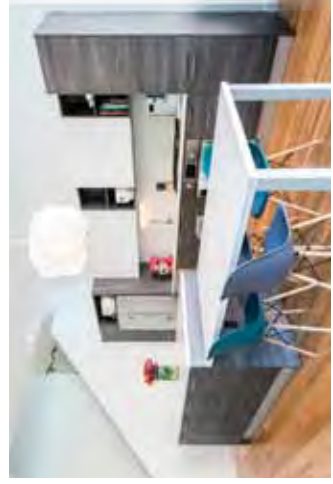
Basecamp River North is a new type of home designed for the changing demands of home buyers. These homes are urban, cool, practical and modern. The open floor plans allow for easy transition between spaces, and are easily adapted to a variety of uses and lifestyles. Tailored to efficiency without sacrificing style, Basecamp succeeds at balancing necessity and desire.

Nestled in a bustling neighborhood filled with dining, shopping and entertainment, these homes act both as a connection to and shelter from the urban environment.

The 57 homes in the River North neighborhood are scheduled to be completed in the Winter of 2015.

## RIVER NORTH

**FEATURED IN:**  
-ARCHITECTURAL RECORD, OCTOBER 2015





# 747

## NORTH CLARK

Clean lines and a palette of industrial materials give this project at 747 North Clark an authentic, urban feel. In line with the modernist roots of Chicago's architectural heritage, steel and glass are the principle facade materials. Added to that restrained pairing is a charred oak entry door, hot-rolled steel cladding, and a natural finish wood ceiling. A bold splash of color marks the lobby and draws you into this new icon of the River North neighborhood.

### RIVER NORTH

**FEATURED IN:**  
 -CHICAGO MAGAZINE, MARCH 2014  
 -BUILDER MAGAZINE, COVER FEATURE, NOV 2014  
 -ARCHITECTURAL RECORD MAGAZINE, OCT 2015  
**NAHB BEST IN AMERICAN LIVING**  
 2015 PLATINUM AWARD  
 2015 MIDWEST REGIONAL AWARD



# 156 WEST SUPERIOR

Drawing from the lexicon of the Chicago School of Architecture, a steel frame structural bay fully enclosed in glass lends scale and identity to this block in River North. By expressing the south and north elevations as a series of two-story frames with steel X-braces, the building seems taller than its 120ft height. The nine-story, 11-unit building sits snug on a narrow lot with balconies that slide out like trays from the structure and aluminum mullions framing the window wall. Recognized for excellence by the American Institute of Architecture and the American Architecture Awards, 156 West Superior is a small scale high-rise that has made a large impression. Developed by Ranquist Development and jointly general contracted, the structure of steel and base of concrete masonry represents Chicago's iconography in its finest forms.

### RIVER NORTH

**FEATURED IN:**  
 -CHICAGO SOCIAL INTERIORS, 2009  
 -CHICAGO SOCIAL MAGAZINE, 2008  
**AISC**  
 2008 NATIONAL AWARD  
**AIA NORTHWEST & PACIFIC REGION AWARD**  
 2007 MERIT AWARD FOR ARCHITECTURE  
**AIA SEATTLE AWARD**  
 2006 MERIT AWARD FOR ARCHITECTURE





# harpercourt

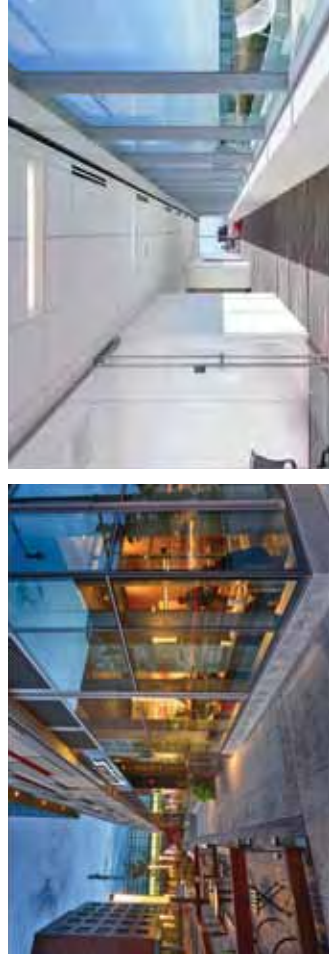
HYDE PARK

Harper Court is a \$139 million, 600,000 square foot public-private partnership among the City of Chicago, the University of Chicago and Harper Court Partners, LLC. One of the largest university-related redevelopments in the United States, the project blends 225,000 square feet of commercial space and a select service hotel. It is among the most sustainable private sector developments in Chicago, securing LEED for Neighborhood Development (LEED-ND) gold, LEED for New Construction (LEED-NC) gold, LEED for Core & Shell (LEED-CS) gold and LEED for Commercial Interiors (LEED-CI) platinum certifications. Harper Court was completed in the Summer of 2013.

## HYDE PARK

**FEATURED IN:**  
- WALL STREET JOURNAL, NOVEMBER 2011  
- NEW YORK TIMES, OCTOBER 2012  
- CHICAGO TRIBUNE, FEBRUARY 2012

**CHICAGO COMMERCIAL REAL ESTATE**  
2014 DEVELOPMENT OF THE YEAR AWARD  
**CONGRESS OF THE NEW URBANISM**  
2012 CHARTER AWARD



## UNIVERSITY HALL

University Hall incorporates academic and administrative space for the Indiana University administration, the Lilly Family School of Philanthropy and the School of Social Work. The \$20.4 million, 100,000 square foot project is on the urban campus of Indiana University-Purdue University Indianapolis. The project was developed on behalf of Indiana University and completed in the Summer of 2015. The development is projected to achieve LEED for New Construction (LEED-NC) gold certification.

## INDIANAPOLIS

**FEATURED IN:**  
- INSIDEUPUI, JUNE & JULY 2015

**"This magnificent structure is emblematic of the campus's enterprising culture, its continued growth and the maturation of the campus as a vibrant hub for activity in downtown Indianapolis"**

- Michael A. McRobbie,  
Indiana University President





## **SECTION 6. PROPOSED FINANCING**

### **EXHIBIT 6.1: TERM SHEETS AND REFERENCE LETTERS**

The Project will be undertaken by District House LLC, a special purpose entity formed for the sole purpose of developing and owning the Project. From an ownership perspective, it is anticipated that equity investors will invest a majority of the capital in the Project. Ranquist Development and Campbell Coyle maintain an active pool of equity investors, several of which have expressed interest in the Project. The developer will provide the balance of the equity investment.

Ranquist Development Group has acquired a reputation as a developer and builder of Chicagoland residential projects with outstanding quality and unparalleled appeal. Every development reflects many months, and sometimes years, of careful design and planning to create a unique living experience for the homeowners. Ranquist's uncompromising commitment to quality, design, and customers has earned it the reputation of a leading developer in Chicago.

Campbell Coyle's work transcends community visioning and planning, real estate development and urban revitalization. Guided by a commitment to community, Campbell Coyle and its strategic partners leverage extensive expertise in place-making, public-private partnerships and catalytic development, helping its partners achieve shared objectives and create lasting value.

The team has committed significant capital to this effort, including pre-development investment.

The preferred structure for the project is 70-75% leverage. A proposal for debt financing from Lakeside Bank is enclosed (see Exhibit 6.1).

Term sheets and reference letters follow in Exhibit 6.1: Term Sheets and Reference Letters.

- Lakeside Bank Reference Letter (dated March 10, 2016)
- Lakeside Bank Term Sheet (dated March 1, 2016)
- CITI Community Capital Reference Letter (dated March 22, 2016)
- PrivateBank Reference Letter (dated March 22, 2016)





Lakeside Bank

[www.LakesideBank.com](http://www.LakesideBank.com)

March 10, 2016

Oak Park Economic Development Corporation  
104 N. Oak Park Avenue, Suite 203  
Oak Park, Illinois 60301

Dear Oak Park Economic Development Corporation:

Please allow this letter to serve as a reference for Robert C. Ranquist, III of the Ranquist Development Group. Lakeside Bank has been working with Mr. Ranquist for over 15 years. Over that time frame we have lent him over \$40 million for construction projects and real estate development. All of the projects have gone according to plan and have been done in an excellent manner. Ranquist Development Group is known for their creative architectural designs and has an excellent reputation.

We understand that Mr. Ranquist is teaming up with Campbell Coyle to develop a property located at 708 Lake Street in Oak Park. Based on our past experience with Mr. Ranquist, a transaction of this size should easily be within his abilities to close on the transaction and develop an excellent addition for the Village of Oak Park.

Sincerely,

Justin P. Newhuis  
Vice President of Commercial Lending

Board of Trade  
141 W. Jackson Blvd.  
Chicago, IL 60604

Chinatown/Pilsen  
2200 S. Archer Ave.  
Chicago, IL 60616

Lakeview/Lincoln Park  
2800 N. Ashland Ave.  
Chicago, IL 60657

North Loop  
55 W. Wacker Dr.  
Chicago, IL 60601

South Loop  
1350 S. Michigan Ave.  
Chicago, IL 60605

UIC/Near West  
1055 W. Roosevelt Rd.  
Chicago, IL 60608

312-435-6100



March 1, 2016

Ranquist Development Partners, Ltd.  
C/O Robert Ranquist  
2020 N. California Avenue  
Suite 7 Box 197  
Chicago, IL 60647

Re: Acquisition and Construction Financing of 708 W. Lake Street in Oak Park, IL.

Mr. Ranquist,

I am pleased to provide you with the following terms and conditions associated with the proposed banking relationship between yourselves and Lakeside Bank (the "Bank"). As we obtain more information and perform our due diligence, additional covenants may be required and terms may be subject to change. This letter is for discussion purposes only, and is not to be considered a formal commitment nor intent to be bound. All terms are subject review and approval of Lakeside Bank's Discount Committee.

**Loan Purpose:** To provide acquisition and construction financing for the condo and retail building located at 708 W. Lake Street in Oak Park, IL.

**Borrower:** TBD, LLC

**Amount:** The amount will not exceed an amount calculated based on the parameters outlined in this term sheet, subject to the least of:

- \$13,000,000
- Up to 75% of the total project costs (acquisition plus construction)
- Up to 75% of the "As-Complete and As-Stabilized" Market value of the Property as determined by an independent appraiser approved by the Bank in its sole discretion

**Construction Term:** 24 Months from closing

**Interest Rate Construction Term:** 30 Day LIBOR + 325 bps, floating, Floor of 4.25%

**Monthly Debt Service:** Monthly interest only payments for the 24 months, reserved within the loan.

**Collateral:** The loan shall be secured but not limited to the following:

- A first lien mortgage encumbering the property
- A UCC blanket lien filing on all business assets of borrowing entity
- Assignment of rents, leases, and tenant letters of credit in relation to the property and all associated properties

**Guarantors:** Robert C. Ranquist, Zev Salomon, Christopher Dillion

**Fees:** A Loan Fee of 0.50 basis points (1/2%) of the proposed construction loan shall be earned by the Bank and paid at closing. Borrower will also be responsible for all 3<sup>rd</sup> Party expenses associated with the proposed transaction that includes but not limited to title fees, appraisal fees, documentation fees, inspection fees, environmental reports, and feasibility studies.



**Financial Covenants:**

Covenants include but not limited to the following:

- Opening of construction loan will require minimum 30% of the loan be repaid via units pre-sold.
- Guarantors must collectively maintain minimum liquidity of \$1,000,000 during duration of loan term. Verified by annual personal financial statements and supporting documentation.

**Reporting Requirements:**

Reporting Requirements include but not limited to the following:

- Annual financial statements & tax returns for the Borrower(s)
- Annual financial statements & tax returns for the Guarantor(s)
- Annual operating statements and Rent Roll for the Borrower(s)
- Monthly sales and leasing reports for property

**Inspection Requirements:**

Bank will require inspections be performed by a third-party architectural firm acceptable to the bank every 45 Days during the construction term.

**Banking Requirements:**

Banking Requirements include but not limited to the following:

- The Borrower shall maintain its primary operating accounts with the Bank as long as the loans are outstanding
- The Borrower shall establish as construction escrow account with a title company satisfactory to the Bank
- A Real Estate Tax Escrow Account may be required for the 24 month term

**Additional Conditions:**

The Bank shall have received the following, the form and content of which must be satisfactory to the Bank.

- A MAI appraisal of the Real Estate from appraisers selected by the Bank and on terms acceptable to the Bank demonstrating an "as-is, as-complete, and as-complete and stabilized" market value sufficient to support a 75% Max Loan to Value
- A Phase I environmental audit prepared by an engineering or consultant firm selected by the Bank, covering the Real Property and indicating no past or present violations of any environmental law. Additional testing and reports may be required if specific conditions of concern are identified in the initial Phase I report
- A policy of mortgage title insurance in the amount equal to the Mortgage Loan Amount, subject to only such exceptions and containing such endorsements as are reasonably acceptable to the Bank
- A Cost Feasibility and Rent Feasibility study prepared by a consultant firm selected by the Bank confirming validity of all construction budgets produced and confirmation of pro-forma leasing rates
- A current ALTA survey certified by the surveyor to the Bank and the title insurance company
- Approval will be subject to Lakeside Bank Participating minimum 50% of aggregate loan

**Due Diligence Investigations:** The Bank shall have completed its due diligence investigation, including with limitation the continued monitoring of the Borrower's financial performance, and be satisfied with the results. Additionally, the Bank shall have received acceptable credit and background checks for Borrower(s) and Guarantor(s).

**Loan Documentation:** Borrower shall have executed and caused to be delivered a definitive loan agreement together with such loan documents, including instruments, documents, agreements, assignments, security agreements, mortgages, financial statements, and certificates (the "Loan Documents") as the Bank and its legal counsel reasonably request in connection with the credit facility on the basis outlined herein. The Loan Documents shall contain such representations, warranties, affirmative, negative and financial covenants, events of default and conditions precedent to advances as are normally contained in documents relating to the



# Lakeside Bank

[www.LakesideBank.com](http://www.LakesideBank.com)

transactions which are similar to those contemplated hereby, and others determined by the Bank and its legal counsel to be appropriate to the circumstances. Notwithstanding the Loan Documents will supersede this Commitment Letter so that in the event of any conflict or ambiguity between the terms of this letter and any term in the loan documents, the terms in the Loan Documents shall prevail. All financial statements, mortgages, and other evidence of liens and security interests relating to the collateral described above shall have been filed or recorded to the Bank's satisfaction. Additionally, the Bank shall have received (i) satisfactory payoff letters and collateral releases from prior lenders; (ii) such inter-creditor and subordination agreements as the Bank may request, and (iii) satisfactory opinions of counsel from the Borrower reasonably acceptable to the Bank. Borrower shall have received all necessary or appropriate waivers and consents.

**Due-Diligence/Work Deposit:** The Borrower shall pay the Bank, on the date of this signed proposal, a Due Diligence/Work Deposit in the amount of \$10,000. If the Bank elects not to close this financing, the deposit shall be returned to the Borrower, less any expenses incurred by the Bank. If the Borrower elects not to close on this financing with the Bank, the Bank shall retain the full amount of the deposit as liquidated damages and not as a penalty to compensate the Bank for time spent, expenses incurred, and labor and credit services performed by the Bank.

On or before the closing of the financing contemplated by this proposal letter, the Borrower will pay all out of pocket expenses, including legal fees and expense, incurred by the Bank in connection with the proposed credit facilities and will deliver such additional amounts as the Bank may request from time to time as reimbursement for such expenses. The Bank will provide a "not to exceed" third party fee estimate upon loan commitment.

**Confidentiality:** This proposal is for your confidential use only and may not be disclosed by you to any person other than your employees, attorneys and financial advisors (but not any commercial Bank or finance company), and then only in connection with the proposed credit facilities and on a confidential basis, except where disclosure is required by law or where the Bank consents to the proposed disclosure in writing.

We are pleased to provide you with this proposal of terms and excited by the prospect of further building our relationship with you. If the terms of this proposal are acceptable to you, please sign the enclosed copy of this letter where indicated and return it with a check payable to Lakeside Bank in the amount of \$10,000 by March 15, 2016, at which time this proposal shall otherwise expire. The work fee will be applied to all soft costs of this transaction. If you have any questions, please contact me at 312-435-1534.

Best Regards,

Justin P. Newhuis, Vice President

Accepted and agreed to this \_\_\_\_ day of \_\_\_\_\_ 2016

By:

\_\_\_\_\_  
Authorized Signer

March 22, 2016

The Village of Oak Park  
123 Madison Street  
Oak Park, IL 60302

**RE: The District House Development, Financing Support Letter**

To Whom It May Concern:

The Village of Oak Park is currently seeking developer proposals to develop the subject property. It is CITI Community Capital's (CITI) understanding that the Village of Oak Park is seeking letters of support from financial institutions that have experience working with the prospective developers.

CITI has direct experience working with Christopher (Chris) Dillion. Chris was one of the three Principals with Harper Court Partners, LLC, the master developer associated with the Harper Court redevelopment, a \$140MM mixed-use project incorporating a 150,000 square foot University of Chicago office tower, a 131-room Hyatt Place hotel and approximately 75,000 square feet of retail space. CITI provided \$65MM in debt financing, along with The Private Bank, for the office and retail components of the project. Harper Court Partners, LLC also sourced \$14.1MM of equity capital from Canyon Johnson Urban Fund and \$2.5MM of general partner equity.


The Project was completed on schedule and under budget. The project achieved 96% pre-leasing prior to the project's substantial completion and subsequent sale to the University of Chicago.

It is our understanding that the District House development will be following a similar, yet less complicated, financing plan as the Harper Court transaction. Based on our knowledge, CITI is confident that Mr. Dillion has the necessary experience and expertise to close the proposed transaction and successfully redevelop the proposed District House site.

If you have any questions, please feel free to contact me at (303) 308-7409 or Douglas Leezer at (502) 715-4535.

Sincerely,

CITIBANK, N.A.

By:   
Name: J. Brent Hanlin  
Title: Vice President

March 22, 2016

Christopher S. Dillion  
152 W. Huron Street, Suite 200  
Chicago, IL 60654

**Re: Oak Park Planned Development**

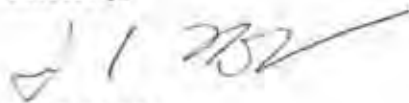
To Whom It May Concern:

This letter confirms The PrivateBank's relationship with Campbell Coyle and its principal, Chris Dillion. We are supportive of the developer's efforts on the 28-unit condo development in Oak Park and would be very interested in providing financing for the project.

Over the course of our banking relationship we have seen Mr. Dillion perform on several projects of similar or larger scope. In fact, our team provided construction financing on the highly successful Harper Court property, a \$100+ million mixed-use project anchored by the University of Chicago. Chris was instrumental in the development of this project at his former firm as one of three Principals associated with the development entity.

We view Campbell Coyle as a premier client here at The PrivateBank and look forward to a prosperous future together. If I may be of other assistance, please do not hesitate to contact me directly at (312) 564-1249.

Sincerely,



Jacob Noble  
Managing Director



DISTRICT HOUSE

**SECTION 7.  
LEGAL CURRENT YEAR PLAT OF SURVEY**

**EXHIBIT 7.1: LEGAL CURRENT YEAR PLAT OF SURVEY**

- Legal Current Year Plat of Survey (dated February 26, 2016, revised March 16, 2016 and March 18, 2016)







DISTRICT HOUSE

**SECTION 8.  
LIST & MAP OF SURROUNDING PROPERTY OWNERS**

**EXHIBIT 8.1: LOCATION MAP**

- Location Map (detailing the 500-foot requirement)





## DISTRICT HOUSE

### **EXHIBIT 8.2: PROPERTY OWNERS AND LOCAL BUSINESS OWNERS**

- Property Insight Xpress Services Certification
- Adjacent Property Owner Labels
- List of Business Owners (as provided by the Village of Oak Park)



## TAX ASSESSEE LISTING

Xpress Services by Property Insight, 1 N. LaSalle St., Suite 500 Chicago, IL 60602 P 312-637-4845

Customer Reference:

Order No. 66661831  
Cover Date 01-18-2016

LINCOLN TITLE COMPANY  
ONE NORTH LASALLE STREET  
CHICAGO, ILLINOIS 60607  
ATTENTION: DAVID GENSON

State & County: Illinois, Cook

In accord with the application, a search of the authentic computerized records of Cook County, Illinois, as of the above cover date, pertaining to all property within 500 feet, in every direction of the location of the property in question assigned permanent tax number(s) (P.I.N.S.):

SEE ATTACHED SEARCH

By the appropriate office of Cook County, Illinois and reflected on the official tax maps, as most currently revised, excluding all public roads, streets, alleys and other public ways and find the following names and addresses of the assesses as appear from said records:

SEE ATTACHED LIST PLUS MAP

The information provided in this search is required, in part by 65 ILCS 5/11-13-7.

By: \_\_\_\_\_

A handwritten signature in black ink, appearing to be "M. H. T. J.", written over a horizontal line.

This is not a title insurance policy, guarantee, or opinion of title and should not be relied upon as such; See terms and conditions on application.

16-07-117-007-0000 THE WRITE INN 211 N OAK PARK AV OAK PARK, IL 60302	16-07-117-008-0000 EXEMPT	16-07-123-001-0000 EXEMPT
16-07-129-016-0000 SCOVILLE SQUARE ASSCO 137 N OAK PARK OAK PARK, IL 60301	16-07-129-023-0000 GARY COLLINS 115 P O BOX 887 OAK PARK, IL 60303	16-07-129-024-0000 W GILMARTIN 833 N ORLEANS 400 CHICAGO, IL 60610
16-07-129-025-0000 VALERIE R CARLIN 19W034 AVE NORMANDY E OAK BROOK, IL 60523	16-07-129-027-0000 JOHN D TOOMEY 818 NORTH BLVD OAK PARK, IL 60301	16-07-129-028-0000 PAM STRINGER 1010 S MAPLE ST OAK PARK, IL 60304
16-07-129-034-1001 BROOKFIELD RELOCATION 16260 N 71ST ST SCOTTSDALE, AZ 85254	16-07-129-034-1002 KATHRYN E FARNI 813 W LAKE ST 1N OAK PARK, IL 60301	16-07-129-034-1003 RICHARD L ASKAM 813 W LAKE ST 1S OAK PARK, IL 60301
16-07-129-034-1004 MARY K STONER 813 LAKE ST OAK PK, IL 60301	16-07-129-034-1005 JEFFREY FELDMAN 813 W LAKE ST 2S OAK PARK, IL 60301	16-07-129-034-1006 CLARE MULCRONE 813 LAKE ST 3N OAK PARK, IL 60301
16-07-129-034-1007 NEDRA BOYER 813 W LAKE ST 3S OAK PARK, IL 60301	16-07-129-034-1008 M KRAUSE 815 LAKE ST 1N OAK PARK, IL 60301	16-07-129-034-1009 JASON EISMAN 815 LAKE ST 1S OAK PARK, IL 60301
16-07-129-034-1010 ANABEL GONZALEZ 815 LAKE ST #2N OAK PARK, IL 60301	16-07-129-034-1011 MICHAEL KOSIBA 815 W LAKE ST 2S OAK PARK, IL 60301	16-07-129-034-1012 KIMBERLY L REESE 815 W LAKE ST #3N OAK PARK, IL 60301
16-07-129-034-1013 ROBERT A MOSER 815 W LAKE ST OAK PARK, IL 60301	16-07-129-034-1014 NICOLE KELLY 825 LAKE ST #1S OAK PARK, IL 60301	16-07-129-034-1015 NANISA S PERELES 817 W LAKE ST UNIT 1S OAK PARK, IL 60301

<p>16-07-129-034-1016  JOHN G THORPE  817 LAKE ST #2N  OAK PARK, IL 60301</p>	<p>16-07-129-034-1017  ANDRE O STRUGER  817 W LAKE ST 2S  OAK PARK, IL 60301</p>	<p>16-07-129-034-1018  DAVID SCHAEFER  817 W LAKE ST 3N  OAK PARK, IL 60301</p>
<p>16-07-129-034-1019  BRENDAN SARAH SCHOLZ  4703 SARATOGA AVE  DOWNERS GRV, IL 60515</p>	<p>16-07-129-034-1020  SALLY SIMMEL  819 W LAKE ST 1E  OAK PARK, IL 60301</p>	<p>16-07-129-034-1021  CAGRI ARSIN  819 LAKE ST 1W  OAK PARK, IL 60301</p>
<p>16-07-129-034-1022  KELLY CARROLL  819 LAKE 2E  OAK PARK, IL 60301</p>	<p>16-07-129-034-1023  ALLISON PORTERFIELD  819 W LAKE ST #2W  OAK PARK, IL 60301</p>	<p>16-07-129-034-1024  CHRISTINA SOCO  819 W LAKE ST 3E  OAK PARK, IL 60301</p>
<p>16-07-129-034-1025  THOMAS P ROMENS  819 W LAKE ST 3W  OAK PARK, IL 60301</p>	<p>16-07-129-034-1026  GEORGE W ZEHENDER  6231 EMBARCADERO DR  STOCKTON, CA 95219</p>	<p>16-07-129-034-1027  EILEEN M BRANN  821 LAKE ST  OAK PARK, IL 60301</p>
<p>16-07-129-034-1028  BENTE CLAUSEN  821 W LAKE ST 1S  OAK PARK, IL 60301</p>	<p>16-07-129-034-1033  PHAJEK 311174543  823 LAKE ST 1  OAK PARK, IL 60301</p>	<p>16-07-129-034-1034  SANDRA M GEORGE  823 W LAKE ST 1S  OAK PARK, IL 60301</p>
<p>16-07-129-034-1035  NORMAN AXELROOD  422 S SCOVILLE AVE  OAK PARK, IL 60302</p>	<p>16-07-129-034-1036  LISBETH C CESARINI  823 W LAKE ST 2S  OAK PARK, IL 60301</p>	<p>16-07-129-034-1037  CARALYN F SHEEHAN  823 W LAKE ST 3N  OAK PARK, IL 60301</p>
<p>16-07-129-034-1038  LORI SUTER  823 LAKE ST #3S  OAK PARK, IL 60301</p>	<p>16-07-129-034-1039  DONNA M GIAMMARESE  825 W LAKE ST  OAK PARK, IL 60301</p>	<p>16-07-129-034-1040  SELMA M REHM  825 W LAKE ST 1N  OAK PARK, IL 60301</p>
<p>16-07-129-034-1041  KELLY  825 LAKE ST IS  OAK PARK, IL 60301</p>	<p>16-07-129-034-1042  JANET M SEBASTIAN  825 W LAKE ST  OAK PARK, IL 60301</p>	<p>16-07-129-034-1043  SANDRA L CZAJKA  825 W LAKE ST 2 S  OAK PARK, IL 60301</p>

<p>16-07-129-034-1044  GARY HANLEY  825 LAKE ST #3N  OAK PARK, IL 60301</p>	<p>16-07-129-034-1045  BRUCE DEVILLER  825 W LAKE ST #3S  OAK PARK, IL 60301</p>	<p>16-07-129-034-1046  ADAM T COLLERAN  821 LAKE ST #2N  OAK PARK, IL 60301</p>
<p>16-07-129-034-1047  SANDRA K SEIM  821 LAKE ST #2S  OAK PARK, IL 60301</p>	<p>16-07-129-034-1048  PETERS WOODS  821 LAKE STREET 3N  OAK PARK, IL 60301</p>	<p>16-07-129-034-1049  MARY J RASMUSSEN  821 LAKE ST 3S  OAK PARK, IL 60301</p>
<p>16-07-129-036-1001  101 N OAK PARK LLC  101 N OAK PARK AV  OAK PARK, IL 60301</p>	<p>16-07-129-036-1002  NORAS SHOE SHOP  103 N OAK PARK AVE  OAK PARK, IL 60301</p>	<p>16-07-129-036-1003  AJAY BHATIA  23W341 HAMPTON CR  NAPERVILLE, IL 60540</p>
<p>16-07-129-036-1004  101 N OAK PARK LLC  101 N OAK PARK  OAK PARK, IL 60301</p>	<p>16-07-129-036-1005  WEICHERT REALTORS  101 N OAK PARK AV  OAK PARK, IL 60301</p>	<p>16-07-129-036-1006  FAMILY CREDIT COUNSEL  4306 CHARLES ST  ROCKFORD, IL 61108</p>
<p>16-07-129-036-1007  PROFESSIONAL SERV PROP  4843 LEES CT  OSWEGO, IL 60543</p>	<p>16-07-129-036-1008  LOU FABBRI GROUP  3 S 002 IL ROUTE 53  GLEN ELLYN, IL 60137</p>	<p>16-07-129-036-1009  MICHAEL WARD  10218 DONLEIGH DR  COLUMBIA, MD 0</p>
<p>16-07-129-036-1010  EVAN AMY MCKERNS  305 N ELMWOOD AVE  OAK PARK, IL 60302</p>	<p>16-07-129-036-1011  C SANDERS NIELSEN  19W124 AVE NORMANDY N  OAK BROOK, IL 60523</p>	<p>16-07-129-036-1012  CHRISTIAN LAUREN DAWES  806 NORTH BLVD #202  OAK PARK, IL 60301</p>
<p>16-07-129-036-1013  WILLIAM PULKRABEK  806 NORTH BLVD #301  OAK PARK, IL 60301</p>	<p>16-07-129-036-1014  JAN OBRYK  812 NORTH BLVD #302  OAK PARK, IL 60301</p>	<p>16-07-129-036-1015  JACLYN PULKRABEK  806 NORTH BLVD #301  OAK PARK, IL 60301</p>
<p>16-07-129-036-1016  CATHERINE AMATO  806 NORTH BLVD #302  OAK PARK, IL 60301</p>	<p>16-07-212-002-0000  CHATKA RUGGIERO  PO BOX 5061  RIVER FOREST, IL 60305</p>	<p>16-07-212-003-0000  WALTER DRECHSLER  716 ONTARIO  OAK PARK, IL 60302</p>

<p>16-07-212-007-0000  ANTONIO FIUMARA  215 N EUCLID AVENUE  OAK PARK, IL 60302</p>	<p>16-07-212-008-0000  TACOMA MCKNIGHT  209 N EUCLID  OAK PARK, IL 60302</p>	<p>16-07-212-009-0000  FIELDS MOORE  205 N EUCLID  OAK PARK, IL 60302</p>
	<p>16-07-212-010-1001  JOHN L NEWTON  719 ERIE 1A  OAK PK, IL 60302</p>	<p>16-07-212-010-1002  PAULA A KAVCHAK  719 ERIE AV 2A  OAK PARK, IL 60302</p>
<p>16-07-212-010-1003  RICHARD ELMA JOHNSON  719 W ERIE #3A  OAK PK, IL 60302</p>	<p>16-07-212-010-1004  MARY JANE COZZI  721 ERIE ST UNIT 18  OAK PARK, IL 60302</p>	<p>16-07-212-010-1005  HEIDI J VANCE  228 N OAK PARK AV  OAK PARK, IL 60302</p>
<p>16-07-212-010-1006  NORA T RICCO  721 E ERIE U3B  OAK PARK, IL 60302</p>	<p>16-07-212-010-1007  KATHLEEN J OGUNDIPE  723 ERIE ST C1  OAK PARK, IL 60302</p>	<p>16-07-212-010-1008  ROSALIND G SINGLETON  723 ERIE UNIT 2C  OAK PARK, IL 60302</p>
<p>16-07-212-010-1009  BARRY JUNG  723 ERIE ST 3C  OAK PARK, IL 60302</p>	<p>16-07-212-010-1010  DREW M DALTON  725 ERIE 1D  OAK PARK, IL 60302</p>	<p>16-07-212-010-1011  JILL JEROME  125 WESLEY AVE  OAK PK, IL 60302</p>
<p>16-07-212-010-1012  LORETTA L BETTERMAN  725 ERIE ST 3D  OAK PARK, IL 60302</p>	<p>16-07-212-010-1013  NICOLE ALLEN  727 ERIE 1 E  OAK PARK, IL 60302</p>	<p>16-07-212-010-1014  MARY ANN RAY  727 ERIE ST #2E  OAK PARK, IL 60302</p>
<p>16-07-212-010-1015  DARREN MUSIAL  727 ERIE #3E  OAK PARK, IL 60302</p>	<p>16-07-212-010-1016  LAURA WAGNER  729 ERIE #1P  OAK PARK, IL 60302</p>	<p>16-07-212-010-1017  PAMELA S HOFFMAN  729 W ERIE 2F  OAK PARK, IL 60302</p>
<p>16-07-212-010-1018  J A MCKENDRICK  729 ERIE #3F  OAK PARK, IL 60302</p>	<p>16-07-212-010-1019  ROBIN KOUTSOURES  232 N OAK PARK AV 1G  OAK PARK, IL 60302</p>	<p>16-07-212-010-1020  JENNIFER SIKORSKI  232 N OAK PK AV  OAK PARK, IL 60302</p>



<p>16-07-212-010-1021 CHRISTOPHER R BASS 232 N OAK PARK 3G OAK PARK, IL 60302</p>	<p>16-07-212-010-1022 KURT L JOHNSON 232 N OAK PARK AVE U1H OAK PARK, IL 60302</p>	<p>16-07-212-010-1023 JON VERHALEN 518 ASHLAND AVE RIVER FOREST, IL 60305</p>
<p>16-07-212-010-1024 AMELIA R WIATR 935 N TAYLOR AVE OAK PARK, IL 60302</p>	<p>16-07-212-010-1025 THOMAS J SPANOS 230 N OAK PARK AV 1I OAK PARK, IL 60302</p>	<p>16-07-212-010-1026 MICHAEL Y LI 230 N OAK PARK 21 OAK PARK, IL 60302</p>
<p>16-07-212-010-1027 M DOYLE 3I 230 N OAK PARK AVE OAK PARK, IL 60302</p>	<p>16-07-212-010-1028 DONNA J SORENSEN 230 N OAK PARK AVE 1J OAK PARK, IL 60302</p>	<p>16-07-212-010-1029 DONNA J SORENSEN 230 N OAK PK AVE 1J OAK PARK, IL 60302</p>
<p>16-07-212-010-1030 ANDREW SHAROS 230 N OAK PARK AVE #3J OAK PARK, IL 60302</p>	<p>16-07-212-010-1031 RICHARD NEAPOLITAN 1212 BARNESWOOD DR DOWNERS GRV, IL 60515</p>	<p>16-07-212-010-1032 TAXPAYER OF 230 N OAK PARK OAK PARK, IL 60302</p>
<p>16-07-212-010-1033 JEANETTE LUHR 230 N OAK PARK 3K OAK PARK, IL 60302</p>	<p>16-07-212-010-1034 NANCY A STUERMER 228 N OAK PARK AV 1L OAK PARK, IL 60302</p>	<p>16-07-212-010-1035 DEBORA A SISNEY 9337 WATERFALL GLEN DARIEN, IL 60561</p>
<p>16-07-212-010-1036 TAXPAYER OF 228 N OAK PARK AV OAK PARK, IL 60302</p>	<p>16-07-212-010-1037 LINH B LAM 228 N OAK PARK AVE#1M OAK PARK, IL 60302</p>	<p>16-07-212-010-1038 MATTHEW D HOHMEIER 228 N OAK PARK AV #2M OAK PARK, IL 60302</p>
<p>16-07-212-010-1039 DONNA J SORENSEN TRUST 230 OAK PARK AVE 1J OAK PARK, IL 60302</p>	<p>16-07-212-010-1040 CAMERIN J COURTNEY 226 N OAK PK AVE 1N OAK PARK, IL 60302</p>	<p>16-07-212-010-1041 NICOLAAS HEINS 226 N OAK PK #2N OAK PARK, IL 60302</p>
<p>16-07-212-010-1042 ROBERT J HARTNEY 226 N OAK PK AV 3N OAK PARK, IL 60302</p>	<p>16-07-212-010-1043 LISA DODGE 226 N OAK PARK AV 1 0 OAK PARK, IL 60302</p>	<p>16-07-212-010-1044 HANS DEKOK 226 N OAK PARK AV 20 OAK PARK, IL 60302</p>

<p>16-07-212-010-1045 JUSTIN WILHERE 226 N OAK PK AV #30 OAK PARK, IL 60302</p>	<p>16-07-212-010-1046 JACK D PRICE 224 N OAK PARK AV 1P OAK PARK, IL 60302</p>	<p>16-07-212-010-1047 DAVID B COULTER 224 N OAK PARK AV 2P OAK PARK, IL 60302</p>
<p>16-07-212-010-1048 JEAN MARIE POWELL 7366 LAKE ST UNIT C RIVER FOREST, IL 60305</p>	<p>16-07-212-010-1049 NANCY SKOWRONSKI 224 N OAK PARK 1Q OAK PARK, IL 60302</p>	<p>16-07-212-010-1050 NOEL DUNN 224 N OAK PARK AV Q2 OAK PARK, IL 60302</p>
<p>16-07-212-010-1051 MARGUERITE NESSINGER 224 N OAK PARK AVE 3Q OAKPARK, IL 60302</p>	<p>16-07-212-010-1052 T J MORRISON 5967 WILLIAMS DR PLAINFIELD, IN 46168</p>	<p>16-07-212-010-1053 DAVID N HOFFMAN 222 N OAK PARK AVE 2R OAK PARK, IL 60302</p>
<p>16-07-212-010-1054 MICHAEL ERICIA BERG 222 N OAK PARK AV 3R OAK PARK, IL 60302</p>	<p>16-07-212-010-1055 VICTORIA E BRUNER 222 N OAK PARK #1S OAK PARK, IL 60302</p>	<p>16-07-212-010-1056 TERESA ALFARO 222 N OAK PARK AV 3S OAK PARK, IL 60302</p>
<p>16-07-212-010-1057 LAUREN M NICHOLS 220 N OAK PARK AV #1T OAK PARK, IL 60302</p>	<p>16-07-212-010-1058 JRM PROPERTY INVESTMEN 729 HEATH CT WESTMONT, IL 60559</p>	<p>16-07-212-010-1059 MICHELLLE STEIL 220 N OAK PARK AV #3T OAK PARK, IL 60302</p>
<p>16-07-212-010-1060 RYAN AND LUCIA KELLEY 220 N OAK PARK AVE #1U OAK PARK, IL 60302</p>	<p>16-07-212-010-1061 ERIN MEILINGER 220 N OAK PARK AV #2U OAK PARK, IL 60302</p>	<p>16-07-212-010-1062 TIMOTHY D WOJTUSIK 220 N OAK PK AVE 3U OAK PARK, IL 60302</p>
<p>16-07-212-010-1063 PIERGIORGIO USLENGHI 329 N TAYLOR AV OAK PARK, IL 60302</p>	<p>16-07-212-010-1064 SALLY URWIN 220 N OAK PARK #2V OAK PARK, IL 60302</p>	<p>16-07-212-010-1065 JENNIFER FORREST 220 N OAK PK AVE OAK PK, IL 60302</p>
<p>16-07-212-010-1066 ROSMOND WILLIAMS JR 218 N OAK PARK 1W OAK PARK, IL 60302</p>	<p>16-07-212-010-1067 ERIC SWIRSKY 218 N OAK PK AVE#2W OAK PARK, IL 60302</p>	<p>16-07-212-010-1068 MICHAEL LI 729 HEATH CT WESTMONT, IL 60559</p>

<p>16-07-212-010-1069  J BRABENDER K Y WONG  218 N OAK PARK AVE #1X  OAK PARK, IL 60302</p>	<p>16-07-212-010-1070  DAVID HOFFMAN  1200 HAUSER BLVD  LOS ANGELES, CA 90019</p>	<p>16-07-212-010-1071  ANN SEIGLER  218 N OAK PK AVE  OAK PARK, IL 60302</p>
<p>16-07-212-010-1072  DAVID GREGOIRE  218 N OAK PARK AV 1Y  OAK PARK, IL 60302</p>	<p>16-07-212-010-1073  LYNNE FACKAYAN  218 N OAK PARK AVE 2Y  OAK PARK, IL 60302</p>	<p>16-07-212-010-1074  DONNA SORENSEN  230 N OAK PARK #1J  OAK PARK, IL 60302</p>
<p>16-07-212-010-1075  WILLIAM PAUNAN  216 N OAK PARK AVE #12  OAK PARK, IL 60302</p>	<p>16-07-212-010-1076  KARINA FLINN  216 N OAK PARK #2Z  OAK PARK, IL 60302</p>	<p>16-07-212-010-1077  DEBORAH KNONER  216 N OAK PARK AV32  OAK PARK, IL 60302</p>
<p>16-07-212-010-1078  MURPHY DIXON  216 N OAK PARK AVE 1AA  OAK PARK, IL 60302</p>	<p>16-07-212-010-1079  GRADY C BARNHILL  216 N OAK PARK 2AA  OAK PARK, IL 60302</p>	<p>16-07-212-010-1080  JOHN R MINIUTTI  923 MONROE AVE  RIVER FOREST, IL 60305</p>
<p>16-07-212-010-1081  AMBER C REID  214 N OAK PARK AVE1BB  OAK PK, IL 60302</p>	<p>16-07-212-010-1082  MS DONNA J SORENSEN  230 N OAK PK AVE  OAK PARK, IL 60302</p>	<p>16-07-212-010-1083  KATHERINE SUSMILCH  214 N OAK PARK AV 3BB  OAK PARK, IL 60302</p>
<p>16-07-212-010-1084  KELLY WALSH  214 N OAK PARK 1CC  OAK PARK, IL 60302</p>	<p>16-07-212-010-1085  JODI MACLELLAN  214 N OAK PK AV 200  OAK PARK, IL 60302</p>	<p>16-07-212-010-1086  JENNIFER GRAY  253 STONE MANOR CIRCLE  BATAVIA, IL 60510</p>
<p>16-07-212-010-1087  JILL HILTY  5541 S HARPER AVE  CHICAGO, IL 60637</p>	<p>16-07-212-010-1088  PING HOMERIC K LUO  134 FRANCISCO TERR  OAK PARK, IL 60302</p>	<p>16-07-212-010-1089  H NING S YANG  212 N OAK PARK 3DD  OAK PARK, IL 60302</p>
<p>16-07-212-010-1090  MICHAEL LI  729 HEATH CT  WESTMONT, IL 60559</p>	<p>16-07-212-010-1091  AMANDA ROM  9170 S PLEASANT AVE  CHICAGO, IL 60643</p>	<p>16-07-212-010-1092  AUDRIS V RUBAS  212 N OAK PARK AV 3EE  OAK PARK, IL 60302</p>

<p>16-07-212-010-1093  NAGALAKSHMI P POKALA  210 N OAK PK AVE 1FF  OAK PARK, IL 60302</p>	<p>16-07-212-010-1094  JOHN R TARTE  210 N OAK PARK AV 2FF  OAK PARK, IL 60302</p>	<p>16-07-212-010-1095  LILY HO  210 N OAK PK AV 3FF  OAK PARK, IL 60302</p>
<p>16-07-212-010-1096  KATHLEEN SETCHELL  210 N OAK PARK AV 2GG  OAK PARK, IL 60302</p>	<p>16-07-212-010-1097  CYNTHIA JOY ROSS  210 N OAK PARK AV 2GG  OAK PARK, IL 60302</p>	<p>16-07-212-010-1098  JOSEPH LAZZARA  731 FOREST AVE  OAK PARK, IL 60302</p>
<p>16-07-212-010-1099  BARBARA CARLISLE  P O BOX 528  WAYNE, IL 60184</p>	<p>16-07-212-010-1100  GAIL G PRAUSS  208 N OAK PARK AVE 3HH  OAK PARK, IL 60302</p>	<p>16-07-212-010-1101  BRUCE JANICE GOLDMAN  3216 N VOLZ DR WEST  ARLINGTON HTS, IL 60004</p>
<p>16-07-212-010-1102  BARBARA A HALD  208 N OAK PARK AV 2II  OAK PARK, IL 60302</p>	<p>16-07-212-010-1103  B R CALLAHAN  2222 BAYBERRY ST  VIRGINIA BEA, VA 23451</p>	<p>16-07-212-010-1104  MICHAEL NELSON LWILKEE  208 N OAK PARK  OAK PARK, IL 60302</p>
<p>16-07-212-010-1105  CHRISTIANNE VARELA  208 N OAK PK  OAK PK, IL 60302</p>	<p>16-07-212-010-1106  PAOLA RIZZO  208 N OAK PARK AV 3JJ  OAK PARK, IL 60302</p>	<p>16-07-212-010-1107  SETH MCCLELLAN  228 N OAK PARK AVE  OAK PARK, IL 60302</p>
<p>16-07-212-010-1108  BERNARD JOHN HESTER  210 N OAK PARK AV  OAK PARK, IL 60302</p>	<p>16-07-212-010-1109  MICHAEL B COLLINS  725 ERIE ST UNIT G  OAK PARK, IL 60302</p>	<p>16-07-212-010-1110  BRIAN KAREN GRIMLEY  10422 CANTERBURY ST  WESTCHESTER, IL 60154</p>
<p>16-07-212-010-1111  ERIC SWIRSKY  218 N OAK PK AVE#2W  OAK PARK, IL 60302</p>	<p>16-07-212-010-1112  MATTHEW D HOHMEIER  228 N OAK PARK AV  OAK PARK, IL 60302</p>	<p>16-07-212-010-1113  DONNA J SORENSEN TRUST  230 OAK PARK AVE 1J  OAK PARK, IL 60302</p>
<p>16-07-212-010-1114  DEBORAH KNONER  216 N OAK PARK 3Z  OAK PARK, IL 60302</p>	<p>16-07-212-010-1115  LISA DODGE  226 N OAK PARK AV 1 O  OAK PARK, IL 60302</p>	<p>16-07-212-010-1116  JODIE MACLELLAN  103 NW 3RD AV  DELRAY BEACH, FL 33444</p>

<p>16-07-212-010-1117 M DOYLE 3I 230 N OAK PARK AVE OAK PARK, IL 60302</p>	<p>16-07-212-010-1118 AUDIS V RUBAS 212 N OAK PARK AVE 3EE OAK PARK, IL 60302</p>	<p>16-07-212-010-1119 DARREN MUSIAL 727 ERIE #3E OAK PARK, IL 60302</p>
<p>16-07-212-010-1120 MURPHY DIXON 216 N OAK PARK AVE 1AA OAK PARK, IL 60302</p>	<p>16-07-212-010-1121 NANCY SKOWRONSKI 224 N OAK PARK 1Q OAK PARK, IL 60302</p>	<p>16-07-212-010-1122 MICHAEL COLLINS 725 ERIE GARGEN APT OAK PARK, IL 60302</p>
<p>16-07-212-010-1123 J BRABENDER K Y WONG 218 N OAK PARK AVE #1X OAK PARK, IL 60302</p>	<p>16-07-212-010-1124 LAUREN M NICHOLS P14 220 N OAK PARK AV #1T OAK PARK, IL 60302</p>	<p>16-07-212-010-1125 CAMERIN J COURTNEY 226 N OAK PK AVE 1N OAK PARK, IL 60302</p>
<p>16-07-212-010-1126 ROSALIND G SINGLETON 723 ERIE UNIT 2C OAK PARK, IL 60302</p>	<p>16-07-212-010-1127 MICHELLE M STEIL 220 N OAK PK AVE OAK PARK, IL 60302</p>	<p>16-07-212-010-1128 VALERIE L GAGER 208 N OAK PARK AV 2HH OAK PARK, IL 60302</p>
<p>16-07-212-010-1129 NICOLAAS HEINS 226 N OAK PK #2N OAK PARK, IL 60302</p>	<p>16-07-212-010-1130 AMBER C REID 214 N OAK PARK AVE1BB OAK PK, IL 60302</p>	<p>16-07-212-010-1131 MATTHEW C DAWSON 228 N OAK PARK AVE#2S OAK PARK, IL 60302</p>
<p>16-07-212-010-1132 VALERIE L GAGER 208 N OAK PARK AV 2HH OAK PARK, IL 60302</p>	<p>16-07-212-010-1133 JRM PROPERTY INVESTMEN 729 HEATH CT WESTMONT, IL 60559</p>	<p>16-07-212-010-1134 NOEL DUNN 224 N OAK PARK AV Q2 OAK PARK, IL 60302</p>
<p>16-07-213-003-0000 EXEMPT</p>	<p>16-07-213-004-0000 EXEMPT</p>	<p>16-07-213-005-0000 EXEMPT</p>
<p>16-07-213-009-0000 KATHY BOSCO 217 LINDEN AV OAK PARK, IL 60302</p>	<p>16-07-213-010-0000 STEPHANIE M KONKOL 211 N LINDEN OAK PARK, IL 60302</p>	<p>16-07-213-011-0000 S BERYL GREENBERG 207 N LINDEN OAK PARK, IL 60302</p>

<p>16-07-213-012-0000 HELENA MCCULLOUGH 201 LINDEN AV OAK PARK, IL 60302</p>	<p>16-07-214-021-0000 EXEMPT</p>	<p>16-07-218-006-0000 RP FOX AND ASSOCIATES 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-218-007-0000 SIMONE ENTERPRISE LP PO BOX 5262 RIVER FOREST, IL 60305</p>	<p>16-07-218-010-0000 JILL M PEARSON 163 N EUCLID AVE OAK PARK, IL 60302</p>	<p>16-07-218-011-0000 SBC AMERITECH ONE SBC CENTER 36M01 ST LOUIS, MO 63101</p>
<p>16-07-218-012-0000 SBC AMERITECH ONE SBC CENTER 36M01 ST LOUIS, MO 63101</p>	<p>16-07-218-013-0000 SBC AMERITECH ONE SBC CENTER 36M01 ST LOUIS, MO 63101</p>	<p>16-07-218-016-0000 R P FOX 1110 PLEASANT OAK PARK, IL 60302</p>
<p>16-07-218-018-0000 PAUL MARG WINSAUER 715 ONTARIO ST OAK PARK, IL 60302</p>	<p>16-07-218-019-0000 PATRICK H SHANNON 175 N EUCLID AV OAK PARK, IL 60302</p>	<p>16-07-218-022-0000 MARGARET A JOHNSON 173 N EUCLID AV OAK PARK, IL 60302</p>
<p>16-07-218-023-0000 MARGARET A JOHNSON 173 N EUCLID AV OAK PARK, IL 60302</p>	<p>16-07-218-024-0000 R P FOX ASSOC INC 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-218-025-0000 SIMONE ENTERPRISE LP PO BOX 5262 RIVER FOREST, IL 60305</p>
<p>16-07-218-027-1001 CAROL A HAFEMAN 721 ONTARIO 101 OAK PARK, IL 60302</p>	<p>16-07-218-027-1002 W H NEUMANN 721 ONTARIO 102 OAK PARK, IL 60302</p>	<p>16-07-218-027-1003 WILLIAM B DRING 721 ONTARIO 103 OAK PARK, IL 60302</p>
<p>16-07-218-027-1004 ELISABETH FIESCHKO 721 W ONTARIO #104 OAK PARK, IL 60302</p>	<p>16-07-218-027-1005 LEO G NIEDERMAN 721 ONTARIO ST OAK PARK, IL 60302</p>	<p>16-07-218-027-1006 PAUL R OPPENHEIM 721 ONTARIO ST 106 OAK PARK, IL 60302</p>
<p>16-07-218-027-1007 FRAN SULLIVAN 721 ONTARIO 107 OAK PARK, IL 60302</p>	<p>16-07-218-027-1008 H J PEARSALL 721 ONTARIO 108 OAK PARK, IL 60302</p>	<p>16-07-218-027-1009 DAVID MARIANNE SCHIAVO 721 ONTARIO 109 OAK PARK, IL 60302</p>

<p>16-07-218-027-1010 D M SCHIAVONE 721 ONTARIO OAK PARK, IL 60302</p>	<p>16-07-218-027-1011 DOUG CHRISTINE KELNER 721 ONTARIO #110 OAK PARK, IL 60302</p>	<p>16-07-218-027-1012 TIMOTHY R DOAR 721 ONTARIO UNIT C12 OAK PARK, IL 60302</p>
<p>16-07-218-027-1013 WENDY KEVIN DONAGHUE 721 ONTARIO ST #202 OAK PARK, IL 60302</p>	<p>16-07-218-027-1014 MARGARET FITZGERALD 721 ONTARIO ST #203 OAK PARK, IL 60302</p>	<p>16-07-218-027-1015 LAWRENCE B CHRISTMAS 721 ONTARIO ST 204 OAK PARK, IL 60302</p>
<p>16-07-218-027-1016 GARY R STRANGE 205 721 ONTARIO OAK PARK, IL 60302</p>	<p>16-07-218-027-1017 ALAN LISA DWORKIN 721 ONTARIO ST 206 OAK PARK, IL 60302</p>	<p>16-07-218-027-1018 HOWARD H BERLIN 721 ONTARIO 207 OAK PARK, IL 60302</p>
<p>16-07-218-027-1019 DAN KAREN PIETRINI 721 ONTARIO #208 OAK PARK, IL 60302</p>	<p>16-07-218-027-1020 MARIANNE MOORE 1003B N DANIEL ST ARLINGTON, VI 22207</p>	<p>16-07-218-027-1021 JOHN ANN GEAREN 721 ONTARIO 210 OAK PARK, IL 60302</p>
<p>16-07-218-027-1022 WILLIAM H BAKER 721 ONTARIO ST 211 OAK PARK, IL 60302</p>	<p>16-07-218-027-1023 LINDA A SCANNICCHIO TR 721 ONTARIO 212 OAK PARK, IL 60302</p>	<p>16-07-218-027-1024 KATHY S ALBAIN 721 ONTARIO #301 OAK PARK, IL 60302</p>
<p>16-07-218-027-1025 V SCHENZINGER 721 ONTARIO ST#302 OAK PARK, IL 60302</p>	<p>16-07-218-027-1026 PRAKASH ALICE DESAI 721 ONTARIO ST 401 OAK PARK, IL 60302</p>	<p>16-07-218-027-1027 MARVIN W MARSHALL 721 ONTARIO ST 402 OAK PARK, IL 60302</p>
<p>16-07-218-027-1028 PAUL A BECKWITH 721 ONTARIO UNIT403 OAK PARK, IL 60302</p>	<p>16-07-218-027-1029 BENNIE W FERNANDEZ 721 ONTARIO 501 OAK PARK, IL 60302</p>	<p>16-07-218-027-1030 JOHN REEBEL 717 ONTARIO OAK PARK, IL 60302</p>
<p>16-07-218-027-1031 ALAN LISA DWORKIN 721 ONTARIO ST 206 OAK PARK, IL 60302</p>	<p>16-07-218-027-1032 GARY R STRANGE 205 721 ONTARIO OAK PARK, IL 60302</p>	<p>16-07-218-027-1033 HOWARD H BERLIN 721 ONTARIO 207 OAK PARK, IL 60302</p>

16-07-218-027-1034 HOWARD H BERLIN 721 ONTARIO 207 OAK PARK, IL 60302		16-07-218-027-1035 TIMOTHY R DOAR 721 ONTARIO UNIT C12 OAK PARK, IL 60302		16-07-218-027-1036 LEO G NIEDERMAN 721 ONTARIO ST OAK PARK, IL 60302
16-07-218-027-1037 LEO G NIEDERMAN 721 ONTARIO ST OAK PARK, IL 60302		16-07-218-027-1038 ALAN LISA DWORKIN 721 ONTARIO ST 206 OAK PARK, IL 60302		16-07-218-027-1039 MONROE FRAN SULLIVAN 721 ONTARIO 107 OAK PARK, IL 60302
16-07-218-027-1040 PAUL A BECKWITH 721 ONTARIO UNIT403 OAK PARK, IL 60302		16-07-218-027-1041 PRAKASH ALICE DESAI 721 ONTARIO ST #401 OAK PARK, IL 60302		16-07-218-027-1042 KATHY S ALBAIN 721 ONTARIO #301 OAK PARK, IL 60302
16-07-218-027-1043 GARY R STRANGE 205 721 ONTARIO OAK PARK, IL 60302		16-07-218-027-1044 MARVIN W MARSHALL 721 W ONTARIO 402 OAK PARK, IL 60302		16-07-218-027-1045 V SCHENZINGER 721 ONTARIO ST#302 OAK PARK, IL 60302
16-07-218-027-1046 WILLIAM B DRING 721 ONTARIO 103 OAK PARK, IL 60302		16-07-218-027-1047 LINDA A SCANNICCHIO TR 721 ONTARIO 212 OAK PARK, IL 60302		16-07-218-027-1048 LINDA A SCANNICCHIO TR 721 ONTARIO 212 OAK PARK, IL 60302
16-07-218-027-1049 TIMOTHY R DOAR 721 ONTARIO UNIT C12 OAK PARK, IL 60302		16-07-218-027-1050 CAROL A HAFEMAN 721 ONTARIO ST 204 OAK PARK, IL 60302		16-07-218-027-1051 KATHY S ALBAIN 721 ONTARIO #301 OAK PARK, IL 60302
16-07-218-027-1052 GARY R STRANGE 205 721 ONTARIO OAK PARK, IL 60302		16-07-218-027-1053 DOUG CHRISTINE KELNER 721 ONTARIO #110 OAK PARK, IL 60302		16-07-218-027-1054 D M SCHIAVONE 721 ONTARIO 109 OAK PARK, IL 60302
16-07-218-027-1055 D M SCHIAVONE 721 ONTARIO 109 OAK PARK, IL 60302		16-07-218-027-1056 PAUL R OPPENHEIM 721 ONTARIO ST 106 OAK PARK, IL 60302		16-07-218-027-1057 PAUL R OPPENHEIM 721 ONTARIO ST 106 OAK PARK, IL 60302



<p>16-07-218-027-1058 MARGARET D FITZGERALD 721 ONTARIO ST #203 OAK PARK, IL 60302</p>	<p>16-07-218-027-1059 JOHN ANN GEAREN 721 ONTARIO 210 OAK PARK, IL 60302</p>	<p>16-07-218-027-1060 JOHN ANN GEAREN 721 ONTARIO 210 OAK PARK, IL 60302</p>
<p>16-07-218-027-1061 W H NEUMANN 721 ONTARIO 102 OAK PARK, IL 60302</p>	<p>16-07-218-027-1062 W H NEUMANN 721 ONTARIO 102 OAK PARK, IL 60302</p>	<p>16-07-218-027-1063 WENDY KEVIN DONAGHUE 721 ONTARIO ST #202 OAK PARK, IL 60302</p>
<p>16-07-218-027-1064 WENDY KEVIN DONAGHUE 721 ONTARIO ST #202 OAK PARK, IL 60302</p>	<p>16-07-218-027-1065 LAWERNCE B CHRISTMAS 721 ONTARIO APT 204 OAK PARK, IL 60302</p>	<p>16-07-218-027-1066 LAWRENCE CHRISTMAS 721 ONTARIO ST 204 OAK PARK, IL 60302</p>
<p>16-07-218-027-1067 H J PEARSALL 721 ONTARIO 108 OAK PARK, IL 60302</p>	<p>16-07-218-027-1068 H J PEARSALL 721 ONTARIO 108 OAK PARK, IL 60302</p>	<p>16-07-218-027-1069 DAN KAREN PIETRINI 721 ONTARIO #208 OAK PARK, IL 60302</p>
<p>16-07-218-027-1070 PRAKASH ALICE DESAI 721 ONTARIO ST 401 OAK PARK, IL 60302</p>	<p>16-07-218-027-1071 ELISABETH FIESCHKO 721 W ONTARIO #104 OAK PARK, IL 60302</p>	<p>16-07-218-027-1072 HENRY B PEARSALL 721 ONTARIO #108 OAK PARK, IL 60302</p>
<p>16-07-218-027-1073 MARIANNE MOORE 1003B N DANIEL ST ARLINGTON, VA 22201</p>	<p>16-07-218-027-1074 WILLIAM H BAKER 721 ONTARIO 211 OAK PARK, IL 60302</p>	<p>16-07-218-027-1075 WILLIAM BAKER 721 ONTARIO 211 OAK PARK, IL 60302</p>
<p>16-07-218-027-1076 V SCHENZINGER 721 ONTARIO ST#302 OAK PARK, IL 60302</p>	<p>16-07-218-027-1077 JOHN REEBEL 717 ONTARIO OAK PARK, IL 60302</p>	<p>16-07-218-027-1078 JOHN REEBEL 717 ONTARIO OAK PARK, IL 60302</p>
<p>16-07-218-027-1079 B B FERNANDEZ 719 ONTARIO OAK PARK, IL 60302</p>	<p>16-07-218-027-1080 BEN BARB FERNANDEZ 719 ONTARIO OAK PARK, IL 60302</p>	

<p>16-07-218-028-1001  HUGH MURPHY  156 N OAK PARK AVE 1A  OAK PARK, IL 60301</p>	<p>16-07-218-028-1002  HARRY SUSAN MEYERS  156 N OAK PARK AVE  OAK PARK, IL 60301</p>	<p>16-07-218-028-1003  RONALD NELSON  156 N OAK PARK #1C  OAK PARK, IL 60301</p>
<p>16-07-218-028-1004  JOSEPHINE M ROWDER  156 N OAK PARK AVE 1D  OAK PARK, IL 60301</p>	<p>16-07-218-028-1005  CIMPAR INVESTMENTS LLC  1111 SUPERIOR ST #104  MELROSE PARK, IL 60160</p>	<p>16-07-218-028-1006  ALOYSIUS J BROWN III  156 N OAK PARK AV 2B  OAK PARK, IL 60301</p>
<p>16-07-218-028-1007  JANE G LLEWELLYN  156 N OAK PARK AV  OAK PARK, IL 60301</p>	<p>16-07-218-028-1008  FIELDS  156 N OAK PARK 3A  OAK PARK, IL 60301</p>	<p>16-07-218-028-1009  PATRICK R STAUNTON  156 N OAK PARK AVE  OAK PARK, IL 60301</p>
<p>16-07-218-028-1010  ANGELIKA KUEHN  156 N OAK PARK AVE 3C  OAK PARK, IL 60301</p>	<p>16-07-218-028-1011  NORMA MILLER  156 N OAK PARK AV  OAK PARK, IL 60301</p>	<p>16-07-218-028-1012  DAVID B EILERS  156 N OAK PARK AV 4B  OAK PARK, IL 60301</p>
<p>16-07-218-028-1013  BARBARA MOLINE TRUST  156 N OAK PARK AV 1E  OAK PARK, IL 60301</p>	<p>16-07-218-028-1014  ROBERT JULIE CARPENT  156 N OAK PARK 1F  OAK PARK, IL 60301</p>	<p>16-07-218-028-1015  VLADIMIR E BARISKI  156 N OAK PK AVE 1G  OAK PK, IL 60301</p>
<p>16-07-218-028-1016  CHIA FANG HOU  156 N OAK PK AVE #1H  OAK PARK, IL 60301</p>	<p>16-07-218-028-1017  JEANNE SULLIVAN  156 N OAK PARK AVE  OAK PARK, IL 60301</p>	<p>16-07-218-028-1018  GAIL JARED NOURSE  156 N OAK PARK  OAK PARK, IL 60301</p>
<p>16-07-218-028-1019  W C DAILY  156 N OAK PARK AVE 2G  OAK PARK, IL 60301</p>	<p>16-07-218-028-1020  MARY G OHARA  156 N OAK PARK AVE 2H  OAK PARK, IL 60301</p>	<p>16-07-218-028-1021  JANE BROWNLEY  156 N OAK PARK AV 3E  OAK PARK, IL 60301</p>
<p>16-07-218-028-1022  TAVIA L FRAZIER  156 N OAK PARK AVE 3F  OAK PARK, IL 60301</p>	<p>16-07-218-028-1023  DONNA O BONDI  156 N OAK PARK AV 3G  OAK PARK, IL 60301</p>	<p>16-07-218-028-1024  JAMES L DWORKIN  156 N OAK PARK AVE 3H  OAK PARK, IL 60301</p>

<p>16-07-218-028-1025  MARVIN R COHEN  156 N OAK PARK AV 2S  OAK PARK, IL 60301</p>	<p>16-07-218-028-1026  EDMUND AUSTIN  156 N OAK PARK AV 4F  OAK PARK, IL 60301</p>	<p>16-07-218-028-1027  CAITLIN HOFERT  156 N OAK PARK 4G  OAK PARK, IL 60301</p>
<p>16-07-218-028-1028  MARIA FERMI  156 N OAK PARK AV 4H  OAK PARK, IL 60301</p>	<p>16-07-218-028-1029  ROBERT W CARPENTER  156 N OAK PARK AVE #1F  OAK PARK, IL 60301</p>	<p>16-07-218-028-1030  HUGH MURPHY  156 N OAK PARK AVE 1A  OAK PARK, IL 60301</p>
<p>16-07-218-028-1031  JANE G LLEWELLYN  156 N OAK PARK AV  OAK PARK, IL 60301</p>	<p>16-07-218-028-1032  BARBARA MOLINE TRUST  156 N OAK PARK AV  OAK PARK, IL 60301</p>	<p>16-07-218-028-1033  DAVID EILERS  156 N OAK PARK AVE #4B  OAK PARK, IL 60301</p>
<p>16-07-218-028-1034  VLADIMIR E BARISKI  156 N OAK PK AVE 1G  OAK PK, IL 60301</p>	<p>16-07-218-028-1035  ALOYSIUS J BROWN III  156 N OAK PARK AV 2B  OAK PARK, IL 60301</p>	<p>16-07-218-028-1036  HUGH MURPHY  156 N OAK PARK AVE 1A  OAK PARK, IL 60301</p>
<p>16-07-218-028-1037  JOSEPHINE M ROWDER  156 N OAK PARK AVE 1D  OAK PARK, IL 60301</p>	<p>16-07-218-028-1038  NORMA MILLER  156 N OAK PARK AV  OAK PARK, IL 60301</p>	<p>16-07-218-028-1039  MARY G OHARA  156 N OAK PARK AVE 2H  OAK PARK, IL 60301</p>
<p>16-07-218-028-1040  CIMPAR INVESTMENTS LLC  1111 SUPERIOR ST #104  MELROSE PARK, IL 60160</p>	<p>16-07-218-028-1041  CHIA FANG HOU  156 N OAK PARK AV #1H  OAK PARK, IL 60301</p>	<p>16-07-218-028-1042  TAVIA L FRAZIER  156 N OAK PARKI AVE 3F  OAK PARK, IL 60301</p>
<p>16-07-218-028-1043  JOSEPHINE M ROWDER  156 N OAK PARK AV 1D  OAK PARK, IL 60301</p>	<p>16-07-218-028-1044  MARIA FERMI  156 N OAK PARK AV 4H  OAK PARK, IL 60301</p>	<p>16-07-218-028-1045  RONALD NELSON  156 N OAK PARK AVE 1C  OAK PARK, IL 60301</p>
	<p>16-07-218-029-8001  EXEMPT</p>	<p>16-07-218-029-8002  INC TASTY DOG  708 LAKE STREET  OAK PARK, IL 60301</p>

<p>16-07-219-001-0000  WILLEM F FRIESEMA  178 N EUCLID AVE  OAK PARK, IL 60302</p>	<p>16-07-219-002-0000  ROBERT KAREN DOTY  174 N EUCLID AV  OAK PARK, IL 60302</p>	<p>16-07-219-003-0000  GARRETT R GLASS  170 N EUCLID AVE  OAK PARK, IL 60302</p>
<p>16-07-219-004-0000  THOMAS PAULA OCONNOR  164 N EUCLID AV  OAK PARK, IL 60302</p>	<p>16-07-219-005-0000  CHARLES M HALEY  160 N EUCLID  OAK PARK, IL 60302</p>	<p>16-07-219-006-0000  CHARLES M HALEY  160 N EUCLID  OAK PARK, IL 60302</p>
<p>16-07-219-013-0000  LISA THORNTON  167 N LINDEN  OAK PARK, IL 60302</p>	<p>16-07-219-014-0000  A FOLLETT  163 LINDEN AVE  OAK PARK, IL 60302</p>	<p>16-07-219-015-0000  MARYANN R CUNNINGHAM  159 LINDEN AV  OAK PARK, IL 60302</p>
<p>16-07-219-016-0000  DRAGHI THOMAS  155 N LINDEN  OAK PARK, IL 60302</p>	<p>16-07-219-017-0000  STEVAN J SALINY  151 N LINDEN  OAK PARK, IL 60302</p>	<p>16-07-219-018-0000  PITUD RANGSITHIENCHAI  147 LINDEN AVE  OAK PK, IL 60302</p>
<p>16-07-219-019-0000  RYAN MUNOZ  143 LINDEN  OAK PARK, IL 60302</p>	<p>16-07-219-020-0000  KING TIM IRIS MAK  139 N LINDEN  OAK PARK, IL 60302</p>	<p>16-07-219-024-0000  JOHN KRISTEN BARNEY  126 S KENILWORTH AVE  OAK PARK, IL 60302</p>
<p>16-07-219-025-0000  CHARLES G RIPP  152 N EUCLID  OAK PARK, IL 60302</p>	<p>16-07-219-027-1001  ALEJANDRA VITI  175 LINDEN AVE APT 1  OAK PK, IL 60302</p>	<p>16-07-219-027-1002  CASSANDRA WEST  175 N LINDEN AV  OAK PARK, IL 60302</p>
<p>16-07-219-027-1003  MARTINA MUNSTERS  175 LINDEN AVE APT 3  OAK PARK, IL 60302</p>	<p>16-07-219-027-1004  DAVID WOODWARD HOUGHTO  177 N LINDEN AVE #1  OAK PARK, IL 60302</p>	<p>16-07-219-027-1005  RUSSELL J HARPER  177 LINDEN AV #2  OAK PARK, IL 60302</p>
<p>16-07-219-027-1006  ROBERT WOJTOWICZ  4430 N BEAR CANYON RD  TUCSON, AZ 85749</p>	<p>16-07-219-027-1007  R D LINDA M GLENNIE  179 N LINDEN 1  OAK PARK, IL 60302</p>	<p>16-07-219-027-1008  G PALESE T CZARNIK  179 N LINDEN #2  OAK PARK, IL 60302</p>

<p>16-07-219-027-1009  J ALLREAD P FREESE  179 N LINDEN 3  OAK PARK, IL 60302</p>	<p>16-07-219-027-1010  MARYANN CUNNINGHAM  159 LINDEN AV  OAK PARK, IL 60302</p>	<p>16-07-219-027-1011  BRIAN T DE VINCK  181 N LINDEN #2  OAK PK, IL 60302</p>
<p>16-07-219-027-1012  SIMMONS JACQUELINE  181 N LINDEN  OAK PARK, IL 60302</p>	<p>16-07-219-027-1013  JILL BUCKINGHAM  PO BOX 584  OAK PARK, IL 60303</p>	<p>16-07-219-027-1014  DOREEN CAPASSO FRIEDLE  643 W ONTARIO ST  OAK PARK, IL 60302</p>
<p>16-07-219-027-1015  MARY ROSE LAMBKE  643-3 ONTARIO  OAK PARK, IL 60302</p>	<p>16-07-219-027-1016  DEIRDRE BUCKINGHAM  645 ONTARIO ST 1  OAK PARK, IL 60302</p>	<p>16-07-219-027-1017  NATASHA B PELKA  645 ONTARIO ST UNIT 2  OAK PARK, IL 60302</p>
<p>16-07-219-027-1018  GABRIELLE H GIERTZ  645 ONTARIO #3  OAK PARK, IL 60302</p>	<p>16-07-219-027-1019  G PALESE T CZARNIK  179 N LINDEN #2  OAK PARK, IL 60302</p>	<p>16-07-219-027-1020  R D LINDA M GLENNIE  179 N LINDEN  OAK PARK, IL 60302</p>
<p>16-07-219-027-1021  MARYANN CUNNINGHAM  159 LINDEN AV  OAK PARK, IL 60302</p>	<p>16-07-219-027-1022  J ALLREAD P FREESE  179 N LINDEN 3  OAK PARK, IL 60302</p>	<p>16-07-219-027-1023  GABRIELLE H GIERTZ  645 ONTARIO #3  OAK PARK, IL 60302</p>
<p>16-07-219-027-1024  MARTINA MUNSTERS  175 LINDEN AVE APT 3  OAK PARK, IL 60302</p>	<p>16-07-219-027-1025  MARY ROSE LAMBKE  643-3 ONTARIO  OAK PARK, IL 60302</p>	<p>16-07-219-027-1026  ALEJANDRA VITI  175 LINDEN AVE APT 1  OAK PK, IL 60302</p>
	<p>16-07-219-028-1001  ROBERT RUTH NAZARETH  644 W LAKE ST 1C  OAK PARK, IL 60301</p>	<p>16-07-219-028-1002  MARY F KEATING  640 LAKE ST 1E  OAK PARK, IL 60301</p>
<p>16-07-219-028-1003  VANITA VIEGAS 1W  644 W LAKE ST  OAK PARK, IL 60301</p>	<p>16-07-219-028-1004  JUDITH FIGUROWSKI  1930 N HARLEM AV 202  ELMWOOD PARK, IL 60707</p>	<p>16-07-219-028-1005  JUDAH NAVIN REDDY  640 W LAKE ST 2E  OAK PARK, IL 60301</p>

<p>16-07-219-028-1006  LYNNE L HANNAN  644 W LAKE ST 2W  OAK PARK, IL 60301</p>	<p>16-07-219-028-1007  COLETTE VERDUN  644 LAKE ST #3C  OAK PARK, IL 60301</p>	<p>16-07-219-028-1008  IRVIN ROTH  640 LAKE ST 3E  OAK PARK, IL 60301</p>
<p>16-07-219-028-1009  JEFFREY AND DIANA BAHR  12525 KINGSFIELD LANE  BOWIE, MD 20715</p>		<p>16-07-219-029-1001  CHARLES PLANEK  140 N EUCLID AVE #201  OAK PARK, IL 60302</p>
<p>16-07-219-029-1002  JAMES GULLY  140 N EUCLID AV #202  OAK PARK, IL 60302</p>	<p>16-07-219-029-1003  CAROL WYANT  140 N EUCLID #203  OAK PARK, IL 60302</p>	<p>16-07-219-029-1004  PHYLLIS VOLK  250 E PEARSON ST 906  CHICAGO, IL 60611</p>
<p>16-07-219-029-1005  CHARLES S MANN JR  140 N EUCLID AVE 205  OAK PARK, IL 60302</p>	<p>16-07-219-029-1006  DANIEL WAADT  140 N EUCLID AVE #206  OAK PARK, IL 60302</p>	<p>16-07-219-029-1007  RUBEN MESTRIL  140 N EUCLID AV #207  OAK PARK, IL 60302</p>
<p>16-07-219-029-1008  OTTISTEAN ARRINGTON  140 N EUCLID AVE #208  OAK PARK, IL 60302</p>	<p>16-07-219-029-1009  TIMOTHY SUE BROWN  140 N EUCLID AVE 301  OAK PARK, IL 60302</p>	<p>16-07-219-029-1010  MARIANNE REINHOFER  140 N EUCLID #302  OAK PARK, IL 60302</p>
<p>16-07-219-029-1011  MICHAEL J BALOUSEK  140 N EUCLID AVE 303  OAK PARK, IL 60302</p>	<p>16-07-219-029-1012  KENNETH HEIDEL  140 N EUCLID AV #304  OAK PARK, IL 60302</p>	<p>16-07-219-029-1013  MARGARET MORGAN  140 N EUCLID #305  OAK PARK, IL 60302</p>
<p>16-07-219-029-1014  ASARIA  140 N EUCLID AVE #306  OAK PARK, IL 60302</p>	<p>16-07-219-029-1015  ROSEMARY C GODFREY  140 N EUCLID AVE #307  OAK PARK, IL 60302</p>	<p>16-07-219-029-1016  BRIAN D EINHORN  140 N EUCLID AVE #308  OAK PARK, IL 60302</p>
<p>16-07-219-029-1017  DAUGHTERS HEART MARY  140 N EUCLID AV 401  OAK PARK, IL 60302</p>	<p>16-07-219-029-1018  ELIZABETH MCGINNITY  140 N EUCLID #402  OAK PARK, IL 60302</p>	<p>16-07-219-029-1019  JANE L MCDOWELL  140 N EUCLID AVE #403  OAK PARK, IL 60302</p>

<p>16-07-219-029-1020  JEANNE RAPPEL  140 N EUCLID AVE #404  OAK PARK, IL 60302</p>		<p>16-07-219-029-1021  BRIGITTE OLTMANN  140 N EUCLID AVE 405  OAK PARK, IL 60302</p>		<p>16-07-219-029-1022  LESLIE ANN DENSTAEDT  140 N EUCLID AV #406  OAK PARK, IL 60302</p>
<p>16-07-219-029-1023  ROBERT L MESSER  140 N EUCLID #407  OAK PARK, IL 60302</p>		<p>16-07-219-029-1024  ELIZABETH S WATSON  140 N EUCLID AVE #408  OAK PARK, IL 60302</p>		<p>16-07-219-029-1025  DONALD C GANCER  140 N EUCLID UNIT 501  OAK PARK, IL 60302</p>
<p>16-07-219-029-1026  J VOJACEK  140 N EUCLID 502  OAK PARK, IL 60302</p>		<p>16-07-219-029-1027  MORROW VOJACEK MARTHA  140 N EUCLID AVE 503  OAK PARK, IL 60302</p>		<p>16-07-219-029-1028  BRUCE E BRIGELL  140 EUCLID 504  OAK PARK, IL 60302</p>
<p>16-07-219-029-1029  R REINSTEIN  140 N EUCLID 505  OAK PARK, IL 60302</p>		<p>16-07-219-029-1030  BRAD ANGLE  140 N EUCLIC AVE 506  OAK PARK, IL 60302</p>		<p>16-07-219-029-1031  JEANNE D PETRUZZELLI  140 N EUCLID #507/508  OAK PARK, IL 60302</p>
<p>16-07-220-004-0000  EXEMPT</p>		<p>16-07-224-001-0000  JAMES BUSHOUSE  120 N OAK PARK AV 100  OAK PARK, IL 60301</p>		<p>16-07-224-002-0000  J T BUILDING MGT  715 LAKE ST  OAK PARK, IL 60301</p>
<p>16-07-224-003-0000  J T BUILDING MGT  715 LAKE ST  OAK PARK, IL 60301</p>		<p>16-07-224-004-0000  J T BUILDING MGT  715 LAKE ST  OAK PARK, IL 60301</p>		<p>16-07-224-021-0000  JACK TIBBETTS  123 MADISON ST  OAK PARK, IL 60302</p>
<p>16-07-224-022-0000  US BANK FACILITY  2800 EAST LAKE ST  MINNEAPOLIS, MN 55406</p>		<p>16-07-224-023-0000  VILLAGE OF OAK PARK  123 MADISON ST  OAK PARK, IL 60302</p>		<p>16-07-224-024-0000  US BANK FACILITY MGMT  2800 EAST LAKE ST  MINNEAPOLIS, MN 55406</p>
<p>16-07-224-025-0000  VILLAGE OF OAK PARK  123 MADISON ST  OAK PARK, IL 60302</p>				<p>16-07-224-026-1001  C J GERINGER  101 N EUCLID AVE 1  OAK PK, IL 60301</p>

<p>16-07-224-026-1002 KHALED TAHA 101 N EUCLID AVE OAK PARK, IL 60301</p>	<p>16-07-224-026-1003 MARK MARGARET MILLER 101 N EUCLID AVE #5 OAK PARK, IL 60301</p>	<p>16-07-224-026-1004 THOMAS NEMCHOCK 101 N EUCLID AVE #7 OAK PARK, IL 60301</p>
<p>16-07-224-026-1005 KRISTI SAMPSON 101 N EUCLID AVE 9 OAK PARK, IL 60301</p>	<p>16-07-224-026-1006 SEAN HERRING 101 N EUCLID AVE 11 OAK PARK, IL 60301</p>	<p>16-07-224-026-1007 BYRON W JOHNSON 101 N EUCLID AV #12 OAK PARK, IL 60301</p>
<p>16-07-224-026-1008 RICK SMITH 101 N EUCLID AV 13 OAK PARK, IL 60301</p>	<p>16-07-224-026-1009 J LEE H J YOON 101 N EUCLID AVE OAK PK, IL 60301</p>	<p>16-07-224-026-1010 A NOORANI H MUSABJI 101 N EUCLID AV #15 OAK PARK, IL 60301</p>
<p>16-07-224-026-1011 DONNA BAPTISTE 101 N EUCLID AV 16 OAK PARK, IL 60301</p>	<p>16-07-224-026-1012 JOSE R DE JESUS 101 N EUCLID AV #17 OAK PARK, IL 60301</p>	<p>16-07-224-026-1013 RENE MEDINA 101 N EUCLID AVE #18 OAK PARK, IL 60301</p>
<p>16-07-224-026-1014 JOHN LAURA BILSON 101 N EUCLID AVE #19 OAK PARK, IL 60301</p>	<p>16-07-224-026-1015 JULIE M SPANBAUER 101 N EUCLID AVE 20 OAK PARK, IL 60301</p>	<p>16-07-224-026-1016 JIE YAO HUAYI HE 101 N EUCLID 21 OAK PARK, IL 60301</p>
<p>16-07-224-026-1017 VENKAT SIVARAJAN 101 N EUCLID AVE #22 OAK PARK, IL 60301</p>	<p>16-07-224-026-1018 JW BOERSMA D HOLDSTEIN 101 N EUCLID AVE#23 OAK PARK, IL 60301</p>	<p>16-07-224-026-1019 THOMAS DENISE WHENNE 101 N EUCLID #2 OAK PARK, IL 60301</p>
<p>16-07-224-026-1020 MICHAEL BALOUSEK 140 N EUCLID AVE #303 OAK PARK, IL 60302</p>	<p>16-07-224-026-1021 MICHAEL E MCCLAIN 101 N EUCLID AVE 6 OAK PARK, IL 60301</p>	<p>16-07-224-026-1022 MICHELLE PIEL 101 N EUCLID #8 OAK PARK, IL 60301</p>
<p>16-07-224-026-1023 JOHN MONAGHAN 101 N EUCLID #10 OAK PARK, IL 60301</p>	<p>16-07-224-026-1024 VISHAL NEHA BHANDARI 101 N EUCLID #25 OAK PARK, IL 60301</p>	<p>16-07-224-026-1025 LU WANG 101 N EUCLID 27 OAK PARK, IL 60301</p>



<p>16-07-224-026-1026  SHALINI MENON  101 N EUCLID AV #29  OAK PARK, IL 60301</p>	<p>16-07-224-026-1027  MICHELLE B DIAMANTE  101 N EUCLID AVE 31  OAK PARK, IL 60301</p>	<p>16-07-224-026-1028  ANNE BRADLEY  101 N EUCLID #33  OAK PARK, IL 60301</p>
<p>16-07-224-026-1029  THOMAS E LUTHER  101 N EUCLID 424  OAK PK, IL 60301</p>	<p>16-07-224-026-1030  EMAD ABBASI  101 N EUCLID AVE #26  OAK PARK, IL 60301</p>	<p>16-07-224-026-1031  DONALD ADELI  101 N EUCLID #28  OAK PARK, IL 60301</p>
<p>16-07-224-026-1032  RAVI SHVETA VIJH  308 LINDEN AV  OAK PARK, IL 60302</p>	<p>16-07-224-026-1033  A HABIS  101 N EUCLID #32  OAK PARK, IL 60301</p>	<p>16-07-224-026-1034  M L ZAANDER  101 N EUCLID AVE 34  OAK PARK, IL 60301</p>
<p>16-07-224-027-0000  CHICAGOLAND ST RETAIL  P O BOX 3666  OAK BROOK, IL 60522</p>		<p>16-07-224-028-1001  RALPH R KAZER  1 ELIZABETH COURT  OAK PARK, IL 60302</p>
<p>16-07-224-028-1002  PATRICK M WHELAN  125 N EUCLID AVE 202  OAK PARK, IL 60301</p>	<p>16-07-224-028-1003  SHERON BAUSLEY  125 N EUCLID AV #203  OAK PARK, IL 60301</p>	<p>16-07-224-028-1004  EUCLID COMMONS LLC  191 WAUKEGAN RD #202  NORTHFIELD, IL 60093</p>
<p>16-07-224-028-1005  MELANIE LUMB  1210 N EUCLID AVE #205  OAK PARK, IL 60302</p>	<p>16-07-224-028-1006  S CAHILL A SCHEIBLE  125 N EUCLID AVE #206  OAK PARK, IL 60301</p>	<p>16-07-224-028-1007  APMS  PO BOX 490554  CHICAGO, IL 60649</p>
<p>16-07-224-028-1008  ATTILA J WENINGER  768 PIONEER CT  W CHICAGO, IL 60185</p>	<p>16-07-224-028-1009  DIANA SETIAWAN  125 N EUCLID AVE 209  OAK PK, IL 60301</p>	<p>16-07-224-028-1010  RYAN EIKMEIER  125 N EUCLID AVE #301  OAK PARK, IL 60301</p>
<p>16-07-224-028-1011  CY SLIFKA JR  125 N EUCLIO AVE  OAK PARK, IL 60301</p>	<p>16-07-224-028-1012  ALEXANDER H TRUONG  125 N EUCLID AVE #303  OAK PARK, IL 60301</p>	<p>16-07-224-028-1013  MOUAFFAK BAKHOS  351 JAMESTOWN AVE  WESTMONT, IL 60559</p>

<p>16-07-224-028-1014 ERICK GONZALEZ 125 N EUCLID AVE #305 OAK PARK, IL 60301</p>	<p>16-07-224-028-1015 AMBER M HOOPER 1106 S EUCLID OAK PARK, IL 60304</p>	<p>16-07-224-028-1016 KEYA SHIAN 1132 MAGGIE LN WALNUT CREEK, CA 94597</p>
<p>16-07-224-028-1017 MARIO HORNIK 125 N EUCLID AVE 308 OAK PARK, IL 60301</p>	<p>16-07-224-028-1018 CHARLES BERRY 125 N EUCLID AVE 309 OAK PARK, IL 60301</p>	<p>16-07-224-028-1019 JOHN W MCGIVERN 125 N EUCLID AVE #401 OAK PARK, IL 60301</p>
<p>16-07-224-028-1020 EMMA A SAINT MARTIN 125 N EUCLID AVE 402 OAK PARK, IL 60301</p>	<p>16-07-224-028-1021 ROBERT DIANA 125 N EUCLID AVE 403 OAK PARK, IL 60301</p>	<p>16-07-224-028-1022 ANNA WILLIAMSON 125 N EUCLID AVE 404 OAK PARK, IL 60301</p>
<p>16-07-224-028-1023 TIFFANY MAXWELL 125 N EUCLID AVE 405 OAK PARK, IL 60301</p>	<p>16-07-224-028-1024 HOME FIRST ILLINOIS LL 1 N LASALLE ST #700 CHICAGO, IL 60602</p>	<p>16-07-224-028-1025 NICK SOLOMOS 125 N EUCLID AVE #407 OAK PARK, IL 60301</p>
<p>16-07-224-028-1026 TANYA SIENKO 125 NORTH EUCLID #408 OAK PARK, IL 60301</p>	<p>16-07-224-028-1027 DEBORAH A HOLMAN 120 N OAK PK AVE #414 OAK PARK, IL 60301</p>	<p>16-07-225-018-0000 FIAZE GEORGE ISSA 139 FRANCISCO TERR OAK PARK, IL 60302</p>
<p>16-07-225-019-0000 JONATHAN KELLY SHARP 141 FRANCISCO TERR OAK PARK, IL 60302</p>	<p>16-07-225-020-0000 T HOOVER L MARTHALER 137 FRANCISCO TERR OAK PARK, IL 60302</p>	<p>16-07-225-021-0000 DESIREE LINTZ 135 FRANCISCO TERR OAK PARK, IL 60302</p>
<p>16-07-225-022-0000 GLORIA PUENTES 133 FRANCISCO TERRACE OAK PARK, IL 60302</p>	<p>16-07-225-023-0000 LINDA BERGER 131 FRANCISCO TERR OAK PARK, IL 60302</p>	<p>16-07-225-024-0000 RAYMOND BARBOSA 129 FRANCISCO TERR OAK PARK, IL 60302</p>
<p>16-07-225-025-0000 PATRICK BAUGH 127 FRANCISCO TERR OAK PARK, IL 60302</p>	<p>16-07-225-026-0000 JOHN TROELSTRUP 125 FRANCISCO TERR OAK PARK, IL 60302</p>	<p>16-07-225-027-0000 ANN L MASUR 140 FRANCISCO TERRACE OAK PARK, IL 60302</p>

<p>16-07-225-028-0000 M V WITT 710 WILLIAMS ST RIVER FOREST, IL 60305</p>	<p>16-07-225-029-0000 DONALD COOK 136 FRANCISCO TERR OAK PARK, IL 60302</p>	<p>16-07-225-030-0000 PING HOMERIC KERUI LUO 134 FRANCISCO TERRACE OAK PARK, IL 60302</p>
<p>16-07-225-031-0000 STEPHEN L TYMA 132 FRANCISCO TER OAK PARK, IL 60302</p>	<p>16-07-225-032-0000 CATHERINE GALLOGLY 130 FRANCISCO TERR OAK PARK, IL 60302</p>	<p>16-07-225-033-0000 M B BARON 128 FRANCISCO TERRACE OAK PARK, IL 60302</p>
<p>16-07-225-034-0000 CRAIG C PUTZ 126 FRANCISCO TERRACE OAK PARK, IL 60302</p>	<p>16-07-225-035-0000 EUCLID PL HOMEOWNERS 3856 OAKTON SKOKIE, IL 60076</p>	<p>16-07-225-036-0000 EUCLID PLACE HOA 3856 OAKTON SKOKIE, IL 60076</p>
<p>16-07-225-037-0000 ANTON COLBERT 140 PERRY JULIAN SQ OAK PK, IL 60302</p>	<p>16-07-225-038-0000 ROBERT MOY 138 PERCY JULIAN SQ OAK PARK, IL 60302</p>	<p>16-07-225-039-0000 ROSALYN A FORD 136 PERCY JULIAN SQ OAK PARK, IL 60302</p>
<p>16-07-225-040-0000 HENRY M PARRISH 134 PERCY JULIAN SQ OAK PARK, IL 60302</p>	<p>16-07-225-041-0000 DANIEL FERNANDES 132 PERCY JULIAN SQ OAK PARK, IL 60302</p>	<p>16-07-225-042-0000 W CLARK DOUGLAS 130 PERCY JULIAN SQ OAK PARK, IL 60302</p>
<p>16-07-225-043-0000 SOPHY PACHONPHAI 141 WRIGHT LN OAK PARK, IL 60302</p>	<p>16-07-225-085-0000 EUCLID PLACE HOA 3856 OAKTON SKOKIE, IL 60076</p>	<p>16-07-225-089-0000 S CLEMENS J TENUTA 605 LAKE ST OAK PARK, IL 60302</p>
<p>16-07-225-092-0000 U S REIF PARK ILLINOIS 1270 SOLDIERS FIELD RD BOSTON, MA 21351</p>	<p>16-07-225-093-0000 EXEMPT</p>	<p>16-07-225-094-0000 COM ED THREE LINCOLN CTR 4TH OAKBROOK TER, IL 0</p>
<p>16-07-225-095-0000 OMAR MOLINA 115 BISHOP QUARTER LAN OAK PARK, IL 60302</p>	<p>16-07-225-096-0000 DELL SUSAN BELLILE 113 BISHOP QUARTER LN OAK PARK, IL 60302</p>	<p>16-07-225-097-0000 JAMES E HOWIE JR 111 BISHOP QUARTER LN OAK PARK, IL 60302</p>

<p>16-07-225-098-0000 LEANDREW WADE JR 109 BISHOP QUARTER LN OAK PARK, IL 60302</p>	<p>16-07-225-099-0000 JOHN LOONG 107 BISHOP QUARTER LN OAK PARK, IL 60302</p>	<p>16-07-225-100-0000 W N NEMETH P S GEARY 105 BISHOP QUARTER LN OAK PARK, IL 60302</p>
<p>16-07-225-101-0000 TAKAYOSHI MATSUDA 103 BISHOP QUARTER LN OAK PARK, IL 60302</p>	<p>16-07-225-102-0000 DOROTHEA E HINES 101 BISHOP QUARTER LN OAK PARK, IL 60302</p>	<p>16-07-225-109-0000 DIEGO PEREZ MESA 112 BISHOP QUARTER OAK PARK, IL 60302</p>
<p>16-07-225-110-0000 XIAOQUN MO YIJUN SANG 114 BISHOP QUARTER LN OAK PARK, IL 60302</p>	<p>16-07-225-111-0000 BISHOP QUARTER TNHMS P O BOX 3757 OAK PARK, IL 60303</p>	<p>16-07-225-112-0000 EXEMPT</p>
<p>16-07-306-020-0000 CTLTC CT99004063 10 S LASALLE ST #2750 CHICAGO, IL 60603</p>	<p>16-07-400-001-0000 106 PARTNERS LLC 325 S HOME AVE OAK PARK, IL 60302</p>	<p>16-07-400-002-0000 LULLO PROPERTIES LLC 721 SOUTH BLVD OAK PARK, IL 60302</p>
<p>16-07-400-004-0000 RANSOM RANSOM AGENT 711 SOUTH BLVD OAK PARK, IL 60302</p>	<p>16-07-400-025-0000 FOREST PARK NATL BANK 7348 W MADISON STREET FOREST PARK, IL 60130</p>	<p>16-07-400-026-0000 FOREST PARK NATL BANK 7348 W MADISON STREET FOREST PARK, IL 60130</p>
<p>16-07-400-030-0000 JOHN JENNIFER RUTH 101 S EUCLID AVE OAK PARK, IL 60302</p>	<p>16-07-400-031-0000 HIROSHI HASEGAWA 103 S EUCLID #A OAK PARK, IL 60302</p>	<p>16-07-400-037-0000 JOHN E CAMPBELL 101 S EUCLID AV #B OAK PARK, IL 60302</p>
<p>16-07-400-038-0000 ROBERT J KOPECKY 103B S EUCLID AVE OAK PK, IL 60302</p>	<p>16-07-401-001-0000 KIEYUL CHUNG 613 N WILLOW RD ELMHURST, IL 60126</p>	<p>16-07-401-030-1001 MARIA CARDONA 101S 653 SOUTH BOULEVARD OAK PARK, IL 60302</p>
<p>16-07-401-030-1002 KATHARINE ZOE GRAHAM 653 S BLVD #2015 OAK PARK, IL 60302</p>	<p>16-07-401-030-1003 MARY BEASLEY 1242 E MARCONI AVE PHOENIX, AZ 85022</p>	<p>16-07-401-030-1007 TEODORA AGUILAR 655 S BLVD #301 OAK PK, IL 60302</p>

<p>16-07-401-030-1009          JOEJ PEDIGO          655 SOUTH BLVD 101 N          OAK PARK, IL 60302</p>	<p>16-07-401-030-1010          BERNADETTE ZAJAC          655 S BOULEVARD #201N          OAK PARK, IL 60302</p>	<p>16-07-401-030-1011          ATHANASIOS VAGIAS          655 S BLVD 202 N          OAK PARK, IL 60302</p>
<p>16-07-401-030-1012          E H YUHASZ          107 N REINO RD #403          NEWBURY PK, CA 91320</p>	<p>OAK PARK RIVER FOREST HIGH          SCHOOL, DISTRICT 200          DR. STEVEN ISOYE,          SUPERINTENDENT          201 NORTH SCOVILLE AVENUE          OAK PARK, IL 60302</p>	<p>16-07-401-031-1001          MARK DUGO          651 SOUTH BLVD          OAK PARK, IL 60302</p>
<p>16-07-401-031-1002          IRMA PERALES          651 SOUTH BLVD #2          OAK PARK, IL 60302</p>	<p>16-07-401-031-1003          D B FLOREK          900 N GROVE AVE          OAK PARK, IL 60302</p>	<p>16-07-401-031-1004          CYNTHIA DANIELS          651 SOUTH BLVD          OAK PARK, IL 60302</p>
<p>16-07-401-031-1005          TRICIA SHAW          651 S BOULEVARD #5          OAK PARK, IL 60302</p>	<p>16-07-401-031-1006          ANTHONY T NGUYEN          651 S BLVD #6          OAK PARK, IL 60302</p>	<p>16-07-401-031-1007          MARTIN WARD A          108 W PINE ST          BOYNE, MI 49712</p>
<p>16-07-401-031-1008          MUHAMMAD SHAKUR          651 S BLVD          OAK PARK, IL 60302</p>	<p>16-07-401-031-1009          ANDREW SARA FREER          651 S BLVD #9          OAK PK, IL 60302</p>	<p>16-07-500-002-0000          RAILROAD</p>

BUSINESS	STREET NO	STREET	SUITE	SUITE NO	CITY	STATE	ZIP	OWNER LAST	OWNER FIRST
ACADEMY OF MOVEMENT & MUSIC	605	LAKE ST			OAK PARK	IL	60301	CLEMENS	STEPHANIE
THE GREAT FRAME UP	705	LAKE ST			OAK PARK	IL	60301	PARKER	PAMELA
GREAT CLIPS	707	LAKE ST			OAK PARK	IL	60301	BRYNER	TIM
JIMMY JOHN'S GOURMET SANDWICH SHOP	709	LAKE ST			OAK PARK	IL	60301	FORT JR	JEFFREY S.
STARBUCKS COFFEE # 13342	711	LAKE ST			OAK PARK	IL	60301		STARBUCKS CORPORATION
NU-FONE ANSWERING SERVICE	715	LAKE ST	STE	#100	OAK PARK	IL	60301	PLUMB	JOANNE
EILEEN BRANN SPEECH PATHOLOGY SERVICES	715	LAKE ST	STE	#102	OAK PARK	IL	60301	BRANN	EILEEN M.
OAK PARK DIAGNOSTIC	715	LAKE ST	STE	131	OAK PARK	IL	60301	SCANNICCHIO DDS	LOUIS
WEST SUBURBAN MIDWIFE ASSOCIATES	715	LAKE ST	STE	#273	OAK PARK	IL	60301	RIEDMANN	GAYLE L.
A STILL PLACE	715	LAKE ST	STE	#308	OAK PARK	IL	60301	HESS	NANCY V.
AFFILIATED DIALYSIS CENTERS	715	LAKE ST	STE	#318	OAK PARK	IL	60301	ANLIKER	CURT
T J COMO LCSW	715	LAKE ST			OAK PARK	IL	60301		
VAN DYKE COMMUNICATIONS	715	LAKE ST	STE	506	OAK PARK	IL	60301	LEONARD	BEATRICE R.
CARING MEDICAL & REHAB	715	LAKE ST	FL	6 & 7	OAK PARK	IL	60301	HAUSER	ROSS A.
RELAXATION PLANTATION	715	LAKE ST	STE	#706	OAK PARK	IL	60301	DONAT	MICHELLE M.
PSYCHIATRY SERVICES	715	LAKE ST			OAK PARK	IL	60301	HULCHER MD	JULIA M.
THE EYEGLASS SHOP	715	LAKE ST			OAK PARK	IL	60301	SPOURDALAKIS	DOROTHY M.
PRIME 1 HOUR CLEANERS	723	LAKE ST			OAK PARK	IL	60301	SUH	JAMES
PATRICIA K HUTH PHD	720	LAKE ST	STE	202	OAK PARK	IL	60301	HUTH	PATRICIA K.
JOHN P SAHAGIAN DDS MPH	720	LAKE ST			OAK PARK	IL	60301		
INTERNET EMPLOYMENT LINKAGE	715	LAKE ST	STE	#400	OAK PARK	IL	60301	HIBEL	ANDREW W.
THE IRISH SHOP	100	N OAK PARK AVE			OAK PARK	IL	60301	AUGUST	ANNE
GLOOR REALTY	114	N OAK PARK AVE			OAK PARK	IL	60301	GLOOR	A. RICHARD
NORA'S SHOE SHOP	103	N OAK PARK AVE			OAK PARK	IL	60302	BRENNAN	NORA TERESE
ERIKS DELICATESSEN	107	N OAK PARK AVE			OAK PARK	IL	60301	BHATIA	AJAY AJIT
GEPPETTO'S RESTAURANT	113	N OAK PARK AVE			OAK PARK	IL	60301	VACHENKO	OLEG
ANTONIO'S SHOE CLINIC	115	N OAK PARK AVE	LOWR		OAK PARK	IL	60301	MUNOZ	JUAN ANTONIO
THE IMAGE STUDIO	115	N OAK PARK AVE	STE	#310	OAK PARK	IL	60301	RAINES	RENEE
SCOVILLE SQUARE ASSOC/ MORLEN REALTY CORP	137	N OAK PARK AVE	STE	#406	OAK PARK	IL	60301	MORLEN REALTY CORP	SCOVILLE SQUARE ASSOC/
KUIMON MATH & READING	137	N OAK PARK AVE	STE	#125	OAK PARK	IL	60302	HIRA	VIJAY V.
AVENUE NAIL SPA	129	N OAK PARK AVE			OAK PARK	IL	60301	SHAN	SHAN
FILONI	131	N OAK PARK AVE			OAK PARK	IL	60301	FILONI	SHARI
THE MAGIC TREE BOOKSTORE	141	N OAK PARK AVE			OAK PARK	IL	60301	JOSEPH	ROSE
WINBERIE'S	151	N OAK PARK AVE			OAK PARK	IL	60301		SELECT RESTAURANTS INC
D R TRAVIS PC, INC.	137	N OAK PARK AVE	STE	#101	OAK PARK	IL	60301	TRAVIS	DANA R.
LINDAMOOD-BELL LEARNING PROCESS	137	N OAK PARK AVE	STE	#212	OAK PARK	IL	60301	LINDAMOOD	PHYLIS
RAPID SERVER RECOVERY LLC	137	N OAK PARK AVE	STE	#315	OAK PARK	IL	60301	DEGRADI	LOUIE
THE LANGUAGE AND MUSIC SCHOOL	150	N OAK PARK AVE			OAK PARK	IL	60301	FERMI	MARIA
GEPPETTO'S TOY BOX	730 - 732	LAKE ST	SPC	730 - 732	OAK PARK	IL	60301	MASONCUP	ERIC M.
NOVO	734	LAKE ST			OAK PARK	IL	60301	KHOSLA	VISHAL
HEMMINGWAY'S BISTRO	211	N OAK PARK AVE			OAK PARK	IL	60302	ALA	LUCIA
THE WRITE INN	211	N OAK PARK AVE			OAK PARK	IL	60301		THE WRITE PEOPLE LTD
A BRUSH OF ART DENTAL	715	LAKE ST	STE	300	OAK PARK	IL	60301	LOPEZ	EDWARD D.
RED HEN BREAD	736	LAKE ST			OAK PARK	IL	60301	PICCHIETTI	ROBERT
OFFICE SPACE INC	137	N OAK PARK AVE	STE	#220	OAK PARK	IL	60301	BUELOW	MICHELLE A

PARTSCRIPTION	137	N OAK PARK AVE	STE	#214	OAK PARK	IL	60301	PRICE	KEVIN ALLEN
L2 MANAGEMENT LLC	137	N OAK PARK AVE	STE	#310	OAK PARK	IL	60301	LUCCI	JAMES
BEST VACUUM	148	N OAK PARK AVE			OAK PARK	IL	60301	DAVIS	MARK
OAK PARK HOME & HARDWARE INC	137	N OAK PARK AVE	STE	#115	OAK PARK	IL	60301	GALLI JR	JOSEPH
MONARCH'S HEAVEN	137	N OAK PARK AVE	STE	#115	OAK PARK	IL	60301	BLUM	KEN H
PRYOR TAX & ACCOUNTING SERVICE	715	LAKE ST	STE	#810	OAK PARK	IL	60301	PRYOR	AAMED J.
SPIRIT CULTURAL EXCHANGE	137	N OAK PARK AVE	STE	#304	OAK PARK	IL	60301	GAULT	KATHLEEN ANNE
PHYLLIS B. RUBIN CCC-SLP PSYD	715	LAKE ST	STE	#720	OAK PARK	IL	60301	RUBIN	PHYLLIS B.
SHARON BLACK LCPC	715	LAKE ST	STE	#410	OAK PARK	IL	60301	BLACK	SHARON
LAW OFFICE VALARIE P. FRANKLIN	715	LAKE ST	STE	#520	OAK PARK	IL	60301	FRANKLIN	VALARIE P
DINA B ROSS LAW OFFICES	715	LAKE ST	STE	#408	OAK PARK	IL	60301	ROSS	DINA
THE GREEN MEDICAL PRACTICE	715	LAKE ST	STE	#302	OAK PARK	IL	60301	SCHATTAUER MD	PAUL CHRISTEN
SARA SCHMITZ LCSW	715	LAKE ST	STE	#310	OAK PARK	IL	60301	SCHMITZ	SARA L
VINCE MURPHY LCSW CADC	715	LAKE ST	STE	#510	OAK PARK	IL	60301	MURPHY	VINCE
THOMAS J COMO MSW	715	LAKE ST	STE	#516	OAK PARK	IL	60301	COMO	THOMAS J
EMERSON LAW FIRM LLC	715	LAKE ST	STE	#420	OAK PARK	IL	60301	EMERSON	SANDRA M
SUBURBAN RETINA LTD	715	LAKE ST	STE	#120	OAK PARK	IL	60301	VIERLING MD	SUSAN G
SHED RAIN	715	LAKE ST	STE	#269	OAK PARK	IL	60301	BLAUER	STANLEY R
EDWIN L FELD & ASSOCIATES LLC	715	LAKE ST	STE	#519	OAK PARK	IL	60301	FELD	EDWIN L
BIOMEDICAL-CONCEPTS.COM	715	LAKE ST	STE	#500	OAK PARK	IL	60301	BEDROSSION	CARLOS
DANUTA JIRIK PH.D	715	LAKE ST	STE	#808	OAK PARK	IL	60301	JIRIK	DANUTA
LOLA'S CANTINA AND GRILL	722	LAKE ST			OAK PARK	IL	60302	MEDINA	SANDRA C
YUKIKO SHIRAIISHI PH.D	715	LAKE ST	STE	#807	OAK PARK	IL	60301	SHIRAIISHI	YUKIKO
ELECTROLYSIS BY KELLY INC	715	LAKE ST	STE	#416	OAK PARK	IL	60301	MORRISSY	KELLY
JINGISH	715	LAKE ST	STE	#274	OAK PARK	IL	60301	TADER	DIANE MARIE
VIGILANZ CORPORATION	137	N OAK PARK AVE	STE	#329	OAK PARK	IL	60301		VIGILANZ CORPORATION
SAGANO SUSHI	731	LAKE ST			OAK PARK	IL	60301	CHAISRI	NOPARATANA
NEW POT RESTAURANT	727	LAKE ST			OAK PARK	IL	60301	NUNTARACH	ITTHIPON
TOTAL COORDINATION PROFESSIONALS INC	137	N OAK PARK AVE	STE	#230	OAK PARK	IL	60302	BRAZELTON	LISA MARIE
SUSAN O'NEAL ATTORNEY AT LAW	715	LAKE ST	STE	#510	OAK PARK	IL	60301	O'NEAL	SUSAN
FLAT TOP GRILL	726	LAKE ST			OAK PARK	IL	60301	PAK	DOUG SEUNG
AGORA BISTRO	728	LAKE ST			OAK PARK	IL	60301	RAKES	WILLIAM PAUL
MCCAMMON-CHASE TOTAL WELLNESS INC	720	LAKE ST	STE	#101	OAK PARK	IL	60301	MCCAMMON-CHASE	NATHALIE DENISE
SPRUCE FOR LIFE	137	N OAK PARK AVE	STE	#320	OAK PARK	IL	60301	SWANSON	ARDEN
DIGITAL DESIGN LAB	137	N OAK PARK AVE	STE	#209	OAK PARK	IL	60301	RIORDAN	MICHAEL
ETHAN ISRAELSOHN LCSW LLC	715	LAKE ST	STE	#710	OAK PARK	IL	60301	ISRAELSOHN	ETHAN
LIVE FRESKO	136	N OAK PARK AVE			OAK PARK	IL	60301	KARAMANIS	GUS
LIVE WHAT YOU LOVE LLC	137	N OAK PARK AVE	STE	#242	OAK PARK	IL	60301	PAGE	KELLY
EDWARD JONES	137	N OAK PARK AVE	STE	#111	OAK PARK	IL	60301	EDJ HOLDING CO.,INC.	EDJ HOLDING CO.,INC.
MAMA TRIBES	715	LAKE ST	STE	#271	OAK PARK	IL	60301	BALLANTINE	CORAZON A.
ALLEY CAT DECOR & DESIGN COLLECTIVE, LLC	715	LAKE ST	STE	#110	OAK PARK	IL	60301	NOHUETY	JEANNE MARIE
CHICAGO FAMILY DOULAS, LLC	715	LAKE ST	STE	#200	OAK PARK	IL	60301	RODNEY	ANNAMARIE
FARMERS INSURANCE ESTHER L. GRACHAN	137	N OAK PARK AVE	STE	#101E	OAK PARK	IL	60301	GRACHAN	ESTHER L.
WEST SUBURBAN PAIN RELIEF CENTERS	715	LAKE ST	STE	#900	OAK PARK	IL	60301	ROGERS	JANET
KINDERMUSIK WITH PAT	137	N OAK PARK AVE	STE	#107	OAK PARK	IL	60302	LARSON	PATRICIA PERRY
DANIELLE PRINCIPATO, PSY. D.	715	LAKE ST	STE	#716	OAK PARK	IL	60301	PRINCIPATO, PSY. D.	DANIELLE



DISTRICT HOUSE

**SECTION 9.  
RESTRICTIONS & COVENANTS (SEE ALSO EXHIBIT 1.3)**

**EXHIBIT 9.1: SCHEDULE B, TITLE REPORT ISSUED BY STEWART TITLE GUARANTY COMPANY**

- Schedule B, Title Report Issued by Stewart Title Guaranty Company (dated April 27, 2016)



**COMMITMENT FOR TITLE INSURANCE**

**SCHEDULE B**

**Requirements**

File No.: 153226044T

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company (all clauses, if any, which indicate any preference, limitation or discrimination based on race, color, religion or national origin are omitted from all building and use restrictions, covenants and conditions, if any, shown herein):

A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

**B. Standard Exceptions**

1. Rights or claims of parties in possession not shown by the public records
2. Easements, or claims of easements, not shown by the public records
3. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Taxes or special assessments which are not shown as existing liens by the public records

**C. Special Exceptions**

General real estate taxes for the year(s) 2014, 2015 and subsequent years.

Permanent Index Number: 16-07-218-029-8001 (Volume number 141) (Affects Parcel )

Note: The first estimated installment of the 2014 taxes in the amount of \$0.00.

Note: The second final installment of the 2014 taxes in the amount of \$0.00.

Note: The taxes for the year(s) 2015 are not yet due and payable.

General real estate taxes for the year(s) 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015 and subsequent years.

Permanent Index Number: 16-07-218-029-8002 (Volume number 141) (Affects Parcel 1)

Note: The first estimated installment of the 2014 taxes in the amount of \$11,758.56 is due March 3, 2015 and is not posted paid.

Note: The second final installment of the 2014 taxes in the amount of \$10,255.34 is due August 3rd, 2015 and is not posted paid.

Note: The first estimated installment of the 2015 taxes in the amount of \$12,107.65 is due March 1, 2016 and is not posted paid.

Note: The 2013 taxes in the amount of \$21,379.20 is shown as an open item.

Note: The 2012 taxes in the amount of \$21,372.36 is shown as an open item.

Note: The 2011 taxes in the amount of \$20,590.07 is shown as an open item.

Note: The 2010 taxes in the amount of \$21,295.94 is shown as an open item.

Note: The 2009 taxes in the amount of \$20,363.38 is shown as an open item.

Note: The 2008 taxes in the amount of \$9,029.26 is shown as an open item.

Note: The 2007 taxes in the amount of \$19,185.01 is shown as an open item.

Note: The 2006 taxes in the amount of \$18,686.48 is shown as an open item.

Note: The 2005 taxes in the amount of \$18,214.75 is shown as an open item.

Note: The 2004 taxes in the amount of \$19,565.99 is shown as an open item.

Note: The 2003 taxes in the amount of \$3,377.08 is shown as an open item.

2. We find no open mortgage of record if this is not the case we should be notified.

3. Right-of Entry recorded as Document Number 00824646.

( Affects Parcel 1 )

4. Use and Operation Restrictions and the terms, provisions and covenants contained in the Deed recorded as Document Number 00824645.

( Affects Parcel 1 )

5. Environmental Disclosure Document for Transfer of Real Property recorded as Document Number 00824644.

( Affects Parcel 1 )

6. Terms and provisions of Redevelopment Agreement recorded as Document Number 0010108709.

( Affects Parcel 1 )

7. No Further Remediation Letter recorded May 9, 2001 as Document Number 0010387405.

( Affects Parcel 1 )

8. Existing unrecorded leases, if any.

9. Any lien, or right to a lien in favor of the property manager employed to manage the land.

Note: We should be furnished either (a) an Affidavit from the owner indicating that there is no property manager employed to manage the land, or, (b) a Final Lien waiver from the property manager acting on behalf of the owner.

10. Note: Your attention is directed to Illinois Statute 765 ILCS 77/70 (SB1167), which requires either a Certificate of Exemption or a Certificate of Compliance in order for mortgages to be recorded in Cook, Will, Kane & Peoria Counties. The County Recorder will not record any mortgage unless the same has a Certificate of Compliance or Exemption attached thereto. Will, Kane & Peoria Counties will be effected for any settlement services on and after July 1st of 2010.

-- Stewart Title will charge a \$75.00 SB1167 certificate Processing Fee.

11. NOTE: The following 24 month chain of title is shown for informational purposes only and not the purpose of insuring: (A) Title to the estate or interest shown in Schedule A was acquired by Special Warranty Deed dated 06-07-2001 and recorded 06-14-2001 as document number 0010519735 from Chitown Development, LTD., to Village of Oak Park; (B) There have been no other conveyances in the past 24 months.

( Affects Parcel 1 )

12. "NOTE: Lincoln Title is an authorized agent of Stewart Guaranty Company.

NOTE: All changes to the title need to be submitted via fax at (312) 782-5905 or email at [info@lincolntitlecompany.com](mailto:info@lincolntitlecompany.com).

NOTE: All Closings will take place at Stewart Title Company of Illinois. To find out the location of your closing please call Closing Services at (630) 889-4000 or email Closing Services at [stcilcustomerservice@stewart.com](mailto:stcilcustomerservice@stewart.com). Please fax figures to the closing location or email to [loandocs@stcil.net](mailto:loandocs@stcil.net).

NOTE: To order a Closing Protection Letter or Insured Closing Letter please fax your request to Stewart Title of Illinois at (630) 629-7565 or email your request to [stcilcustomerservice@stewart.com](mailto:stcilcustomerservice@stewart.com). Please include full lender name, address, phone, fax and contact name.

NOTE: For Frequently Asked Questions Please Go To: [www.lincolntitlecompany.com](http://www.lincolntitlecompany.com)"

13. The State of Illinois has enacted legislation that amends the Title Insurance Act (215 ILCS 155/ et al) to require that all parties of residential transactions, and non-residential real estate transactions of under \$2,000,000.00, to receive Closing Protection Letters.

Rule-making promulgated in connection with the legislation, establishes minimum charges for the issuance of the Closing Protection Letters, as follows:

For all refinance transaction these charges will apply:  
Lender(s) - \$25.00; Borrower - \$50.00  
For all purchase transactions these charges will apply:  
Lender(s) - \$25.00; Buyer - \$25.00; Seller - \$50.00.

This legislation is effective January 1, 2011. The charges mentioned above will apply to all transactions scheduled to close after December 31, 2010.

14. The present marital status of all persons shown on Schedule "A" herein must be disclosed in any subsequent deed of conveyance and/or any mortgage we are asked to insure, and their spouses, if any, must join in the execution of said instruments in order to properly release any homestead estate.

15. NOTE FOR INFORMATION: Effective August 1, 2005 every County Recorder in the State of Illinois will be required to charge a \$10.00 surcharge, in addition to standard recording fees, for EVERY document being recorded. This is a statewide surcharge that will be used to fund grants from the Illinois Housing Development Authority under the Rental Housing Support Program Act (30 ILCS 105/5.640). This fee can/will be included in the recording fee.

16. NOTE: By Oak Park municipal ordinance a transfer tax has been imposed up the sale or conveyance of real property within the municipality. Therefore all deeds presented to the Company for recording must have the appropriate Transfer Tax Stamps affixed thereof, or be marked "Exempt" by the municipality.

\*\*\*\*\*Customer Information\*\*\*\*\*

As of July 19, 1995, pursuant to Bill, Public Act 87-1197, all documents recorded within the State of Illinois must meet the following requirements:

\*\*The document shall consist of one or more individual sheets measuring 8.5 inches by 11 inches, not permanently bound and not a continuous form. Graphic displays accompanying a document to be recorded that measures up to 11 inches by 17 inches shall be recorded without charging an additional fee;

\*\*The document shall be legibly printed in black ink, by hand, typewritten or computer generated, in at least 10 point type. Signatures and dates may be in contrasting colors as long as they will reproduce clearly;

\*\*The document shall be on white paper of not less than 20 pound weight and have a clean margin of at least 1/2 inch on the top, bottom and each side. Margins may be used only for non-essential notations which will not affect the validity of the document, including but not limited to form numbers, page numbers, and customer notations;

\*\*The first page shall contain a blank space in the upper right hand corner measuring at least 3 inches by 5 inches;

\*\*The document shall not have any attachment stapled, taped or otherwise affixed to any page.

Note: The recorders offices throughout the State of Illinois will accept all documents for recordation. Those that do not meet the requirements of the Bill will cost double the recording fee to record."

FOR INFORMATIONAL PURPOSES: The loan policy, when issued, will contain the following:

Comprehensive Endorsement

EPA Endorsement



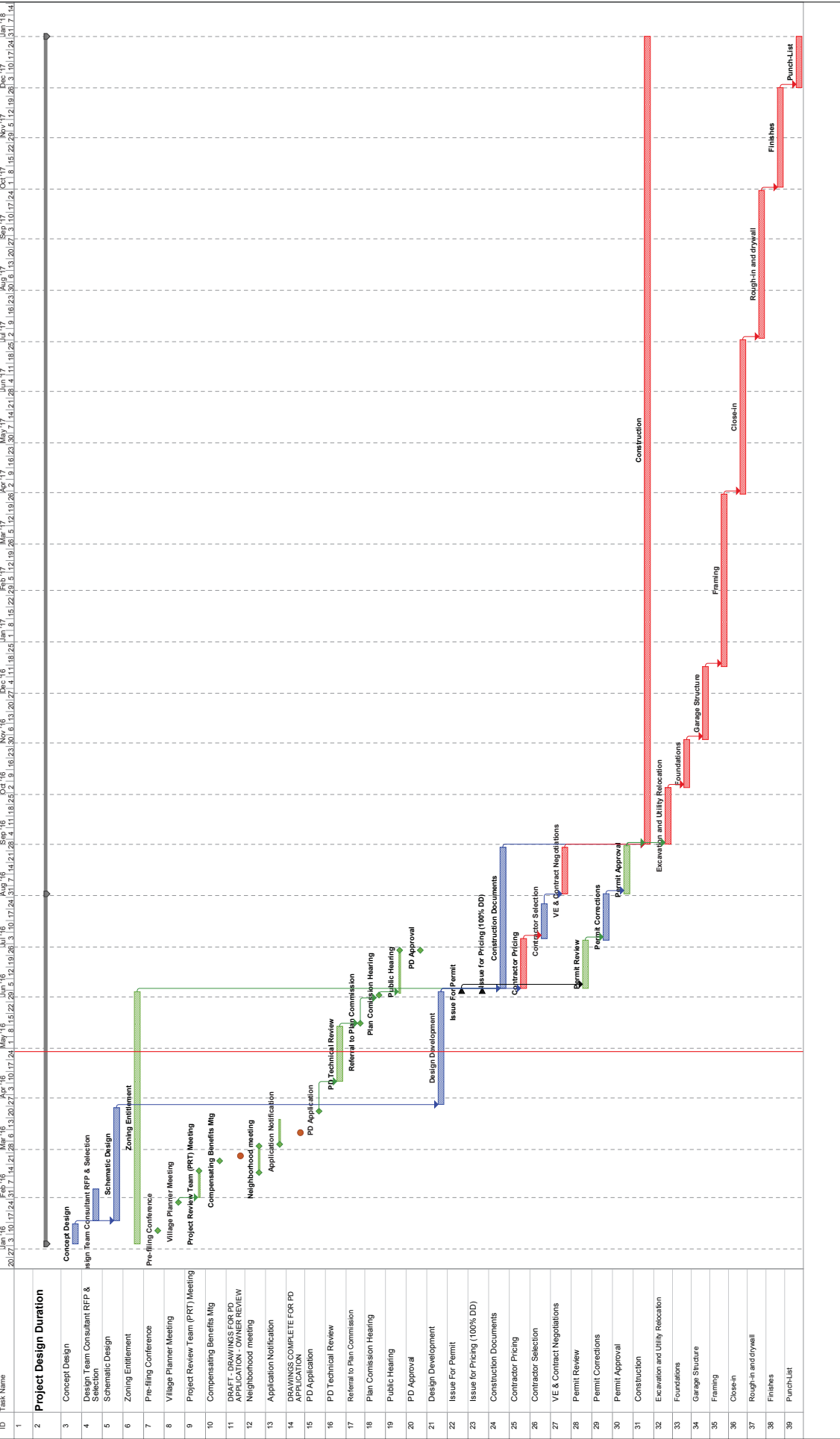
**SECTION 10.  
CONSTRUCTION SCHEDULE**

**EXHIBIT 10.1: CONSTRUCTION SCHEDULE**

A schedule of development showing approximate timelines for commencement and completion of each stage of construction can be found in Exhibit 10.1. The schedule is contingent on Village of Oak Park approvals.

A communication plan and point of contact will be finalized once a General Contractor is selected. That plan will be posted at the Project site.

- Exhibit 10.1: Construction Schedule



ID	Task Name	Jan '16	Feb '16	Mar '16	Apr '16	May '16	Jun '16	Jul '16	Aug '16	Sep '16	Oct '16	Nov '16	Dec '16	Jan '17	Feb '17	Mar '17	Apr '17	May '17	Jun '17	Jul '17	Aug '17	Sep '17	Oct '17	Nov '17	Dec '17	Jan '18
1	Concept Design																									
2	Design Team Consultant RFP & Selection																									
3	Schematic Design																									
4	Zoning Entitlement																									
5	Pre-filing Conference																									
6	Village Planner Meeting																									
7	Project Review Team (PRT) Meeting																									
8	Compensating Benefits Mtg																									
9	Neighborhood meeting																									
10	Application Notification																									
11	PD Application																									
12	PD Technical Review																									
13	Referal to Plan Commission																									
14	Plan Commission Hearing																									
15	Public Hearing																									
16	PD Approval																									
17	Design Development																									
18	Issue For Permit																									
19	Issue for Pricing (100% DD)																									
20	Construction Documents																									
21	Contractor Pricing																									
22	Contractor Selection																									
23	VE & Contract Negotiations																									
24	Permit Review																									
25	Permit Corrections																									
26	Permit Approval																									
27	Excavation and Utility Relocation																									
28	Foundations																									
29	Garage Structure																									
30	Framing																									
31	Close-in																									
32	Rough-in and drywall																									
33	Finishes																									
34	Punch-List																									



## **SECTION 11. CONSTRUCTION TRAFFIC SCHEDULE**

### **EXHIBIT 11.1: CONSTRUCTION TRAFFIC SCHEDULE**

A construction traffic and parking schedule indicating the location for the parking of construction vehicles and the anticipated route of construction vehicles is enclosed (see Exhibit 11.1) and will be posted at the site. The General Contractor and sub-contractors will park off-site vehicles at the public parking garage approximately one block away. Construction deliveries are anticipated on Lake Street, limiting construction-related traffic on Euclid Avenue in an effort to minimize impact on the surrounding residential neighborhood.

A communication plan and point of contact will be finalized once a General Contractor is selected. That plan will be posted at the Project site.

- Exhibit 11.1: Construction Traffic Schedule









DISTRICT HOUSE

**SECTION 12.  
MARKET FEASIBILITY REPORT**

**EXHIBIT 12.1: CBRE, INC. MARKET STUDY**

Phillip Golding  
Vice President

321 North Clark Street  
34<sup>th</sup> Floor  
Chicago, IL 60654

CBRE, Inc.  
Urban Retail Brokerage

T 312 338 2045  
F 312 297 7696

[www.cbre.com](http://www.cbre.com)

January 25, 2016

RE: 708 Lake Street, Oak Park, IL

Enclosed please find:

- Q4 2015 CBRE Retail Market Overview
- Q4 2015 CBRE Retail Marketview
- Q4 2015 CBRE Retail Statistics
- Q4 2015 CBRE Metro Retail Stat Map

Market Outlook:

The village of Oak Park falls into the 'West Suburbs' submarket. The West Suburbs retail submarket has the lowest vacancy outside of the city of Chicago at a mere 4.4%. Additionally, it is one of only four submarkets averaging over \$20.00 in average rent per square foot.

Given the saturation of national retailers and an abundance of dining and entertainment options, Oak Park is a very strong suburban retail market. In addition, the walkable, family friendly community separates this trade area from others.

708 Lake Street Development

With approximately 4,500 square feet of retail space for a single or multiple user, 708 Lake Street will be a positive addition to the Oak Park retail submarket. We believe we can achieve robust market rents (\$35.00-\$45.00 per square foot) and attract the highest quality tenants given the high-end design aesthetic and demand in the market.

Starbucks:

Starbucks currently has an undersized store on Lake Street in Oak Park. Albeit successful, this existing store would benefit from additional seating – both indoor and outdoor – as well as on-site, management parking. We feel as though the 708 Lake

Phillip Golding  
Vice President

321 North Clark Street  
34<sup>th</sup> Floor  
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[www.cbre.com](http://www.cbre.com)

development provides Starbucks with a clear relocation option and we feel good about the chances of bringing them across the street.

Conclusions:

708 Lake has the ability to add a high-end retail to a strong retail submarket. We look forward to strengthening the retail core in Oak Park

Sincerely,



Phillip Golding  
Vice President  
CBRE, Inc.

# RETAIL MARKET OVERVIEW

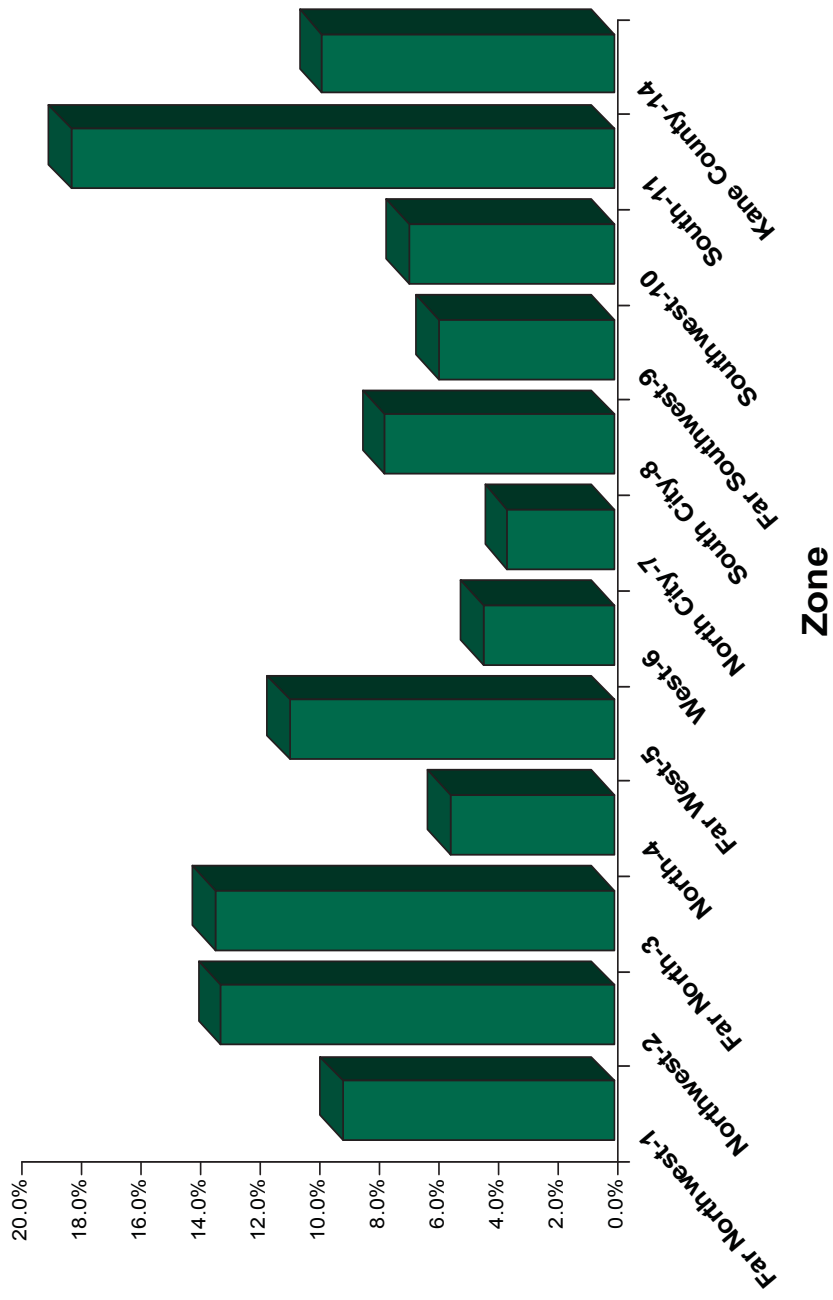
## 4<sup>th</sup> Quarter 2015

**CBRE**



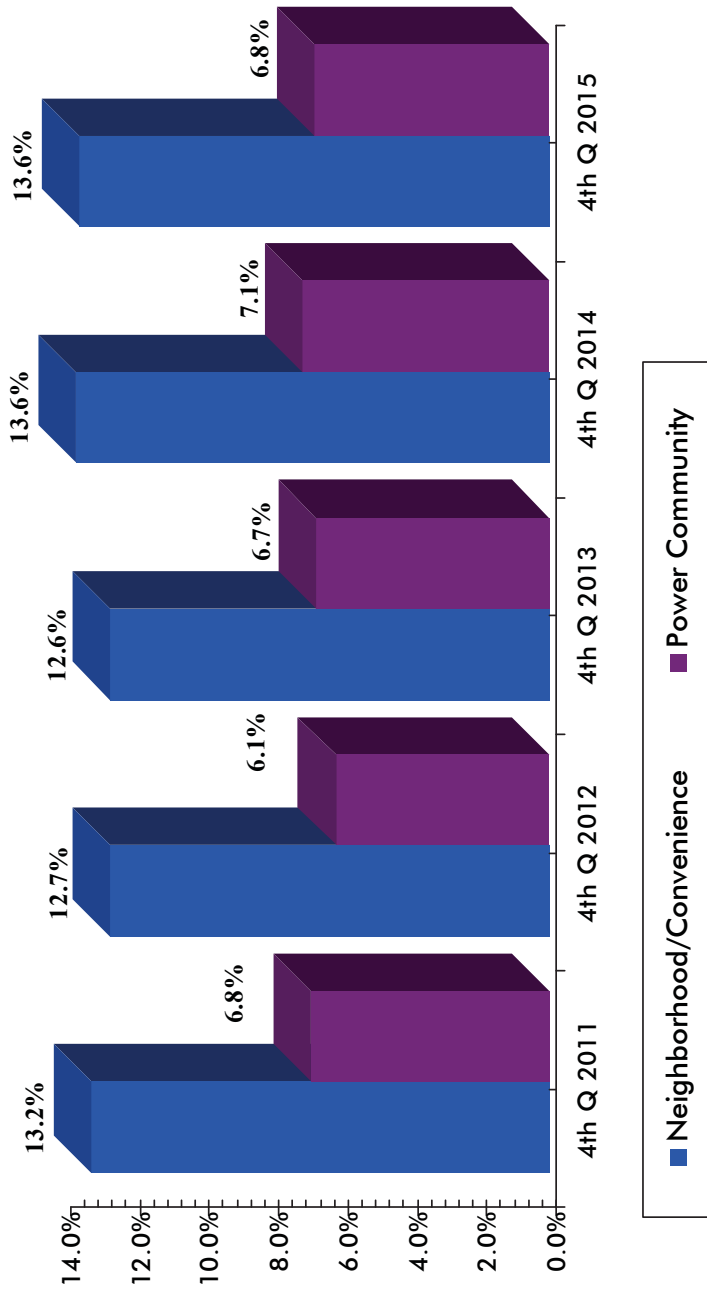
# Retail Vacancy Index By Zone

4th Quarter 2015



# Historical Vacancy Index

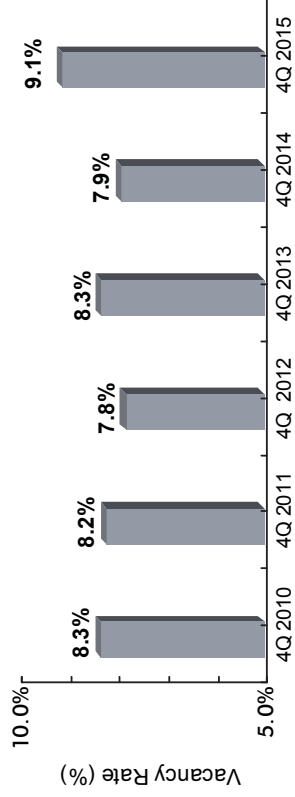
## Chicago Metropolitan Region



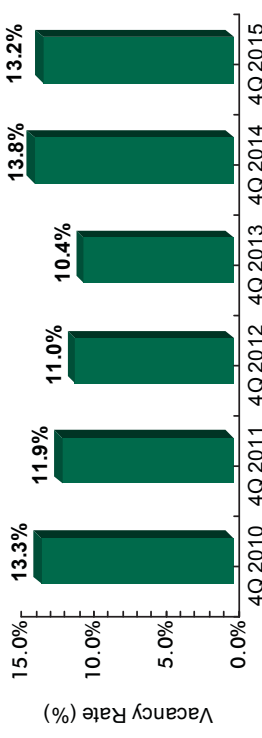
# Historical Vacancy Index

## Zones 1, 2, 3 and 4

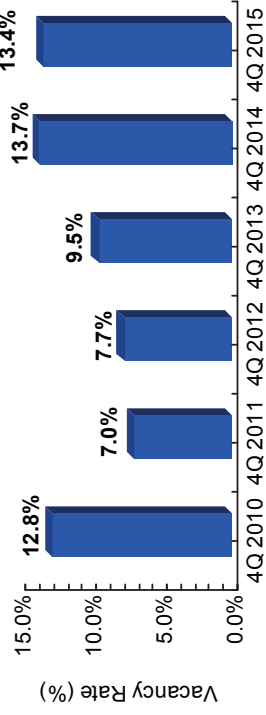
Zone 1 - Far Northwest Suburbs



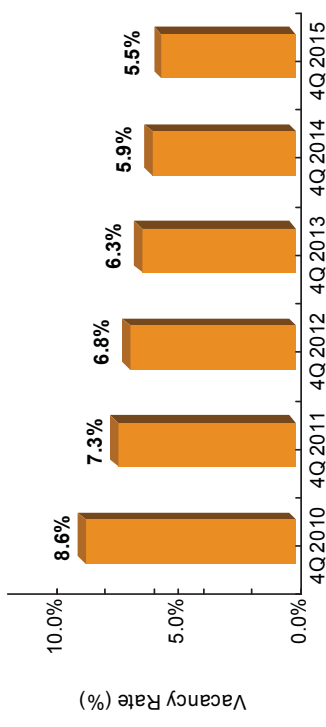
Zone 2 - Northwest Suburbs



Zone 3 - Far North Suburbs



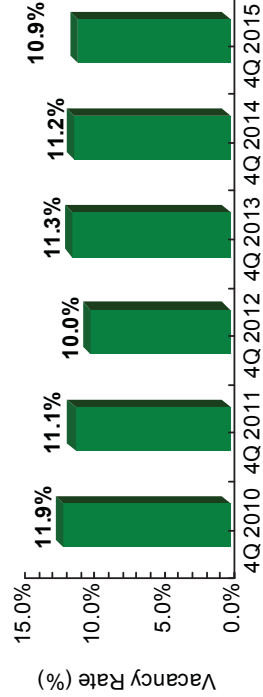
Zone 4 - North Suburbs



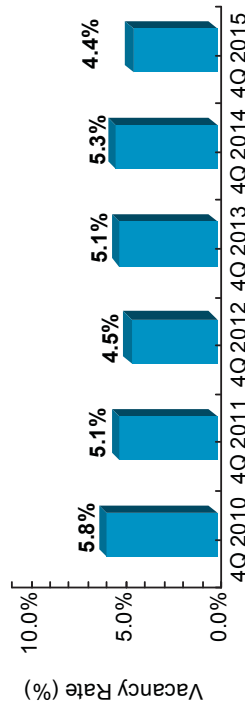
# Historical Vacancy Index

## Zones 5, 6, 7 and 8

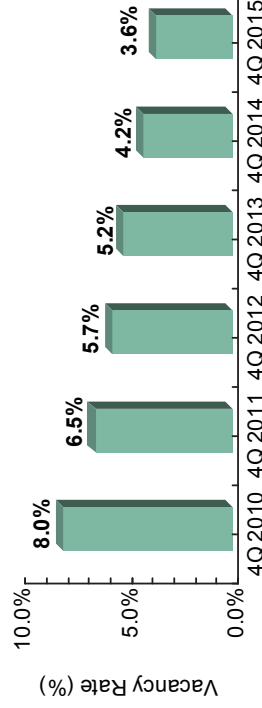
Zone 5 - Far West Suburbs



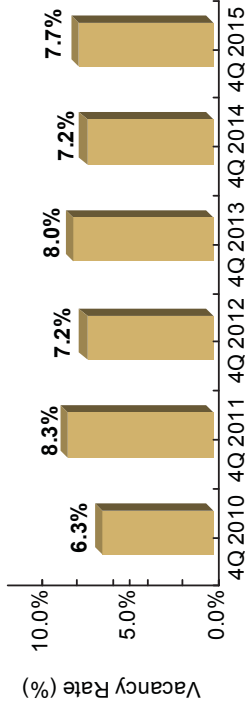
Zone 6 - West Suburbs



Zone 7 - City North



Zone 8 - City South





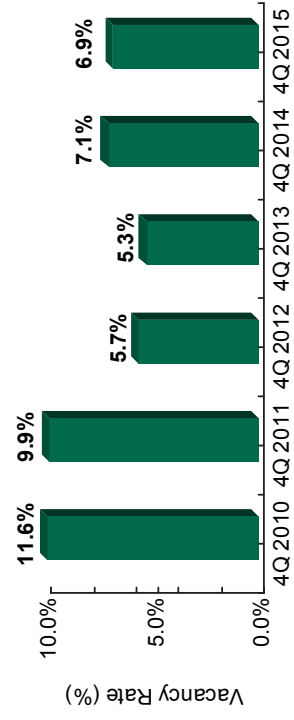
# Historical Vacancy Index

## Zones 9, 10, 11 and 14

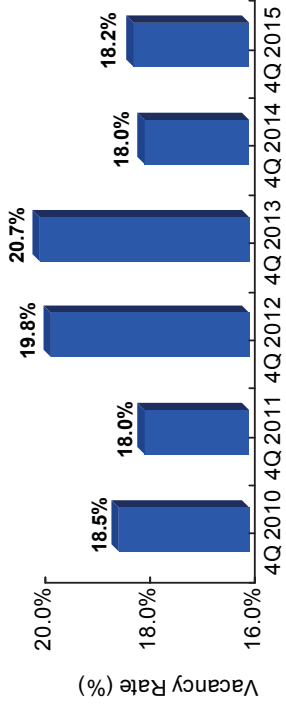
Zone 9 - Far Southwest Suburbs



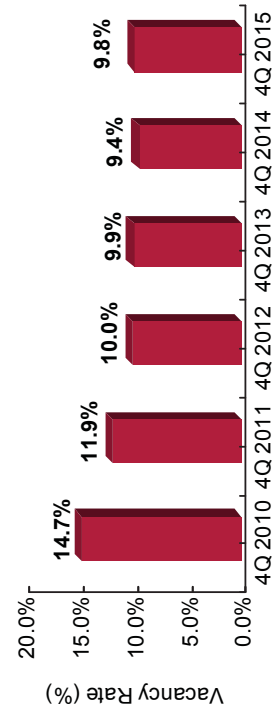
Zone 10 - Southwest Suburbs



Zone 11 - South Suburbs



Zone 14 - Kane County



Chicago Retail, Q4 2015

# 2015 ends on a positive note with rents continuing their climb

Vacancy Rate **9.3%**

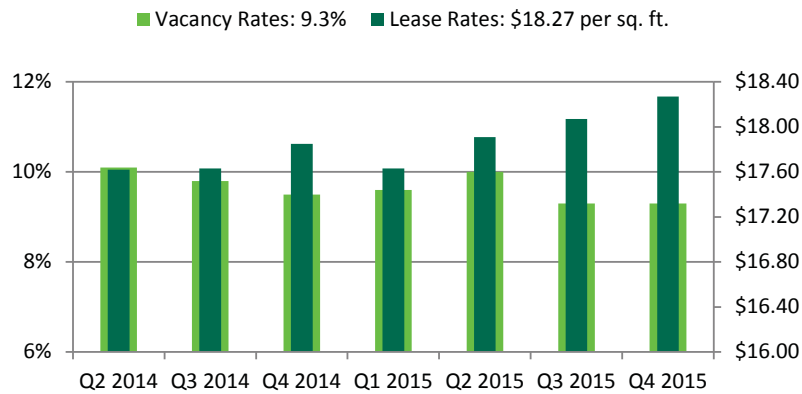
Lease Rate **\$18.27 PSF**

Neighborhood Vacancy **13.6%**

Power/Community Vacancy **6.8%**

\*Arrows indicate change from previous quarter.

Figure 1: Direct Vacancy Rate and Lease Rate



Source: CBRE Research, Q4 2015.

**MARKET OVERVIEW**

**RETAIL SALES ARE UP 3% FROM ONE YEAR AGO**

- Retail sales for November excluding automobiles, gasoline and restaurants were up 0.5% over October and 3% from a year ago.
- Nationally, the retail industry added 22,300 jobs in November.
- First half of holiday season shows solid growth in sales.
- Online sales show no sign of slowing down.

Q4 2015 showed positive activity with the vacancy slightly decreasing and rents climbing upward to \$18.27 net per sq. ft.. At this time last year, the Chicago retail market vacancy rate was 20 basis points (bps) higher at 9.5% and the net asking lease rates were lower at \$17.85.

**MARKET OVERVIEW CONT'D**

According to the National Retail Federation, (NRF) it appears holiday shoppers in November were out in full force. Retail sales for November excluding automobiles, gasoline and restaurants were up 0.5% over October and 3% from a year ago, a welcome increase, but less impressive than expected.

As for the entire holiday shopping season, the results were undeniable: brick-and-mortar retailers still dominated the season. The shopping season was driven by stores open longer along with higher online traffic.

Online shopping rose to \$83 billion. Cyber Monday brought in sales of \$3 billion and rose 16% over last year's online shopping figures according to Adobe System estimates.

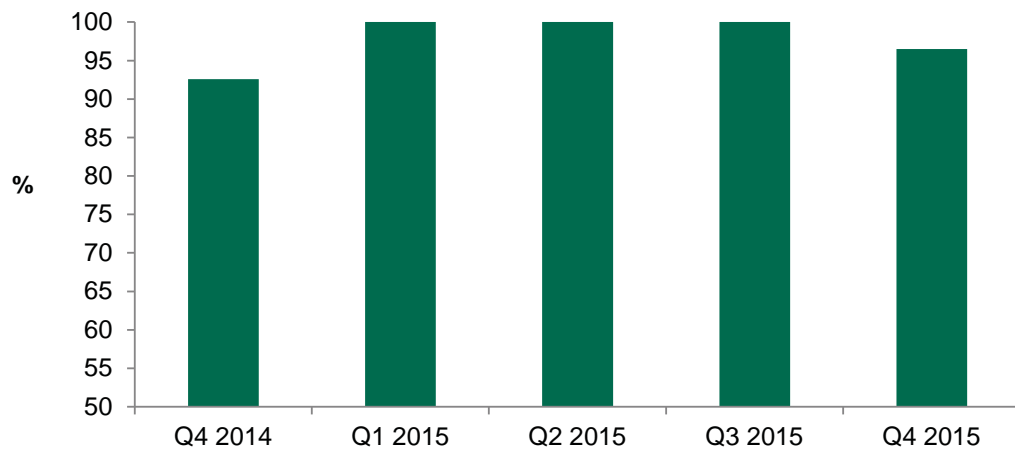
Brick-and-mortar sales accounted for the majority of spending and returns which is great news for the retail real estate market.

According to the Conference Board, as 2015 neared the end, consumers' assessment of the current state of the economy remained positive; particularly their assessment of the job market. Looking ahead to 2016, consumers are expecting little change in both business conditions and the labor market. Expectations regarding their financial outlook are mixed, but the optimists continue to outweigh the pessimists.

The Conference Board Consumer Confidence Index decreased in November, and improved modestly in December, reaching 96.5. A reading above 90 points indicates a stable economy, while a reading of 100 points or more indicates strong growth.

Figure 2: Consumer Confidence Index

### Consumer Confidence Index



Source: Consumer Confidence Board, Q4 2015.

**BRICK-AND MORTAR AND ONLINE SHOPPING**

As we bid farewell to 2015, it seems clear that a significant consumer transformation is taking shape. Online sales, which still amount to less than 10% of total retail sales, show no signs of slowing down. Category by category the impact of the shift toward online sales is being felt in a significant way at the actual physical retail stores. Traffic was down and retailers who were well positioned online did not seem able to fully make up for all of the lost brick and mortar sales. Black Friday, which was once a crucial event to kick off the retail holiday season, has been quickly losing steam as consumers choose the more convenient option of shopping online. It looks as though that trend may continue and retailers will have to act with urgency to respond as they are still not getting their fair share of overall sales.

Online competition is forcing brick-and-mortar stores to step up their game. Stores are offering appealing discounts to attract customers. Another tactic retailers are using is to offer their customers the ability to browse and place orders online with

the quick-in-store same day pickup option. It is online shopping without having to wait for your item to ship.

**NEW TO THE NEIGHBORHOOD**

- Roots Pizza, 2200 W. Lawrence Avenue, Chicago
- Vivial, 3755 N. Southport, Chicago
- Alter Brewing, 2300 Wisconsin Avenue, Downers Grove
- Empirical Taproom, 1801 W. Foster Avenue, Chicago
- Uniqlo, 830 N. Michigan Avenue, Chicago

**UNDER CONSTRUCTION**

- Whole Foods, 3201 N. Ashland Avenue, Chicago  
Delivers 08/2016
- Brooklyn Bowl, 832-856 W. Fulton Street, Chicago  
Delivers 09/2016
- Mariano's, 3848 S. Vernon Avenue, Chicago  
Delivers 08/2016

Figure 3: Top Lease Transactions

Tenant	Size (Sq. Ft.)	Address
TJ Maxx	25,737	Former Golf Galaxy-Grand Hunt Center, Gurnee
Whole Foods	55,158	Former Dominick's- Danada Square West, Wheaton
Crunch Fitness	29,670	Former Bally's -Randhurst Commons, Mt. Prospect
Bockwinkel's Market	18,000	320 E. Ohio, Chicago -McClurg Court
University of Chicago Medicine-South Loop Clinic	18,000	1101 S. Canal Street, Chicago -Southgate Market

Source: CBRE Research, Q4 2015.

**Figure 4: Chicago Retail Statistics**

Submarket	# of Properties	Gross Building (Sq. Ft.)	Vacant Area (Sq. Ft.)	Vacancy Rate (%)	Average Asking Lease Range (\$/Sq.Ft./Yr)	
					LOW	HIGH
Far N.W. Suburbs	77	12,720,666	1,152,350	9.1	16.36	19.40
N.W. Suburbs	86	14,025,611	1,847,371	13.2	17.50	19.86
Far North Suburbs	42	8,015,385	1,071,463	13.4	13.52	15.38
North Suburbs	52	9,292,120	510,966	5.5	17.40	20.89
Far West Suburbs	134	21,301,207	2,328,886	10.9	14.91	17.72
West Suburbs	39	7,882,003	343,888	4.4	19.39	20.80
City North	55	8,107,139	293,435	3.6	20.70	24.03
City South	33	5,564,785	430,135	7.7	24.25	25.60
Far S.W. Suburbs	48	8,607,818	507,101	5.9	19.51	19.51
S.W. Suburbs	56	8,893,329	613,155	6.9	15.88	17.10
South Suburbs	40	6,158,180	1,117,904	18.2	15.96	17.95
Kane County	57	10,995,964	1,072,266	9.8	14.49	15.26
<b>Total</b>	<b>719</b>	<b>121,564,207</b>	<b>11,288,920</b>	<b>9.3</b>	<b>17.15</b>	<b>19.39</b>

Source: CBRE Research, Q4 2015.


**CONTACT**

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*Research Coordinator*  
 +1 847-706-4930  
 Nicole.fenzel@cbre.com

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 Oak Brook, IL 60523

Schaumburg  
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 Schaumburg, IL 60173

Bannockburn  
 3000 Lakeside Drive, Suite 100  
 Bannockburn, IL 60015

To learn more about CBRE Research,  
 or to access additional research reports,  
 please visit the Global Research Gateway at  
[www.cbre.com/researchgateway](http://www.cbre.com/researchgateway).

# CHICAGO RETAIL VACANCY INDEX

4th Quarter 2015 | 50,000 SF and GREATER

Retail 24/7.

CBRE

SUBMARKET	CATEGORY	# OF PROPERTIES	TOTAL SQ. FT.	VACANT SQ. FT.	% VACANT	LOW	HIGH	AVERAGE NET ASKING	
Far Northwest Suburbs	Neighborhood/Convenience	39	4,368,952	598,835	13.7%	\$17.91	\$20.35	\$19.13	
	1	Power/Community	38	8,351,714	553,515	6.6%	\$14.69	\$18.38	\$16.53
	<b>Total</b>	<b>77</b>	<b>12,720,666</b>	<b>1,152,350</b>	<b>9.1%</b>	<b>\$16.36</b>	<b>\$19.40</b>	<b>\$17.88</b>	
Northwest Suburbs	Neighborhood/Convenience	48	4,978,058	766,407	15.4%	\$15.21	\$17.55	\$16.38	
	2	Power/Community	38	9,047,553	1,080,964	11.9%	\$19.13	\$21.50	\$20.32
	<b>Total</b>	<b>86</b>	<b>14,025,611</b>	<b>1,847,371</b>	<b>13.2%</b>	<b>\$17.50</b>	<b>\$19.86</b>	<b>\$18.69</b>	
Far North Suburbs	Neighborhood/Convenience	20	2,750,320	493,019	17.9%	\$12.79	\$13.44	\$13.11	
	3	Power/Community	22	5,265,065	578,444	11.0%	\$14.15	\$17.04	\$15.59
	<b>Total</b>	<b>42</b>	<b>8,015,385</b>	<b>1,071,463</b>	<b>13.4%</b>	<b>\$13.52</b>	<b>\$15.38</b>	<b>\$14.45</b>	
North Suburbs	Neighborhood/Convenience	25	3,485,098	221,100	6.3%	\$16.44	\$18.47	\$17.46	
	4	Power/Community	27	5,807,022	289,866	5.0%	\$18.13	\$22.73	\$20.43
	<b>Total</b>	<b>52</b>	<b>9,292,120</b>	<b>510,966</b>	<b>5.5%</b>	<b>\$17.40</b>	<b>\$20.89</b>	<b>\$19.14</b>	
Far West Suburbs	Neighborhood/Convenience	90	11,791,296	1,680,734	14.3%	\$15.30	\$17.07	\$16.19	
	5	Power/Community	44	9,509,911	648,152	6.8%	\$13.89	\$19.40	\$16.64
	<b>Total</b>	<b>134</b>	<b>21,301,207</b>	<b>2,328,886</b>	<b>10.9%</b>	<b>\$14.91</b>	<b>\$17.72</b>	<b>\$16.32</b>	
West Suburbs	Neighborhood/Convenience	17	1,865,441	124,105	6.7%	\$16.65	\$17.23	\$16.94	
	6	Power/Community	22	6,016,562	219,783	3.7%	\$20.93	\$22.81	\$21.87
	<b>Total</b>	<b>39</b>	<b>7,882,003</b>	<b>343,888</b>	<b>4.4%</b>	<b>\$19.39</b>	<b>\$20.80</b>	<b>\$20.09</b>	
City North	Neighborhood/Convenience	24	2,780,632	134,205	4.8%	\$19.89	\$24.23	\$22.06	
	7	Power/Community	31	5,326,507	159,230	3.0%	\$21.39	\$23.86	\$22.63
	<b>Total</b>	<b>55</b>	<b>8,107,139</b>	<b>293,435</b>	<b>3.6%</b>	<b>\$20.70</b>	<b>\$24.03</b>	<b>\$22.37</b>	
City South	Neighborhood/Convenience	17	2,086,882	185,672	8.9%	\$18.12	\$21.25	\$19.68	
	8	Power/Community	16	3,477,903	244,463	7.0%	\$28.90	\$28.90	\$28.90
	<b>Total</b>	<b>33</b>	<b>5,564,785</b>	<b>430,135</b>	<b>7.7%</b>	<b>\$24.25</b>	<b>\$25.60</b>	<b>\$24.92</b>	
Far Southwest Suburbs	Neighborhood/Convenience	17	1,580,760	200,908	12.7%	\$17.92	\$17.92	\$17.92	
	9	Power/Community	31	7,027,058	306,193	4.4%	\$20.56	\$20.56	\$20.56
	<b>Total</b>	<b>48</b>	<b>8,607,818</b>	<b>507,101</b>	<b>5.9%</b>	<b>\$19.51</b>	<b>\$19.51</b>	<b>\$19.51</b>	
Southwest Suburbs	Neighborhood/Convenience	30	3,432,083	441,559	12.9%	\$15.21	\$16.05	\$15.63	
	10	Power/Community	26	5,461,246	171,596	3.1%	\$17.59	\$19.81	\$18.70
	<b>Total</b>	<b>56</b>	<b>8,893,329</b>	<b>613,155</b>	<b>6.9%</b>	<b>\$15.88</b>	<b>\$17.10</b>	<b>\$16.49</b>	
South Suburbs	Neighborhood/Convenience	22	2,491,811	632,619	25.4%	\$14.20	\$15.73	\$14.97	
	11	Power/Community	18	3,666,369	485,285	13.2%	\$18.25	\$20.84	\$19.54
	<b>Total</b>	<b>40</b>	<b>6,158,180</b>	<b>1,117,904</b>	<b>18.2%</b>	<b>\$15.96</b>	<b>\$17.95</b>	<b>\$16.95</b>	
Kane County	Neighborhood/Convenience	25	3,582,275	646,248	18.0%	\$13.76	\$15.05	\$14.40	
	14	Power/Community	32	7,413,689	426,018	5.7%	\$15.59	\$15.59	\$15.59
	<b>Total</b>	<b>57</b>	<b>10,995,964</b>	<b>1,072,266</b>	<b>9.8%</b>	<b>\$14.49</b>	<b>\$15.26</b>	<b>\$14.87</b>	
CHICAGO	Neighborhood/Convenience	374	45,193,608	6,125,411	13.6%	\$15.40	\$17.10	\$16.25	
METROPOLITAN AREA	Power/Community	345	76,370,599	5,163,509	6.8%	\$19.24	\$22.11	\$20.68	
<b>TOTALS</b>	<b>Total</b>	<b>719</b>	<b>121,564,207</b>	<b>11,288,920</b>	<b>9.3%</b>	<b>\$17.15</b>	<b>\$19.39</b>	<b>\$18.27</b>	

\*Power/Community-Centers with one or more anchors and at least one of them is *not* a grocery, drug or hardware store

\*Neighborhood/Convenience-Unanchored centers or centers whose only anchors (s) are grocery, drug or hardware stores

# Metro Chicago Retail Vacancy

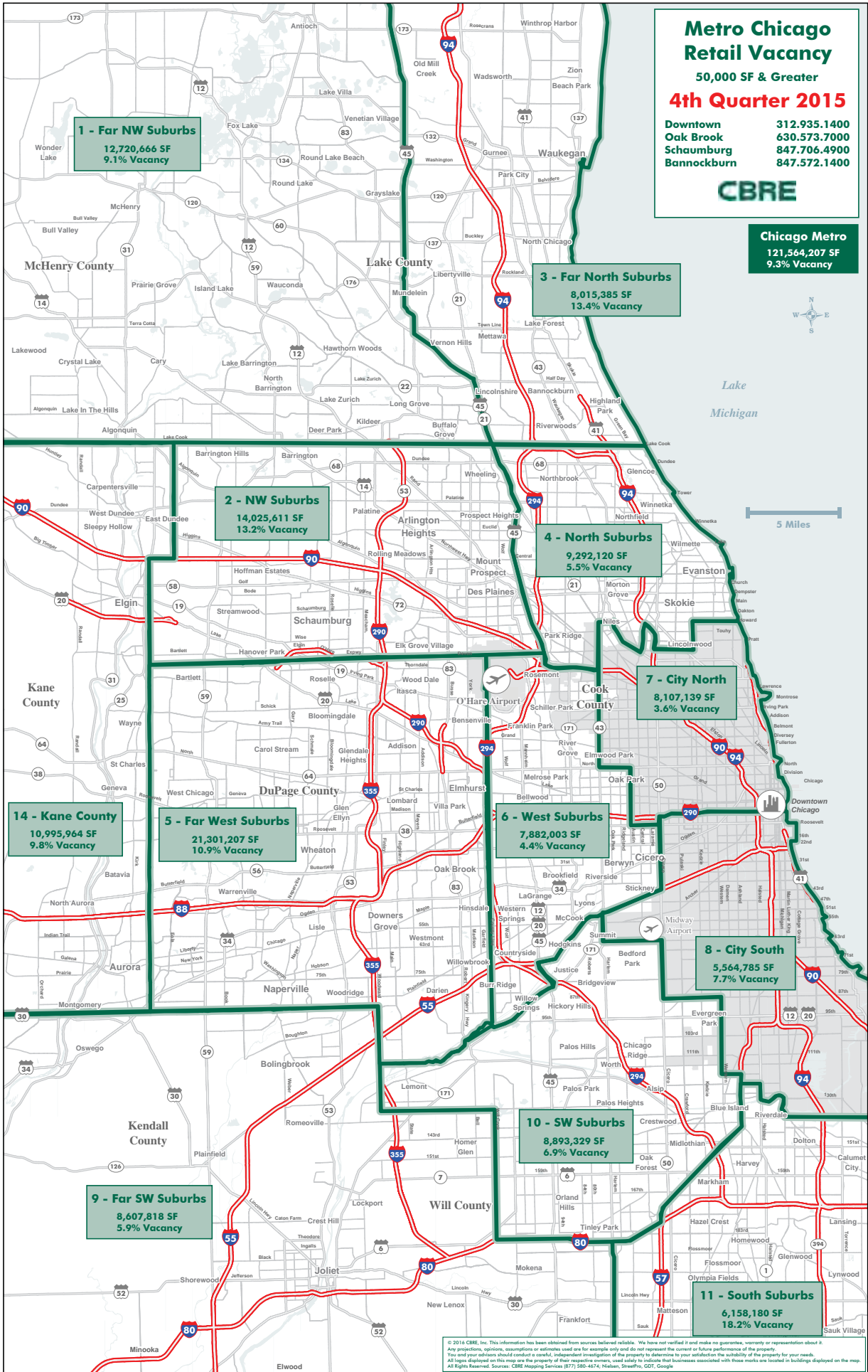
50,000 SF & Greater

**4th Quarter 2015**

Downtown	312,935,1400
Oak Brook	630,573,7000
Schaumburg	847,706,4900
Bannockburn	847,572,1400



**Chicago Metro**  
121,564,207 SF  
9.3% Vacancy



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DISTRICT HOUSE

**EXHIBIT 12.2: JAMESON SOTHEBY'S INTERNATIONAL REALTY COMPARATIVE MARKET ANALYSIS (CMA)**

LAKE & EUCLID | OAK PARK  
MARKET STUDY

Jameson | Sotheby's  
INTERNATIONAL REALTY



## EXPERTISE

Sotheby's est. 1744

The year is 1976. Sotheby's recognizes that the firm can serve its auction clients in a valuable new way with a complete package of estate disposition services. Founded on the same commitment to exceptional service that characterized the firm's dealings for more than two centuries, the Sotheby's International Realty brand is born and soon becomes known around the world for the distinctive properties it represents. Today we continue that focus by employing our brand's vision of **artfully uniting extraordinary properties with extraordinary lives.**

Each office is independently owned and operated.

## MARKET ANALYSIS TEAM



**Chris Feurer, CEO & Mike Sato, President**

Chris and Mike have a combined experience of over 42 years in the real estate industry—with expertise in everything from leasing and property management to developing and selling residential and commercial property. Their team has been widely recognized for their ability to stay ahead of changing markets. Together, they have developed and sold more than 3,000 units.



**Jim Miller, Managing Broker & COO**

Jim has spent the last 15 years managing sales of development projects. He is consistently recognized by the Chicago Association of Realtors as a Top Producer—within the Top 1% of the market. He also has expertise in business strategy coaching.



**Tammy McEwen, Marketing Director**

Tammy has been in Marketing Operations for Jameson Sotheby's International Realty for over 25 years. In tandem with Jameson Sotheby's International Realty's in-house graphics department, she is able to manage a complete digital and print marketing campaigns for new developments from start to finish, which allows the sales team to focus exclusively on project sales.



**Kaitlin Brewer & Kristin Ackmann, Graphic Designers**

Kaitlin and Kristin handle overall custom design work for Jameson Sotheby's International Realty. They are responsible for the planning, production and creative vision of marketing initiatives for new developments (i.e. logo, brochure, signage, e-blasts, invitations).



**Catherine Julitz, Social Media Manager**

Catherine has a strong background in social media—specifically in the real estate industry. She is responsible for maximizing awareness of developments through social media management, search engine optimization and lead capture.



**Cory Robertson, Director of Development Services**

Cory and the Jameson Sotheby's International Realty team work with developers to help analyze project potential and maximize profits on the front end. Afterwards, he and the team are responsible for putting together a comprehensive sales and marketing game plan for the entire length of the project. Finally, Cory gathers the best-trained sales team in the market to ensure the success of the development's game plan.



**Frank Vihtelic, Broker Associate**

Frank has more than 10 years of work experience in finance and real estate sales with an educational background in architecture. He brings his economic expertise along with a keen eye for placing people in their ideal space. Frank's ability to break down complex projects into reliable facts and figures creates a sense of ease for development buyers throughout the entire construction process.

# Our FINDINGS

## CURRENT MARKET NUMBERS

Jameson Sotheby's International Realty sees the Oak Park real estate market as showing great opportunity. Single-family home prices have been increasing consistently since 2010. Condo prices (despite a lack of larger condos) have also been increasing since 2011. Until 2015, the only 3 bedroom attached product available since 2008 has been traditionally-styled 3 story townhomes. The absence of direct competition (while overall a huge benefit to the project's success) does require extrapolation of market data and demographics, as opposed to straight comparison in order to assess opportunity.

## CMAP HOMES FOR A CHANGING REGION DECEMBER 2009 - Oak Park's Projected Future Housing Needs

The CMAP study identified strong housing market needs which align well with the proposed development at Lake & Euclid.

- The study showed that more than 60% of households making \$100,000-150,000 were living in homes costing less than 30% of their income, and over 80% of households making \$150,000 or more were living in homes costing less than 30% of their income. This shows that the current housing stock for Oak Park has a substantial shortage of upscale housing.
- The report found that 79% of the new units needed by Oak Park's residents before 2030 would be multifamily.
- It also notes that 51.5% of Oak Park residents travel to the City of Chicago for work.
- The report references the 2005 Greater Downtown Master Plan for Oak Park which called for 1200 new multifamily units to be located primarily along the CTA Green Line in Oak Park. As of December 2009, only 43 of those units were developed and only an additional 330 units had been approved.
- The report also called for more energy-efficient buildings near public transportation hubs as a means of reducing the energy impact of the community's housing and transportation—the number one and number two largest contributors to energy consumption.

## SITE

Lake & Euclid may very well be the best site in the entire Village for a boutique high-end building. It will sit at the junction of the premier commercial/retail district, recreational grounds, high school campus and the most-preferred residential in the Village. The site is within walking distance of the Village pool complex, ice rink, running track, Farmer's market, a dozen houses of worship, Village Library, post office, new grocery store, Scoville Park, dozens of restaurants, and the CTA Green Line Station at Oak Park Avenue. This is exactly where long-time Oak Park residents would prefer to live if appropriate housing was available.

## TRANSFORMATION

The removal of the former Tasty Dog and the envelopment of the adjacent AT&T building will transform perhaps the least attractive segment of the commercial district into one of the most beautiful. The new building's height is consistent with the surrounding streetscape and will become the new gateway to a dynamic segment of the Lake Street commercial corridor and Hemmingway District. This project should be very well received for its transformative impact.

## MARKET OPPORTUNITY

The Oak Park/River Forest market has a large number of residents who fall into the Personixx Lifestages of "Top Professionals", "Established Elite", "Summit Estates" and "Corporate Connected" (See Attached Descriptions). These groups eventually become very attracted to the idea of shedding the larger family home, but for business, social, philanthropic and familial reasons wish to maintain a strong presence in their community. We also see a strong influx of "City Mixers", seeking better schools and community, while maintaining an urban lifestyle. This group is very attracted to condo living, a forward design aesthetic, public transportation urban shopping and dining. These groups would be drawn to a well-placed building offering 3 bedroom, single-level condominiums. We believe there is pent-up demand for 3 bedroom, single level condos in the Oak Park market given the complete lack of existing product. The current success of Maple Place, which has pre-sold 7 out of 11 condos without a building or models in a far less desirable location is ample proof of this need.

- The proposed condos at Lake & Euclid are being offered at pricing that is within the means of local empty-nester sellers as well as younger city ex-pat buyers seeking great schools and forward design.
- Condos targeting empty nesters have consistently been the price ceiling breakers in Oak Park/River Forest (444 Ashland in 2004 and Maple Place in 2015).
- Leading edge design units have consistently been price ceiling breakers for primary residences in the City of Chicago neighborhoods (Flexhouse, Backyard, Flexhouse II).

Jameson Sotheby's International Realty believes the combination of leading-edge design and empty-nester targeted product will command a new premium for condo prices in Oak Park.

## CONCLUSION

The new building at Lake & Euclid is providing a needed product to under-served buyer segments in the very best condo location available. Combined with an aesthetic that is in demand and at a price point that can be supported by the identified buyer profiles, the proposed project is poised for success.

# AppraisalRESEARCH

OAK PARK TRANSACTIONS IN THE LAST 12 MONTHS

**348**

TOTAL  
ATTACHED  
TRANSACTIONS

Number of SFH transactions over 600K ..... 102

Number of attached transactions over 450K ..... 15

Average SFH price ..... \$456,757

**\$155,000**

MEDIAN  
PRICE FOR  
ATTACHED

Average attached ..... \$183,641

Low to high price of attached ..... \$30K - \$715K

.....

**\$420,000**

MEDIAN  
PRICE FOR  
DETACHED

Low to high price of detached ..... \$85K - \$1.98M

Please find reports based on data generated by the MLS on the following pages

MLS #	Stat	Street #	CP	Str Name	Sfx	Area	LP/SP	# Rms	All Beds	Baths	Type	SCT
1	08827305	CLSD 209	S	Harvey	Ave	302	\$650,000	11	4	2.1	3 Stories	N
2	08995684	CLSD 819	N	Woodbine	Ave	302	\$650,000	8	4	3.1	2 Stories	N
3	09064310	CLSD 823	N	Columbian	Ave	302	\$650,000	11	3+1 bsmt	2.1	2 Stories	N
4	08829331	CLSD 1106	N	Forest	Ave	305	\$650,000	10	4	3.1	2 Stories	N
5	08979143	CLSD 545	N	Gunderson	Ave	302	\$651,500	9	4	3	2 Stories	N
6	08795786	CLSD 1419	N	Park	Ave	305	\$654,000	11	3	2.1	2 Stories	N
7	09103785	ACTV 1021	S	Scoville	Ave	302	\$655,000	12	4	3.2	3 Stories	N
8	08889338	CLSD 1104	N	Greenfield	St	302	\$656,000	8	3+1 bsmt	3.1	3 Stories	N
9	08881415	CLSD 1219	N	Columbian	Ave	302	\$660,000	10	4	3.1	3 Stories	N
10	08953768	CLSD 163	N	Lunden	Ave	302	\$660,000	8	4	2	2 Stories	N
11	08855857	CLSD 543	N	Ashland	Ave	305	\$665,000	10	4	2.1	2 Stories	N
12	08836207	CLSD 639	N	Oak Park	Ave	302	\$667,000	12	5	2.1	3 Stories	N
13	09049192	A/T 228	S	Ridgeland	Ave	302	\$667,000	11	5	2.1	2 Stories	N
14	08898367	A/T 1132	N	Gunderson	Ave	302	\$669,000	10	4+1 bsmt	3.1	2 Stories	N
15	08956322	CLSD 1216	N	Fair Oaks	Ave	302	\$674,000	11	4	2.1	2 Stories	N
16	09087524	ACTV 216	S	Harvey	Ave	302	\$674,999	11	4	4	3 Stories	S
17	09002741	A/T 720	N	Forest	Ave	302	\$675,000	9	4+1 bsmt	3.1	2 Stories	N
18	09061559	CLSD 620	N	Clinton	Pl	305	\$675,000	9	4	4.1	2 Stories	N
19	08870286	CLSD 1112	N	Euclid	Ave	302	\$677,500	9	4	4.1	2 Stories	N
20	09118434	NEW 1028	N	Belleforte	Ave	302	\$679,000	8	3	2.1	2 Stories	N
21	08898553	CLSD 1415	N	Jackson	Ave	305	\$680,000	9	3+1 bsmt	3.1	2 Stories	V
22	08808257	CLSD 151	N	Taylor	Ave	302	\$683,000	9	4	3.1	3 Stories	N
23	08847437	CLSD 1025	N	Fair Oaks	Ave	302	\$685,000	9	4	3.1	2 Stories	N
24	08944679	CLSD 1122	N	Euclid	Ave	302	\$685,000	10	4	2.1	3 Stories	N
25	08910612	CLSD 1427	N	Monroe	Ave	305	\$685,500	8	3	2.1	2 Stories	N
26	08877087	CLSD 417	N	Scoville	Ave	302	\$689,000	11	4	2.2	2 Stories	N
27	08988678	ACTV 1427	N	Thatcher	Ave	305	\$689,000	10	3	3	Split Level	N
28	08842463	CLSD 1235	N	East	Ave	302	\$691,500	9	3	3.1	3 Stories	V
29	09017665	CLSD 1120	N	Wisconsin	Ave	302	\$695,500	11	4	3.1	2 Stories	N
30	09060055	ACTV 1023	N	Oak Park	Ave	302	\$697,080	9	4	2.1	2 Stories	S
31	08925800	CLSD 1428	N	Clinton	Pl	305	\$698,000	10	4	3.1	2 Stories	N
32	08863035	ACTV 1223	N	Franklin	Ave	305	\$699,000	8	3	2.2	1 Story	N
33	09068803	ACTV 1426	N	Monroe	Ave	305	\$699,000	8	4	2.1	2 Stories	N
34	09082267	ACTV 700	N	Bonnie Brae Pl	305	\$699,500	10	3	2.1	2 Stories	N	
35	08898312	CLSD 912	N	Wenonah	Ave	302	\$699,900	10	4	3.1	2 Stories	N
36	08828857	CLSD 425	N	Lunden	Ave	302	\$700,000	10	4	3.1	1.5 Story	N
37	08904341	CLSD 1015	N	East	Ave	302	\$700,000	8	3	2.1	Other	N
38	08548043	CLSD 630	N	Thatcher	Ave	305	\$700,000	8	4	2.1	2 Stories	N
39	08925602	CLSD 918	N	Franklin	Ave	305	\$700,000	11	5	2.1	1.5 Story	N
40	08868131	CLSD 529	N	Grove	Ave	302	\$704,900	11	4	3	2 Stories	N
41	08883540	CLSD 1005	N	Euclid	Ave	302	\$705,000	8	3	3.1	3 Stories	N
42	09011480	CLSD 616	N	Iowa	St	302	\$710,000	8	3	2.1	2 Stories	N
43	08902920	CLSD 201	S	East	Ave	302	\$711,000	11	4	2.2	2 Stories	N
44	09082411	ACTV 1119	N	Ridgeland	Ave	302	\$715,000	8	4	2	1.5 Story	N
45	08854260	CLSD 314	S	Kenilworth	Ave	302	\$717,500	9	4	2.3	2 Stories	V
46	08911012	CLSD 171	N	Elmwood	Ave	302	\$718,000	11	4	3.1	1.5 Story	N
47	09074254	CLSD 529	S	Kenilworth	Ave	302	\$719,000	11	4	2.1	3 Stories	N
48	08920442	CLSD 153	N	Cuyler	Ave	302	\$722,500	10	4	3.1	2 Stories	V
49	08804187	CLSD 1040	N	Monroe	Ave	305	\$727,000	13	4	2.2	2 Stories	N
50	09074289	ACTV 1109	N	Lombard	Ave	302	\$729,900	9	4+1 bsmt	4	2 Stories	N
51	08728191	CLSD 730	N	Fair Oaks	Ave	302	\$732,500	9	5	2.1	3 Stories	N

52	08403932	ACTV	1347	N	Jackson	Ave 305	\$739,000	10	5	4.2	2 Stories	N
53	09082881	ACTV	1420	N	Park	Ave 305	\$739,000	11	5	3.1	2 Stories	N
54	09042991	ACTV	827	N	Oak Park	Ave 302	\$749,000	9	4	3.1	2 Stories	N
55	09096952	ACTV	523	Jackson	Ave 305	\$749,000	10	4	1.1	1.1 Stories	V	
56	08869114	CLSD	739	Clinton	Pl	305	\$749,000	10	3+1 bsmt	3.1	2 Stories	N
57	08961108	ACTV	1141	N	Euclid	Ave 302	\$749,500	9	4	2.1	2 Stories	N
58	08874201	CLSD	225	S	Ridgeland	Ave 302	\$750,000	10	5	2.1	3 Stories	N
59	08833074	CLSD	811	Clinton	Pl	305	\$750,000	11	4	3.1	3 Stories	V
60	08914525	CLSD	1434	Monroe	Ave 305	\$750,000	10	4	3.1	3 Stories	N	
61	08883000	CLSD	735	Monroe	Ave 305	\$750,100	8	4	3	2 Stories	N	
62	09102120	ACTV	1526	Forest	Ave 305	\$759,900	14	6+1 bsmt	6.1	2 Stories	N	
63	08844298	CLSD	150	N	Harvey	Ave 302	\$760,000	11	5	2.1	3 Stories	N
64	08920702	CLSD	558	Franklin	Ave 305	\$760,000	12	6	3	3 Stories	V	
65	09119236	NEW	315	S	Euclid	Ave 302	\$764,500	12	4	3.1	2 Stories	N
66	08887280	CLSD	947	William	St	305	\$767,000	10	5	2.3	3 Stories	N
67	09057011	ACTV	1107	Keystone	Ave 305	\$769,000	11	3	2.1	2 Stories	N	
68	09055667	ACTV	727	Jackson	Ave 305	\$775,000	12	6	3.1	3 Stories	N	
69	08905675	CLSD	530	Franklin	Ave 305	\$780,000	12	5	3.1	3 Stories	N	
70	08876383	CLSD	735	Wisconsin	Ave 302	\$784,000	10	5	3.1	3 Stories	N	
71	08907321	CLSD	124	S	Taylor	Ave 302	\$785,000	11	5	4	2 Stories	N
72	08829746	CLSD	918	Monroe	Ave 305	\$785,000	9	4	3.1	2 Stories	N	
73	08747250	CLSD	627	N	Kenilworth	Ave 302	\$789,000	12	5	3.1	3 Stories	N
74	08815931	CLSD	426	Forest	Ave 302	\$789,000	9	5	2.1	3 Stories	N	
75	08934000	CLSD	838	Bellefonte	Ave 302	\$790,000	12	4	4	2 Stories	N	
76	08841725	CLSD	1022	Woodbine	Ave 302	\$792,500	12	5	2.1	2 Stories	N	
77	08882704	A/I	1520	Franklin	Ave 305	\$795,000	10	4	2.2	2 Stories	N	
78	08913969	CLSD	531	Lathrop	Ave 305	\$799,000	8	4	2.2	2 Stories	N	
79	08935249	CLSD	1030	Woodbine	Ave 302	\$800,000	10	4	2.1	2 Stories	N	
80	09054206	ACTV	910	Keystone	Ave 305	\$800,000	7	4	3	2 Stories	N	
81	08954763	CLSD	1042	N	Grove	Ave 302	\$807,500	13	4	2.2	3 Stories	N
82	08830638	CLSD	806	Jackson	Ave 305	\$810,000	14	5	2.2	3 Stories	V	
83	08953538	CLSD	1027	Woodbine	Ave 302	\$813,500	11	5	3.1	3 Stories	N	
84	08869458	CLSD	803	Bellefonte	Ave 302	\$815,000	9	4	2.2	2 Stories	N	
85	08967247	CLSD	1407	Clinton	Pl	305	\$815,000	10	4	3.1	1.5 Story	N
86	08847330	CLSD	920	Fair Oaks	Ave 302	\$817,000	11	5	2.1	2 Stories	N	
87	08844362	CLSD	510	Monroe	Ave 305	\$818,000	9	5	3.1	2 Stories	N	
88	08896638	CLSD	217	S	Scoville	Ave 302	\$820,000	12	6	3.1	3 Stories	N
89	08896933	CLSD	317	S	Elmwood	Ave 302	\$820,000	10	5	3.1	3 Stories	N
90	08934177	CLSD	410	N	Elmwood	Ave 302	\$820,000	9	3	3.1	3 Stories	N
91	08862995	CLSD	1012	Monroe	Ave 305	\$824,000	12	4+1 bsmt	4+1	bsmt	N	
92	08967261	CLSD	538	N	Cuyler	Ave 302	\$825,000	13	5	4	2 Stories	N
93	08824682	CLSD	300	N	Kenilworth	Ave 302	\$830,000	11	6	5.1	3 Stories	N
94	08901155	CLSD	328	S	Euclid	Ave 302	\$830,000	15	10	3.2	3 Stories	N
95	08903216	CLSD	511	N	Grove	Ave 302	\$834,000	9	4	2.1	3 Stories	N
96	08818058	CLSD	1134	N	East	Ave 302	\$837,000	8	4	4	2 Stories	N
97	08829377	ACTV	532	N	Cuyler	Ave 302	\$839,000	12	6	3	2 Stories	N
98	08967935	CLSD	533	N	Kenilworth	Ave 302	\$840,000	11	6	3.1	3 Stories	N
99	08844851	ACTV	1310	William	St	305	\$840,000	9	3	3.1	2 Stories	N
100	08919271	CLSD	730	Forest	Ave 305	\$841,800	10	4	2.1	3 Stories	N	
101	09065798	ACTV	528	N	Cuyler	Ave 302	\$849,500	12	4	4.1	2 Stories	N
102	09017886	CLSD	321	N	Harvey	Ave 302	\$849,500	9	5	3.1	3 Stories	N
103	09033846	ACTV	1047	Linden	Ave 302	\$849,900	10	4	2.2	3 Stories	N	
104	09075681	TEMP	1215	Woodbine	Ave 302	\$850,000	11	5	3.1	2 Stories	N	
105	08918999	CLSD	1335	Ashland	Ave 305	\$850,000	10	3	2.2	2 Stories	N	

Single Family Homes > 600K

106	08834931	CLSD	526	Clinton	Ave 302	\$851,000	12	5	3.1	3 Stories	N	
107	06824477	CLSD	150	N	Ridgeland	Ave 302	\$855,000	9	5	2.1	2 Stories	N
108	08882582	CLSD	1020	Chicago	Ave 302	\$855,000	10	4	3	3 Stories	N	
109	08878770	CLSD	422	N	Scoville	Ave 302	\$860,000	9	4	3.1	3 Stories	N
110	09104067	ACTV	301	N	Scoville	Ave 302	\$875,000	13	6	4.1	3 Stories	N
111	08839159	CLSD	216	S	East	Ave 302	\$875,000	11	4	3.2	3 Stories	N
112	09040053	ACTV	7355	Greenfield	St	305	\$875,000	10	5	2.3	2 Stories	N
113	08973130	ACTV	170	N	Euclid	Ave 302	\$878,000	14	4+4 bsmt	4+4	bsmt	N
114	09119501	NEW	1407	William	St	305	\$879,000	10	4	2.1	2 Stories	N
115	09052456	ACTV	1110	Edmer	Ave 302	\$879,900	12	4+1 bsmt	4+1	bsmt	N	
116	08854462	CLSD	229	N	Elmwood	Ave 302	\$880,000	12	5	3.1	3 Stories	N
117	08946430	CLSD	1112	Monroe	Ave 305	\$890,000	9	4	3.2	3 Stories	N	
118	09119478	NEW	235	S	Oak Park	Ave 302	\$899,000	12	4	3.1	3 Stories	N
119	09094659	PEND	159	N	Taylor	Ave 302	\$899,900	12	4	3.1	3 Stories	V
120	08826439	CLSD	230	S	Scoville	Ave 302	\$900,000	11	5	3.1	3 Stories	N
121	08949768	CLSD	233	Linden	Ave 302	\$910,000	11	5	3.1	3 Stories	N	
122	08833286	CLSD	1418	William	St	305	\$910,000	10	4	2.2	2 Stories	N
123	08747667	CLSD	210	S	Kenilworth	Ave 302	\$924,900	8	4	4.1	2 Stories	N
124	09090268	ACTV	230	S	Scoville	Ave 302	\$925,000	11	5	3.1	3 Stories	N
125	08869325	CLSD	1410	Forest	Ave 305	\$925,000	10	4+1 bsmt	4+1	bsmt	N	
126	08972988	CLSD	527	Bellefonte	Ave 302	\$926,870	10	4+1 bsmt	4+1	bsmt	N	
127	08956646	ACTV	931	Clinton	Pl	305	\$930,000	11	5	4.1	3 Stories	V
128	08832763	CLSD	1023	N	Kenilworth	Ave 302	\$932,500	9	4	3.1	2 Stories	N
129	08840359	CLSD	1430	Keystone	Ave 305	\$940,000	8	4	3.1	2 Stories	V	
130	08997120	ACTV	402	Lenox	St	302	\$949,000	12	4+1 bsmt	4+1	bsmt	N
131	09055733	CLSD	1147	Park	Ave 305	\$958,000	10	4	4	1.5 Story	N	
132	08826583	CLSD	1026	Erie	St	302	\$968,000	9	4	3.1	3 Stories	N
133	08885884	CLSD	1138	N	Kenilworth	Ave 302	\$980,000	13	5+1 bsmt	5+1	bsmt	N
134	08828848	CLSD	558	Keystone	Ave 305	\$992,500	9	4	2.1	2 Stories	N	
135	09109440	ACTV	434	N	East	Ave 302	\$995,000	9	4	2.1	2 Stories	N
136	08992630	ACTV	1420	Lathrop	Ave 305	\$995,000	10	4	3.1	2 Stories	N	
137	08875523	ACTV	1522	Forest	Ave 305	\$998,500	11	4	4.1	2 Stories	N	
138	09002116	ACTV	942	Franklin	Ave 305	\$999,999	10	4	3.1	2 Stories	N	
139	08807126	CLSD	541	Keystone	Ave 305	\$1,000,000	12	5	3.2	3 Stories	N	
140	08907938	CLSD	1412	Jackson	Ave 305	\$1,045,000 (\$)	10	4	3.1	2 Stories	V,S	
141	09114836	ACTV	830	N	Oak Park	Ave 302	\$1,049,000	11	4+1 bsmt	4+1	bsmt	N
142	08805845	CLSD	1123	Lathrop	Ave 305	\$1,050,000	10	4+1 bsmt	4+1	bsmt	V	
143	08988942	PEND	900	Clinton	Pl	305	\$1,050,000	12	4	4.1	3 Stories	N
144	08605135	CLSD	174	N	Ridgeland	Ave 302	\$1,087,500	12	5	4.1	3 Stories	N
145	09108513	RACT	555	Ashland	Ave 305	\$1,095,000	14	7	4.1	3 Stories	N	
146	09116785	ACTV	1445	Clinton	Pl	305	\$1,099,000	12	5	3.1	2 Stories	N
147	08891705	CLSD	814	N	Grove	Ave 302	\$1,100,000	11	4+1 bsmt	4+1	bsmt	N
148	08691614	CLSD	1501	N	Park	Ave 305	\$1,100,000	11	5	5.1	3 Stories	N
149	09023424	CLSD	632	Lathrop	Ave 305	\$1,100,000	14	6	4.1	3 Stories	N	
150	09032795	CLSD	623	Jackson	Ave 305	\$1,100,000	13	3+1 bsmt	3+1	bsmt	N	
151	09106649	ACTV	1111	Franklin	Ave 305	\$1,150,000	13	3	2.2	1 Story	N	
152	09104225	ACTV	1402	Monroe	Ave 305	\$1,165,000	10	4+1 bsmt	4+1	bsmt	N	
153	09038035	PEND	850	N	Elmwood	Ave 302	\$1,175,000	10	4+1 bsmt	4+1	bsmt	N
154	09022132	ACTV	901	William	St	305	\$1,199,950	13	4	3.2	3 Stories	N
155	09062187	ACTV	1425	Jackson	Ave 305	\$1,200,000	10	5	5.1	2 Stories	N	
156	08828593	CLSD	1124	Park	Ave 305	\$1,209,000	10	4	4.1	2 Stories	N	
157	08850280	CLSD	935	Ashland	Ave 305	\$1,210,000	11	3+1 bsmt	3+1	bsmt	N	
158	08852417	CLSD	1339	Jackson	Ave 305	\$1,215,000	12	4	4.1	2 Stories	N	
159	08828332	CLSD	707	William	St	305	\$1,230,000	12	4	3.3	2 Stories	Coach House N

Single Family Homes > 600K

MLS #	Stat	Street #	CP	Str Name	Sfx	Unit #	Area	LP/SP	# Rms	All Beds	Baths	PKN/# Spaces	Type	SCT	FHA
160	09027842	ACTV	934	Keystone	Ave	305	\$1,243,000	12	5	2.1	2	2 Stories	N		
161	08607445	CLSD	946	Ashland	Ave	305	\$1,250,000	15	7	6.1	2	2 Stories	N		
162	08828590	CLSD	815	Lathrop	Ave	305	\$1,265,000	14	5	3.3	2	2 Stories	N		
163	08855851	CLSD	227	Forest	Ave	302	\$1,275,000	14	7	3	3	3 Stories, Coach House	N		
164	08907186	CLSD	914	Lathrop	Ave	305	\$1,280,000	13	4	3.2	2	2 Stories	N		
165	08972482	CLSD	7900	Greenfield	St	305	\$1,285,000	10	4	3.2	2	2 Stories	N		
166	08847873	ACTV	554	Lathrop	Ave	305	\$1,290,000	11	4	4.1	2	2 Stories	N		
167	08855745	A/I	553	N Marion	St	302	\$1,295,000	13	5	3.2	3	2 Stories	V		
168	08772509	CLSD	201	S Euclid	Ave	302	\$1,315,000	13	5	3.1	3	2 Stories, Coach House	N		
169	08870066	ACTV	562	Keystone	Ave	305	\$1,325,000	9	4	1.2	2	2 Stories	V		
170	09050763	CLSD	1125	Park	Ave	305	\$1,325,000	12	5	3.2	2	2 Stories	N		
171	08863838	CLSD	843	Keystone	Ave	305	\$1,350,000	11	4	4.1	2	2 Stories	N		
172	09020229	CLSD	1336	William	St	302	\$1,370,000	9	4	4.1	3	2 Stories	N		
173	08970591	ACTV	333	Elizabeth	Trl	302	\$1,499,000	9	4	3.1	2	2 Stories	N		
174	08869638	ACTV	515	Auvergne	Pl	305	\$1,550,000	14	4	3.1	3	2 Stories, Coach House	V		
175	09105245	ACTV	530	N Euclid	Ave	302	\$1,575,000	14	6	4.1	3	2 Stories	N		
176	09043016	ACTV	1142	Franklin	Ave	305	\$1,690,000	11	4	4.1	2	2 Stories	N		
177	08865116	ACTV	530	Jackson	Ave	305	\$1,799,900	14	5	6.1	3	2 Stories	N		
178	09042978	TEMP	1416	Ashland	Ave	305	\$1,799,900	12	5	4.3	3	2 Stories	N		
179	09042964	ACTV	1120	Park	Ave	305	\$1,849,000	14	5+2 bsmt	5.1	2	2 Stories	N		
180	08917841	CLSD	322	N Kenilworth	Ave	302	\$1,980,000	14	5	3.3	3	2 Stories, Coach House	N		
181	08859470	ACTV	547	Euclid	Ave	302	\$1,995,000	13	6	4.1	3	2 Stories	N		
182	09116338	PEND	1039	Franklin	Ave	305	\$1,995,000	15	6	4.1	2	2 Stories	N		
183	09042997	ACTV	814	Park	Ave	305	\$2,368,500	16	5+1 bsmt	6.1	3	2 Stories, Coach House	N		
184	09078305	ACTV	1105	Park	Ave	305	\$3,495,000	17	5	4.2	2	2 Stories	N		
185	09111883	ACTV	846	Ashland	Ave	305	\$3,500,000	14	6	4.2	2	2 Stories	N		
186	08695212	TEMP	1000	Ashland	Ave	305	\$4,500,000	17	6	7.2	3	2 Stories	N		

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MLS #	Stat	Street #	CP	Str Name	Sfx	Unit #	Area	LP/SP	# Rms	All Beds	Baths	PKN/# Spaces	Type	SCT	FHA
1	08597760	CLSD	182	N Marion	St	NONE	302	\$600,000	7	3	2.1	G/2	Townhouse 3+ Stories	N	
2	09067493	ACTV	101	Home	Ave		302	\$615,000	7	3	3.1	G/2	Townhouse 3+ Stories	V	
3	09046857	ACTV	504	Park	Ave	504	305	\$625,000	8	3	2.2	G/2	Townhouse 3+ Stories	N	
4	08704770	A/I	1133	Chicago	Ave	3E	302	\$639,900	7	3	2	G/2	Condo, Mid Rise (4-6 Stories)	N	
5	08840270	A/I	1133	Chicago	Ave	2E	302	\$639,900	7	3	2	G/2	Condo, Mid Rise (4-6 Stories)	N	
6	08534191	CLSD	717	Ontario	St		302	\$642,000	7	3	2.1	G/2	1/2 Duplex, Townhouse 3+ Stories, Townhouse-TrailLevel	V	
7	09041205	ACTV	1133	Chicago	Ave	2W	302	\$644,900	7	3	2	G/2	Condo, Mid Rise (4-6 Stories)	N	
8	09041103	ACTV	1133	Chicago	Ave	3W	302	\$659,900	7	3	2	G/2	Condo, Mid Rise (4-6 Stories)	N	
9	09041168	A/I	1133	Chicago	Ave	2N	302	\$659,900	7	3	2.1	G/2	Condo, Mid Rise (4-6 Stories)	N	
10	09041078	ACTV	1133	Chicago	Ave	4E	302	\$679,900	7	3	2	G/2	Condo, Mid Rise (4-6 Stories)	N	
11	09041118	ACTV	1133	Chicago	Ave	4W	302	\$679,900	7	3	2	G/2	Condo, Mid Rise (4-6 Stories)	N	
12	08704817	ACTV	1133	Chicago	Ave	3N	302	\$689,900	7	3	2.1	G/2	Condo, Mid Rise (4-5 Stories)	N	
13	09098190	A/I	444	Ashland	Ave	3N	305	\$699,000	8	4	2.1	G/2	Condo	N	
14	08968766	A/I	1133	Chicago	Ave	4N	302	\$699,900	7	3	2.1	G/2	Condo, Mid Rise (4-6 Stories)	N	
15	09067514	A/I	115	Home	Ave		302	\$715,000	8	4	3.1	G/3	Townhouse 3+ Stories	V	
16	09093104	ACTV	319	S Maple	Ave		302	\$725,000	11	5	4	G-S/6	Townhouse 3+ Stories, Vintage	N	
17	09091251	ACTV	212	S Maple	Ave	26	302	\$749,000	7	3	3.1	S/1	Condo	N	
18	08795388	A/I	1133	Chicago	Ave	5W	302	\$775,000	7	3	2	G/2	Condo, Mid Rise (4-6 Stories)	N	

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Prepared By: Frank Withelec | Jameson Sotheby's Intl Realty | 01/20/2016 11:35 AM

# Comparable Properties

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# The Residences at MAPLE PLACE

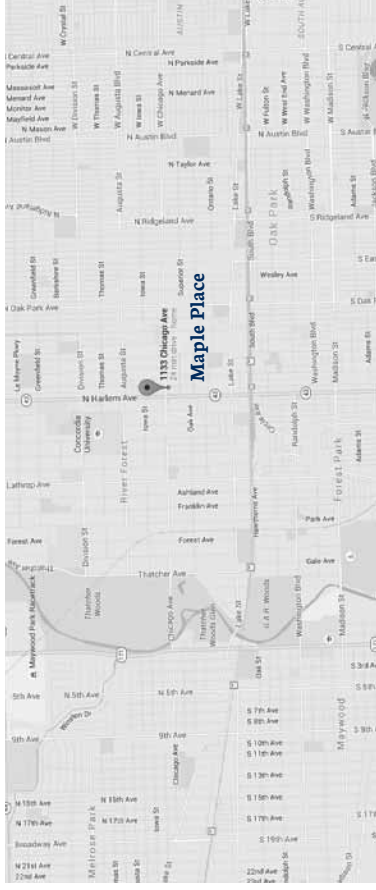
1133 Chicago, Oak Park

Comparative Property Data

## Property Features



**Name** The Residences at Maple Place  
**Address** 1133 Chicago  
**Year Built** Summer 2016 Delivery  
**Number of Units** 11  
**Unit Sizes** 1,808 - 2,226 sq. ft.  
**Price Range** \$639,000 - \$775,000  
**Price PSF** \$300 - \$400



## Overview

The Residences at Maple Place sets a new standard for luxury living in Oak Park. Located at Chicago and Maple Avenues, this beautifully designed five-story condominium development, the first LEED registered building of its type in the Western Suburbs of Chicago, sets a few smart blocks from the vibrant downtown Oak Park entertainment district. Nestled within a charming commercial & residential neighborhood adjacent to the world renowned Frank Lloyd Wright's Historic District, these spacious single floor homes are designed with a sense of grandeur and luxury living.

As the only luxury building of its kind in Oak Park, this is your opportunity to own and personalize your dream home.

The spacious three bedroom condominiums include oversized great rooms, study/media rooms, professional grade kitchens, master suites and ample closet throughout. Two heated indoor parking spots and garage storage units included. Four private 2-car garages are available.

Each unique home layout boasts open floor plans, allowing buyers to personalize to their taste, while the spacious terraces and great rooms are perfect for entertaining. Located mere steps from the Frank Lloyd Wright home and much, as well as the Frank Lloyd Wright Historic District. Walkable nearby shopping includes Trader Joe's, Starbucks, Whole Foods, Peet's, Post One, The Oak Park Public Library and Fitness Formula Club among many others. Multiple public transportation options are a few minute walk.

### Building Description

The Residences at Maple Place consists of a five-story brick facade with classical and modern architectural elements. The first floor includes a naturally appointed lobby with elevator, lobby parking and four private, two-car garages.

The second through fifth floors are residential floors. The second, third and fourth floors have three 2000 sqft 3 Bedroom homes and the fifth floor has two 2100+ sq. ft. 3 Bedroom Penthouse homes with expanded rear decks surrounded by green law maintenance work.

UNIT	BED/BATH	STATUS	SF	LIST PRICE	P/SF
2E	3, 2	under contract	1,936	\$639,900	\$331
2W	3, 2	active	1,983	\$644,900	\$325
2N	3, 2.1	under contract	2,198	\$659,900	\$300
3E	3, 2	under contract	1,808	\$639,900	\$354
3W	3, 2	active	1,485	\$659,900	\$356
3N	3, 2.1	under contract	2,198	\$689,900	\$314
4E	3, 2	active	1,808	\$679,900	\$376
4W	3, 2	active	1,855	\$679,900	\$366
4N	3, 2.1	under contract	2,198	\$699,900	\$318
5E	3, 2	under contract	2,226	\$775,000	\$348
5W	3, 2	under contract	1,936	\$775,000	\$400

..... 4 Active Listings  
 ..... 7 Under Contract



**Attached Single**  
 Status: **ACTV**  
 Area: **302**  
 MLS #: **09114935**  
 List Date: **01/11/2016**  
 List Dt Rec: **01/11/2016**  
 List Price: **\$559,900**  
 Orig List Price: **\$559,900**  
 Sold Price:  
 SP Ind:  
 Parking:

Address: **103 Home Ave, Oak Park, Illinois 60302**  
 Directions: **SOHO PHASE II - CORNER OF HOME & SOUTH BLVD**  
 Sold by:  
 Contract: **02/17/2015**  
 Off Mkt: **2015**  
 Blt Before 78: **No**  
 Dimensions: **PER SURVEY**  
 Ownership: **Fee Simple w/ HO Assn.**  
 Corp Limits: **Oak Park**  
 Coordinates: **N: S: E: W:**  
 Bathrooms: **7/1**  
 Master Bath: **Full**  
 Bsmt. Bath:  
 # Fireplaces: **1**  
 # Spaces: **Gar:2**  
 In Price:  
 SF Source: **Builder**  
 Total Units: **4**  
 % Own. Occ.: **4**  
 Fees/Approvals:

**Remarks:** NEW CONSTRUCTION IN THE HEART OF BEAUTIFUL DOWNTOWN OAK PARK. A PEDESTRIAN PARADISE CLOSE TO TRANSPORTATION, RESTAURANTS & SHOPS. 3 BEDROOMS, 3.5 BATHS, 4 FLOORS OF LIVING SPACE. WOOD CABINET KITCHEN W/ QUARTZ COUNTERTOPS, STAINLESS STEEL BOSCH APPLCS, DINING ROOM AREA. GENEROUS RM SIZES. HDWD FLRS. GREAT MASTER BATH W/ WHIRLPOOL TUB, SEP STEAM SHOWER, DOUBLE VANITY, BALCONY + ROOFTOP DECK. WONDERFUL NEW CONSTRUCTION!

Room Name	Size	Level	Flooring	Win Trmt
Living Room	19X19	2nd Level	Hardwood	
Dining Room	11X11	2nd Level	Hardwood	
Family Room	13X08	2nd Level	Hardwood	
Laundry Room		Not Applicable		
Master Bedroom	13X13	3rd Level	Hardwood	
2nd Bedroom	10X11	3rd Level	Hardwood	
3rd Bedroom	10X11	3rd Level	Hardwood	
4th Bedroom		Not Applicable		
Den	11X10	4th Level	Hardwood	

**Interior Property Features:** Hardwood Floors, Laundry Hook-Up in Unit, Balcony, Roof Deck  
**Age:** New Under Construction  
**Type:** Townhouse 3+ Stories  
**Exposure:**  
**Exterior:** Brick  
**Air Cond:** Central Air  
**Heating:** Gas, Forced Air  
**Kitchen:** Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Washer, Dryer, All Stainless Steel Kitchen Appliances  
**Dining:** Bath Amn: Whirlpool, Separate Shower, Steam Shower, Double Sink  
**Fireplace:** Details:  
**Equipment:** Circuit Breakers  
**Additional Rooms:** Den  
**Garage:** Ownership: Owned  
**Water:** Sewer: Public  
**Const:** Opbs:  
**General:** Info: None  
**Amenities:** Curbs/Gutters, Sidewalks, Street Lights  
**Street:** Paved  
**Asmt:** Incl: Lawn Care  
**HERS:** Index Score:  
**Green:** Disc:  
**Green:** Feats:  
**Green:** Rating Source:  
**Sale:** Terms:  
**Possession:** Negotiable  
**Est Occp:** Date: 01/17/2016  
**Management:**

**Agent Remarks:** BUYERS AGENT MUST BE PRESENT FOR ALL SHOWINGS AND INSPECTIONS. ADDITIONAL UNITS AVAILABLE! 3 OR 4 BEDROOMS, 3 BATHS. PRICED FROM \$559,900 - \$715,000. CALL LIST AGENT AT 708-476-6070 FOR MORE INFORMATION! DEVELOPERS CONTRACT ATTACHED.  
**Internet:** Listing: Yes  
**VOW:** AVI: No  
**Listing:** Type: Exclusive Right to Sell  
**Coop:** Comp: 2.5% LESS \$250 (on Net SP)  
**Showing:** Inst: Click the Schedule a Showing link to schedule a showing.  
**Phone:** (123) 456-7890  
**Team:**  
**Agent:** Owned/Interest: No  
**Co-Lister:** Richard C. Gloor (900235)  
**Co-Lister:** Email: jraspattello@gloor.com  
 None Agent Contact Info:



**Attached Single**  
 Status: **CTG**  
 Area: **302**  
 MLS #: **08640270**  
 List Date: **02/17/2015**  
 List Dt Rec: **02/17/2015**  
 List Price: **\$639,900**  
 Orig List Price: **\$639,900**  
 Sold Price:  
 SP Ind:  
 Parking:

Address: **1133 Chicago Ave Unit 2E, Oak Park, Illinois 60302**  
 Directions: **HARLEM TO CHICAGO EAST ON CHICAGO TO MAPLE**  
 Sold by:  
 Contract: **02/17/2015**  
 Off Mkt: **2015**  
 Blt Before 78: **No**  
 Dimensions: **COMMON AREAS**  
 Ownership: **Condo**  
 Corp Limits: **Oak Park**  
 Coordinates: **N: S: E: W:**  
 Bathrooms: **2/0**  
 Master Bath: **Full**  
 Bsmt. Bath:  
 # Fireplaces: **2**  
 # Spaces: **Gar:2**  
 In Price:  
 SF Source: **Builder**  
 Total Units: **10**  
 % Own. Occ.: **5**  
 Fees/Approvals:

**Remarks:** FABULOUS BR UNIT W/ SOUTHERN & EASTERN EXPOSURE. OVERHEATED GREAT ROOM, OPEN TO PROFESSIONAL GRADE KITCHEN WITH ISLAND/BREAKFAST BAR. ADDITIONAL STUDY, LAUNDRY ROOM & STORAGE ROOM. MASTER BEDROOM SUITE WITH 13.6' WALK-IN CLOSET & SPACIOUS BATH. SUNNY TERRACE. 2 INDOOR HEATED GARAGE SPACES.

Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X21	Main Level	Hardwood	
Dining Room	COMBO	Main Level	Hardwood	
Kitchen	11X09	Main Level	Hardwood	
Family Room		Not Applicable		
Laundry Room	10X07	Main Level	Hardwood	
Study	9X09	Main Level	Not Applicable	
Walk In Closet	13X06	Main Level		

**Interior Property Features:** Hardwood Floors, Laundry Hook-Up in Unit  
**Age:** New Under Construction  
**Type:** Condo, Mid Rise (4-9 Stories)  
**Exposure:**  
**Exterior:** Brick  
**Air Cond:** Central Air  
**Heating:** Gas, Forced Air  
**Kitchen:** Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Disposal, All Stainless Steel Kitchen Appliances  
**Dining:** Combined w/ LivRm  
**Bath:** Amn:  
**Fireplace:** Details:  
**Equipment:** Circuit Breakers  
**Additional Rooms:** Foyer, Study, Terrace, Walk In Closet  
**Garage:** Ownership: Owned  
**Water:** Sewer: Public  
**Const:** Opbs:  
**General:** Info: None  
**Amenities:** Curbs/Gutters, Sidewalks, Street Lights  
**Street:** Paved  
**Asmt:** Incl: None  
**HERS:** Index Score:  
**Green:** Feats:  
**Green:** Rating Source:  
**Sale:** Terms:  
**Possession:** Closing  
**Est Occp:** Date: 02/01/2016  
**Management:**

**Agent Remarks:** ADDITIONAL UNITS AVAILABLE. PLEASE CONTACT LISTING AGENT TO INQUIRE.  
**Internet:** Listing: Yes  
**VOW:** AVI: No  
**Listing:** Type: Exclusive Right to Sell  
**Coop:** Comp: 2.5% LESS \$250 (on Net SP)  
**Showing:** Inst: Click the Schedule a Showing link to schedule a showing.  
**Phone:** (999) 999-9999  
**Team:**  
**Agent:** Owned/Interest: No  
**Co-Lister:** Richard C. Gloor (900401)  
**Co-Lister:** Email: jraspattello@gloor.com  
 None Agent Contact Info:

**Attached Single**  
 Status: **CTG**  
 Area: **302**  
 MLS #: **08640270**  
 List Date: **02/17/2015**  
 List Dt Rec: **02/17/2015**  
 List Price: **\$639,900**  
 Orig List Price: **\$639,900**  
 Sold Price:  
 SP Ind:  
 Parking:

Address: **1133 Chicago Ave Unit 2E, Oak Park, Illinois 60302**  
 Directions: **HARLEM TO CHICAGO EAST ON CHICAGO TO MAPLE**  
 Sold by:  
 Contract: **02/17/2015**  
 Off Mkt: **2015**  
 Blt Before 78: **No**  
 Dimensions: **COMMON AREAS**  
 Ownership: **Condo**  
 Corp Limits: **Oak Park**  
 Coordinates: **N: S: E: W:**  
 Bathrooms: **2/0**  
 Master Bath: **Full**  
 Bsmt. Bath:  
 # Fireplaces: **2**  
 # Spaces: **Gar:2**  
 In Price:  
 SF Source: **Builder**  
 Total Units: **10**  
 % Own. Occ.: **5**  
 Fees/Approvals:

**Remarks:** FABULOUS BR UNIT W/ SOUTHERN & EASTERN EXPOSURE. OVERHEATED GREAT ROOM, OPEN TO PROFESSIONAL GRADE KITCHEN WITH ISLAND/BREAKFAST BAR. ADDITIONAL STUDY, LAUNDRY ROOM & STORAGE ROOM. MASTER BEDROOM SUITE WITH 13.6' WALK-IN CLOSET & SPACIOUS BATH. SUNNY TERRACE. 2 INDOOR HEATED GARAGE SPACES.

Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X21	Main Level	Hardwood	
Dining Room	COMBO	Main Level	Hardwood	
Kitchen	11X09	Main Level	Hardwood	
Family Room		Not Applicable		
Laundry Room	10X07	Main Level	Hardwood	
Study	9X09	Main Level	Not Applicable	
Walk In Closet	13X06	Main Level		

**Interior Property Features:** Hardwood Floors, Laundry Hook-Up in Unit  
**Age:** New Under Construction  
**Type:** Condo, Mid Rise (4-9 Stories)  
**Exposure:**  
**Exterior:** Brick  
**Air Cond:** Central Air  
**Heating:** Gas, Forced Air  
**Kitchen:** Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Disposal, All Stainless Steel Kitchen Appliances  
**Dining:** Combined w/ LivRm  
**Bath:** Amn:  
**Fireplace:** Details:  
**Equipment:** Circuit Breakers  
**Additional Rooms:** Foyer, Study, Terrace, Walk In Closet  
**Garage:** Ownership: Owned  
**Water:** Sewer: Public  
**Const:** Opbs:  
**General:** Info: None  
**Amenities:** Curbs/Gutters, Sidewalks, Street Lights  
**Street:** Paved  
**Asmt:** Incl: None  
**HERS:** Index Score:  
**Green:** Feats:  
**Green:** Rating Source:  
**Sale:** Terms:  
**Possession:** Closing  
**Est Occp:** Date: 02/01/2016  
**Management:**

**Agent Remarks:** ADDITIONAL UNITS AVAILABLE. PLEASE CONTACT LISTING AGENT TO INQUIRE.  
**Internet:** Listing: Yes  
**VOW:** AVI: No  
**Listing:** Type: Exclusive Right to Sell  
**Coop:** Comp: 2.5% LESS \$250 (on Net SP)  
**Showing:** Inst: Click the Schedule a Showing link to schedule a showing.  
**Phone:** (999) 999-9999  
**Team:**  
**Agent:** Owned/Interest: No  
**Co-Lister:** Richard C. Gloor (900401)  
**Co-Lister:** Email: jraspattello@gloor.com  
 None Agent Contact Info:

**Attached Single**  
 Status: **CTG**  
 Area: **302**  
 MLS #: **08640270**  
 List Date: **02/17/2015**  
 List Dt Rec: **02/17/2015**  
 List Price: **\$639,900**  
 Orig List Price: **\$639,900**  
 Sold Price:  
 SP Ind:  
 Parking:

Address: **1133 Chicago Ave Unit 2E, Oak Park, Illinois 60302**  
 Directions: **HARLEM TO CHICAGO EAST ON CHICAGO TO MAPLE**  
 Sold by:  
 Contract: **02/17/2015**  
 Off Mkt: **2015**  
 Blt Before 78: **No**  
 Dimensions: **COMMON AREAS**  
 Ownership: **Condo**  
 Corp Limits: **Oak Park**  
 Coordinates: **N: S: E: W:**  
 Bathrooms: **2/0**  
 Master Bath: **Full**  
 Bsmt. Bath:  
 # Fireplaces: **2**  
 # Spaces: **Gar:2**  
 In Price:  
 SF Source: **Builder**  
 Total Units: **10**  
 % Own. Occ.: **5**  
 Fees/Approvals:

**Remarks:** FABULOUS BR UNIT W/ SOUTHERN & EASTERN EXPOSURE. OVERHEATED GREAT ROOM, OPEN TO PROFESSIONAL GRADE KITCHEN WITH ISLAND/BREAKFAST BAR. ADDITIONAL STUDY, LAUNDRY ROOM & STORAGE ROOM. MASTER BEDROOM SUITE WITH 13.6' WALK-IN CLOSET & SPACIOUS BATH. SUNNY TERRACE. 2 INDOOR HEATED GARAGE SPACES.

Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X21	Main Level	Hardwood	
Dining Room	COMBO	Main Level	Hardwood	
Kitchen	11X09	Main Level	Hardwood	
Family Room		Not Applicable		
Laundry Room	10X07	Main Level	Hardwood	
Study	9X09	Main Level	Not Applicable	
Walk In Closet	13X06	Main Level		

**Interior Property Features:** Hardwood Floors, Laundry Hook-Up in Unit  
**Age:** New Under Construction  
**Type:** Condo, Mid Rise (4-9 Stories)  
**Exposure:**  
**Exterior:** Brick  
**Air Cond:** Central Air  
**Heating:** Gas, Forced Air  
**Kitchen:** Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Disposal, All Stainless Steel Kitchen Appliances  
**Dining:** Combined w/ LivRm  
**Bath:** Amn:  
**Fireplace:** Details:  
**Equipment:** Circuit Breakers  
**Additional Rooms:** Foyer, Study, Terrace, Walk In Closet  
**Garage:** Ownership: Owned  
**Water:** Sewer: Public  
**Const:** Opbs:  
**General:** Info: None  
**Amenities:** Curbs/Gutters, Sidewalks, Street Lights  
**Street:** Paved  
**Asmt:** Incl: None  
**HERS:** Index Score:  
**Green:** Feats:  
**Green:** Rating Source:  
**Sale:** Terms:  
**Possession:** Closing  
**Est Occp:** Date: 02/01/2016  
**Management:**

**Agent Remarks:** ADDITIONAL UNITS AVAILABLE. PLEASE CONTACT LISTING AGENT TO INQUIRE.  
**Internet:** Listing: Yes  
**VOW:** AVI: No  
**Listing:** Type: Exclusive Right to Sell  
**Coop:** Comp: 2.5% LESS \$250 (on Net SP)  
**Showing:** Inst: Click the Schedule a Showing link to schedule a showing.  
**Phone:** (999) 999-9999  
**Team:**  
**Agent:** Owned/Interest: No  
**Co-Lister:** Richard C. Gloor (900401)  
**Co-Lister:** Email: jraspattello@gloor.com  
 None Agent Contact Info:

**Attached Single**  
 Status: **CTG**  
 Area: **302**  
 MLS #: **08640270**  
 List Date: **02/17/2015**  
 List Dt Rec: **02/17/2015**  
 List Price: **\$639,900**  
 Orig List Price: **\$639,900**  
 Sold Price:  
 SP Ind:  
 Parking:

Address: **1133 Chicago Ave Unit 2E, Oak Park, Illinois 60302**  
 Directions: **HARLEM TO CHICAGO EAST ON CHICAGO TO MAPLE**  
 Sold by:  
 Contract: **02/17/2015**  
 Off Mkt: **2015**  
 Blt Before 78: **No**  
 Dimensions: **COMMON AREAS**  
 Ownership: **Condo**  
 Corp Limits: **Oak Park**  
 Coordinates: **N: S: E: W:**  
 Bathrooms: **2/0**  
 Master Bath: **Full**  
 Bsmt. Bath:  
 # Fireplaces: **2**  
 # Spaces: **Gar:2**  
 In Price:  
 SF Source: **Builder**  
 Total Units: **10**  
 % Own. Occ.: **5**  
 Fees/Approvals:

**Remarks:** FABULOUS BR UNIT W/ SOUTHERN & EASTERN EXPOSURE. OVERHEATED GREAT ROOM, OPEN TO PROFESSIONAL GRADE KITCHEN WITH ISLAND/BREAKFAST BAR. ADDITIONAL STUDY, LAUNDRY ROOM & STORAGE ROOM. MASTER BEDROOM SUITE WITH 13.6' WALK-IN CLOSET & SPACIOUS BATH. SUNNY TERRACE. 2 INDOOR HEATED GARAGE SPACES.

Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X21	Main Level	Hardwood	
Dining Room	COMBO	Main Level	Hardwood	
Kitchen	11X09	Main Level	Hardwood	
Family Room		Not Applicable		
Laundry Room	10X07	Main Level	Hardwood	
Study	9X09	Main Level	Not Applicable	
Walk In Closet	13X06	Main Level		

**Interior Property Features:** Hardwood Floors, Laundry Hook-Up in Unit  
**Age:** New Under Construction  
**Type:** Condo, Mid Rise (4-9 Stories)  
**Exposure:**  
**Exterior:** Brick  
**Air Cond:** Central Air  
**Heating:** Gas, Forced Air  
**Kitchen:** Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Disposal, All Stainless Steel Kitchen Appliances  
**Dining:** Combined w/ LivRm  
**Bath:** Amn:  
**Fireplace:** Details:  
**Equipment:** Circuit Breakers  
**Additional Rooms:** Foyer, Study, Terrace, Walk In Closet  
**Garage:** Ownership: Owned  
**Water:** Sewer: Public  
**Const:** Opbs:  
**General:** Info: None  
**Amenities:** Curbs/Gutters, Sidewalks, Street Lights  
**Street:** Paved  
**Asmt:** Incl: None  
**HERS:** Index Score:  
**Green:** Feats:  
**Green:** Rating Source:  
**Sale:** Terms:  
**Possession:** Closing  
**Est Occp:** Date: 02/01/2016  
**Management:**

**Agent Remarks:** ADDITIONAL UNITS AVAILABLE. PLEASE CONTACT LISTING AGENT TO INQUIRE.  
**Internet:** Listing: Yes  
**VOW:** AVI: No  
**Listing:** Type: Exclusive Right to Sell  
**Coop:** Comp: 2.5% LESS \$250 (on Net SP)  
**Showing:** Inst: Click the Schedule a Showing link to schedule a showing.  
**Phone:** (999) 999-9999  
**Team:**  
**Agent:** Owned/Interest: No  
**Co-Lister:** Richard C. Gloor (900401)  
**Co-Lister:** Email: jraspattello@gloor.com  
 None Agent Contact Info:

**Attached Single**  
 Status: **CTG**  
 Area: **302**  
 MLS #: **08640270**  
 List Date: **02/17/2015**  
 List Dt Rec: **02/17/2015**  
 List Price: **\$639,900**  
 Orig List Price: **\$639,900**  
 Sold Price:  
 SP Ind:  
 Parking:

Address: **1133 Chicago Ave Unit 2E, Oak Park, Illinois 60302**  
 Directions: **HARLEM TO CHICAGO EAST ON CHICAGO TO MAPLE**  
 Sold by:  
 Contract: **02/17/2015**  
 Off Mkt: **2015**  
 Blt Before 78: **No**  
 Dimensions: **COMMON AREAS**  
 Ownership: **Condo**  
 Corp Limits: **Oak Park**  
 Coordinates: **N: S: E: W:**  
 Bathrooms: **2/0**  
 Master Bath: **Full**  
 Bsmt. Bath:  
 # Fireplaces: **2**  
 # Spaces: **Gar:2**  
 In Price:  
 SF Source: **Builder**  
 Total Units: **10**  
 % Own. Occ.: **5**  
 Fees/Approvals:

**Remarks:** FABULOUS BR UNIT W/ SOUTHERN & EASTERN EXPOSURE. OVERHEATED GREAT ROOM, OPEN TO PROFESSIONAL GRADE KITCHEN WITH ISLAND/BREAKFAST BAR. ADDITIONAL STUDY, LAUNDRY ROOM & STORAGE ROOM. MASTER BEDROOM SUITE WITH 13.6' WALK-IN CLOSET & SPACIOUS BATH. SUNNY TERRACE. 2 INDOOR HEATED GARAGE SPACES.

Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X21	Main Level	Hardwood	
Dining Room	COMBO	Main Level	Hardwood	
Kitchen	11X09	Main Level	Hardwood	
Family Room		Not Applicable		
Laundry Room	10X07	Main Level	Hardwood	
Study	9X09	Main Level	Not Applicable	
Walk In Closet	13X06	Main Level		

**Interior Property Features:** Hardwood Floors, Laundry Hook-Up in Unit  
**Age:** New Under Construction  
**Type:** Condo, Mid Rise (4-9 Stories)  
**Exposure:**  
**Exterior:** Brick  
**Air Cond:** Central Air  
**Heating:** Gas, Forced Air  
**Kitchen:** Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Disposal, All Stainless Steel Kitchen Appliances  
**Dining:** Combined w/ LivRm  
**Bath:** Amn:  
**Fireplace:** Details:  
**Equipment:** Circuit Breakers  
**Additional Rooms:** Foyer, Study, Terrace, Walk In Closet  
**Garage:** Ownership: Owned  
**Water:** Sewer: Public  
**Const:** Opbs:  
**General:** Info: None  
**Amenities:** Curbs/Gutters, Sidewalks, Street Lights  
**Street:** Paved  
**Asmt:** Incl: None  
**HERS:** Index Score:  
**Green:** Feats:  
**Green:** Rating Source:  
**Sale:** Terms:  
**Possession:** Closing  
**Est Occp:** Date: 02/01/2016  
**Management:**

**Agent Remarks:** ADDITIONAL UNITS AVAILABLE. PLEASE CONTACT LISTING AGENT TO INQUIRE.  
**Internet:** Listing: Yes  
**VOW:** AVI: No  
**Listing:** Type: Exclusive Right to Sell  
**Coop:** Comp: 2.5% LESS \$250 (on Net SP)  
**Showing:** Inst: Click the Schedule a Showing link to schedule a showing.  
**Phone:** (999) 999-9999  
**Team:**  
**Agent:** Owned/Interest: No  
**Co-Lister:** Richard C. Gloor (900401)  
**Co-Lister:** Email: jraspattello@gloor.com  
 None Agent Contact Info:

**Attached Single**  
 Status: **CTG**  
 Area: **302**  
 MLS #: **08640270**  
 List Date: **02/17/2015**  
 List Dt Rec: **02/17/2015**  
 List Price: **\$639,900**  
 Orig List Price: **\$639,900**  
 Sold Price:  
 SP Ind:  
 Parking:

Address: **1133 Chicago Ave Unit 2E, Oak Park, Illinois 60302**  
 Directions: **HARLEM TO CHICAGO EAST ON CHICAGO TO MAPLE**  
 Sold by:  
 Contract: **02/17/2015**  
 Off Mkt: **2015**  
 Blt Before 78: **No**  
 Dimensions: **COMMON AREAS**  
 Ownership: **Condo**  
 Corp Limits: **Oak Park**  
 Coordinates: **N: S: E: W:**  
 Bathrooms: **2/0**  
 Master Bath: **Full**  
 Bsmt. Bath:  
 # Fireplaces: **2**  
 # Spaces: **Gar:2**  
 In Price:  
 SF Source: **Builder**  
 Total Units: **10**  
 % Own. Occ.: **5**  
 Fees/Approvals:

**Remarks:** FABULOUS BR UNIT W/ SOUTHERN & EASTERN EXPOSURE. OVERHEATED GREAT ROOM, OPEN TO PROFESSIONAL GRADE KITCHEN WITH ISLAND/BREAKFAST BAR. ADDITIONAL STUDY, LAUNDRY ROOM & STORAGE ROOM. MASTER BEDROOM SUITE WITH 13.6' WALK-IN CLOSET & SPACIOUS BATH. SUNNY TERRACE. 2 INDOOR HEATED GARAGE SPACES.

Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X21	Main Level	Hardwood	
Dining Room	COMBO	Main Level	Hardwood	
Kitchen	11X09	Main Level	Hardwood	
Family Room		Not Applicable		
Laundry Room	10X07	Main Level	Hardwood	
Study	9X09	Main Level	Not Applicable	
Walk In Closet	13X06	Main Level		

**Interior Property Features:** Hardwood Floors, Laundry Hook-Up in Unit  
**Age:** New Under Construction  
**Type:** Condo, Mid Rise (4-9 Stories)  
**Exposure:**  
**Exterior:** Brick  
**Air Cond:** Central Air  
**Heating:** Gas, Forced Air  
**Kitchen:** Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Disposal, All Stainless Steel Kitchen Appliances  
**Dining:** Combined w/ LivRm  
**Bath:** Amn:  
**Fireplace:** Details:  
**Equipment:** Circuit Breakers  
**Additional Rooms:** Foyer, Study, Terrace, Walk In Closet  
**Garage:** Ownership: Owned  
**Water:** Sewer: Public  
**Const:** Opbs:  
**General:** Info: None  
**Amenities:** Curbs/Gutters, Sidewalks, Street Lights



**Detached Single**  
 Status: **CLSD**  
 Area: 302  
 Address: 1235 N East Ave., Oak Park, Illinois 60302  
 Directions: 1235 N East Ave., Oak Park, Illinois 60302  
 Sold by: Jim Humes (1183747) / @proactives (85774)  
 Closed: 03/16/2015  
 Off Market: 02/23/2015  
 Year Built: 1993  
 Dimensions: 50 X 125  
 Ownership: Fee Simple  
 Coordinates: N14 W68  
 Rooms: 9  
 Bathrooms: 3  
 Master Bath: Full  
 Bsmt. Bath: No  
 # Bedrooms: 3  
 Basement: Partial  
 Parking Incl. In Price.

MLS #: 08842463  
 List Price: \$698,800  
 Orig List Price: \$698,800  
 Sold Price: \$691,500

Contract: 02/23/2015  
 Financing: Cash  
 Bit Before 78: No  
 Subdivision: Oak Park  
 Township: Oak Park  
 Bathrooms: 3 / 1  
 # Fireplaces: 2  
 # Spacing: 2  
 Model: Colonial  
 County: Cook  
 # Bedrooms: 3  
 Master Bath: Full  
 Bsmt. Bath: No  
 # Rooms: 9

Remarks: Rare newer Oak Park construction! This stunning contemporary home show endless attention to detail. Designer kitchen and baths with stainless steel appliances and tiled office create breathtaking vistas. Great deck with small back yard. Attached 2 car garage and a carport. Near a school, manicured lawns and a large driveway. Call today to see this amazing home with a large lot, a carport, a car garage and a carport. Near a school, manicured lawns and a large driveway. Call today to see this amazing home with a large lot, a carport, a car garage and a carport.

**School Data**  
 Elementary: Horace Mann (97)  
 Junior High: Percy Julian (97)  
 High School: Oak Park & River Forest (200)  
 Other:

**Assessments**  
 Amount: \$0  
 Frequency: Not Applicable  
 Special Service Area: No  
 Master Association: No  
 Amount: \$18,839  
 Frequency: (Map)  
 Special Service Area: No  
 Master Association: No

Room Name	Size	Level	Flooring	Win Trmt
Living Room	15X12	2nd Level	Hardwood	All
Dining Room	15X12	2nd Level	Hardwood	All
Kitchen	15X12	2nd Level	Hardwood	All
Family Room	20X14	2nd Level	Hardwood	All
Laundry Room	09X07	2nd Level	Vinyl	All
Loft	15X12	3rd Level	Carpet	All

**Interior Property Features:** Vaulted/Cathedral Ceilings, Hardwood Floors, In-Law Arrangement, 2nd Floor Laundry, 1st Floor Full Bath  
**Exterior Property Features:** Deck, Storms/Screens  
 Age: 21-25 Years  
 Type: 3 Stories  
 Style: Tri-Level  
 Exterior: Cedar  
 Air Cond: Central Air  
 Heating: Gas, Forced Air  
 Appliances: Oven-Double, Microwave, Dishwasher, Refrigerator, Washer, Dryer, All Stainless Steel Kitchen Fixtures  
 Dining: Separate  
 Attic:  
 Basement Details: Sub-Basement  
 Bath Ann: Whirlpool, Separate Shower, Double Sink  
 Fireplace Details: See through/Multi Sided  
 Freespace Location: Family Room, Living Room  
 Equipment:  
 Agent Remarks: Your buyer will love being the 2nd owner of this unique architect designed home. Previous day notice preferred for apprs if possible. Please be prompt and remove shoes. SUPER cool house! Make sure your buyers check out the virtual floor plan

**Additional Rooms:** Loft, Recreation Room  
**Garage Ownership:** Owned  
**Garage On Site:** Yes  
**Water:** Lake Michigan  
**Const Opbs:**  
**General Info:** None  
**Amenities:**  
**Asmt Incl:** None  
**HERS Index Score:**  
**Green Disc:**  
**Green Rating Source:**  
**Green Feats:**  
**Sale Terms:** Conventional  
**Possession:** Negotiable  
**Occ Date:**  
**Exposure:**  
**Lot Size:** Less Than .25 Acre  
**Lot Desc:**

**Agent Remarks:** Your buyer will love being the 2nd owner of this unique architect designed home. Previous day notice preferred for apprs if possible. Please be prompt and remove shoes. SUPER cool house! Make sure your buyers check out the virtual floor plan  
**Internet Listing:** Yes  
**VOW/AM:** No  
**Listing Type:** Exclusive Right to Sell  
**Coop Comp:** 2.5%-200. (on Net SP)  
**Showing Instruct:** click schedule a showing or call 1-877-494-1772  
**Contact Name:**  
**Owner:** OOR  
**Broker:** RE/MAX In The Village Realtors (90706)  
**Phone:** (708) 386-1400  
**Address:** 1235 N East Ave., Oak Park, IL 60302  
**Agent Notices:**  
**Special Comp Info:** Variable  
**Expiration Date:**  
**Agent Owned/Interest:** No  
**Team:**  
**Email:** kyra@netscape.net  
**More Agent Contact Info:**

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 Prepared By: Frank Vitalec | Jameson Sotheby's Intl Realty | 01/20/2016 02:56 PM  
 MLS #: 08842463



**Attached Single**  
 Status: **CTG**  
 Area: 305  
 Address: 444 Ashland Ave Unit 3N, River Forest, Illinois 60305  
 Directions: LAKE TO ASHLAND, SOUTH TO PROPERTY  
 Sold by:  
 Year Built: 2003  
 Off Mkt:  
 Financing: Blt Before 78: No  
 Bit Before 78: No  
 Subdivision: COMMON AREA  
 Township: River Forest  
 Corp Limits: River Forest  
 Coordinates: W:9  
 Rooms: 8  
 Bathrooms: 2/1  
 # Fireplaces: 1  
 # Spacing: 2  
 Model: Colonial  
 County: Cook  
 # Bedrooms: 4  
 Master Bath: Full  
 Bsmt. Bath: No  
 # Rooms: 8  
 Basement: None  
 Waterfront: No  
 Total Units: 6  
 % Own: 100  
 % Cmn: 0  
 Unit Floor Lvl: 3  
 Approx SF: 2746  
 SF Source: Builder  
 # Days for Sale: 30  
 Fees/Approvals:

MLS #: 09098190  
 List Price: \$699,000  
 Orig List Price: \$699,000  
 Sold Price:  
 SP Ind:  
 Listing:

Contract: 12/08/2015  
 Financing: Blt Before 78: No  
 Bit Before 78: No  
 Subdivision: COMMON AREA  
 Township: River Forest  
 Corp Limits: River Forest  
 Coordinates: W:9  
 Rooms: 8  
 Bathrooms: 2/1  
 # Fireplaces: 1  
 # Spacing: 2  
 Model: Colonial  
 County: Cook  
 # Bedrooms: 4  
 Master Bath: Full  
 Bsmt. Bath: No  
 # Rooms: 8  
 Basement: None  
 Waterfront: No  
 Total Units: 6  
 % Own: 100  
 % Cmn: 0  
 Unit Floor Lvl: 3  
 Approx SF: 2746  
 SF Source: Builder  
 # Days for Sale: 30  
 Fees/Approvals:

Remarks: THIS RARELY AVAILABLE FOUR BEDROOM UNIT CAN ONLY BE DESCRIBED AS EXTRAORDINARY. TOP OF THE LINE FINISHES, EXTENSIVE HARDWOOD FLOORING THROUGHOUT, STAINLESS STEEL APPLIANCES, WALK IN CLOSET, WALK IN CLOSET AND DRESSING ROOM, SPAIOUS BAL W/WATER & GAS HOOKUPS, GRT TREETOP VIEWS. 2 GAR SPC. MOVE RIGHT IN!

**School Data**  
 Elementary: (90)  
 Junior High: (90)  
 High School: (200)  
 Other:

**Assessments**  
 Amount: \$480  
 Frequency: Monthly  
 Special Service Area: No  
 Master Association: No  
 Amount: \$16,033  
 Frequency: (Map)  
 Special Service Area: No  
 Master Association: No

Room Name	Size	Level	Flooring	Win Trmt
Living Room	27X13	Main Level	Hardwood	Hardwood
Dining Room	18X15	Main Level	Hardwood	Hardwood
Kitchen	18X12	Main Level	Hardwood	Hardwood
Family Room	09X06	Not Applicable	Hardwood	Hardwood
Shower Room	08X06	Main Level	Hardwood	Hardwood

**Interior Property Features:** Elevator, Laundry Hook-up in Unit, Storage  
**Exterior Property Features:** Balcony, Private Entrance  
 Age: 1-15 Years  
 Type: Condo  
 Garage On Site: Yes  
 Garage Type: Attached  
 Garage Details:  
 Exterior: Brick  
 Air Cond: Central Air  
 Heating: Gas, Forced Air  
 Kitchen: Eating Area-Breakfast Bar, Island  
 Appliances: Oven-Double, Microwave, Dishwasher, Refrigerator, Washer, Dryer, Disposal  
 Dining: L-shaped  
 Bath Ann: Whirlpool, Separate Shower, Double Sink  
 Fireplace Details: Gas Logs, Gas Starter  
 Freespace Location: Family Room  
 Electricity: Circuit Breakers  
 Equipment: TV-Cable  
 Additional Rooms: Foyer, Sitting Room  
 Agent Remarks:  
 Internet Listing: Yes  
 VOW/AM: No  
 Listing Type: Exclusive Right to Sell  
 Coop Comp: 2.5% - \$295 (on Net SP)  
 Showing Instruct: Call Listing Agent  
 Mgmt. Co: Cortland Properties  
 Owner: OOR  
 Broker: RE/MAX (90891)  
 Phone: (708) 848-0200  
 Address: 444 Ashland Ave., River Forest, IL 60305  
 Agent Notices:  
 Special Comp Info: None  
 Expiration Date:  
 Agent Owned/Interest: No  
 Team:  
 Email: frankvitalec@netproperties.com  
 More Agent Contact Info:  
 Owner Can Rent:

**Additional Rooms:** Foyer, Sitting Room  
**Agent Remarks:**  
**Internet Listing:** Yes  
**VOW/AM:** No  
**Listing Type:** Exclusive Right to Sell  
**Coop Comp:** 2.5% - \$295 (on Net SP)  
**Showing Instruct:** Call Listing Agent  
**Mgmt. Co:** Cortland Properties  
**Owner:** OOR  
**Broker:** RE/MAX (90891)  
**Phone:** (708) 848-0200  
**Address:** 444 Ashland Ave., River Forest, IL 60305  
**Agent Notices:**  
**Special Comp Info:** None  
**Expiration Date:**  
**Agent Owned/Interest:** No  
**Team:**  
**Email:** frankvitalec@netproperties.com  
**More Agent Contact Info:**  
**Owner Can Rent:**

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 Prepared By: Frank Vitalec | Jameson Sotheby's Intl Realty | 01/20/2016 02:56 PM  
 MLS #: 09098190



**Detached Single**  
 Status: **TEMP**  
 Area: 302  
 Address: 1215 Woodbine Ave, Oak Park, Illinois 60302  
 Directions: South of North Avenue - north of Division  
 Sold by: [Redacted]  
 Off Market: 12/05/2015  
 Year Built: 1957  
 Dimensions: 50 X 179  
 Ownership: Fee Simple  
 Subdivision:  
 Corp Limits: Oak Park  
 Coordinates: N: S: E: W:  
 Rooms: 11  
 Bathrooms: 3 / 1  
 Master Bath: Full  
 Bsmt: Bath: No  
 Bedrooms: 5  
 Basement: Full  
 # Fireplaces: 1  
 Country: Cook  
 Parking: Garage  
 # Spaces: Gar: 2  
 Parking In: Yes  
 In Price:  
 Lst. Mkt. Time: 83  
 Contingency:  
 Curr. Leased: No  
 Model: Mid-century Contemporary  
 Financing: Conventional  
 Off Market: 12/05/2015  
 Year Built: 1957  
 Dimensions: 50 X 179  
 Ownership: Fee Simple  
 Subdivision:  
 Corp Limits: Oak Park  
 Coordinates: N: S: E: W:  
 Rooms: 11  
 Bathrooms: 3 / 1  
 Master Bath: Full  
 Bsmt: Bath: No  
 Bedrooms: 5  
 Basement: Full  
 # Fireplaces: 1  
 Country: Cook  
 Parking: Garage  
 # Spaces: Gar: 2  
 Parking In: Yes  
 In Price:

**Remarks:** This sleek, large contemporary home offers five bedrooms, 3 full baths + powder room, gorgeous new kitchen with all high end appliances. Wood Mode Cabinetry, Quartz countertops, Sub Zero refrigerator, Miele double ovens, wine cooler and built-in espresso maker. The family rm features a gas fireplace and built-in bookshelves. There are three bedrooms and two baths on the first floor and a absolutely beautiful Master Bedroom Suite and ornamental fireplace. The master closet is 12 x 10 with built-in garage. Enormous 1,984 sq ft finished lower level features an additional family room w/ marble throughout, recreation room, storage room, and huge laundry. Total living space is over 5,200 sq ft. Attached two car garage. Large deck with hot tub. Great spacious home for entertaining and family living.

**School Data**  
 Elementary: Horace Mann (97)  
 Junior High: Percy Julian (97)  
 High School: Oak Park & River Forest (200)  
 Other:  
 Assessments  
 Amount: \$0  
 Frequency: Not Applicable  
 Special Assessment: No  
 Master Service Area: No  
 Tax Expts: Homeowner  
 Tax Year: 2014  
 Amount: \$19,673  
 PIN: 16061030290000  
 Mult. PINs: No  
 Tax Year: 2014  
 Tax Expts: Homeowner  
 Amount: \$0  
 Frequency: Not Applicable  
 Special Assessment: No  
 Master Service Area: No  
 Tax Expts: Homeowner  
 Tax Year: 2014  
 Amount: \$19,673  
 PIN: 16061030290000  
 Mult. PINs: No  
 Tax Year: 2014  
 Tax Expts: Homeowner

Room Name	Size	Level	Flooring	Win Trmt
Living Room	24X15	Main Level	Hardwood	All
Dining Room	14X12	Main Level	Hardwood	All
Kitchen	14X12	Main Level	Hardwood	All
Family Room	12X8	Main Level	Hardwood	All
Living Room	12X8	Main Level	Hardwood	All
5th Bedroom	11X11	2nd Level	Vinyl	None
Recreation Room	24X20	Basement	Vinyl	None
Bonus	13X48	Basement	Vinyl	None

**Interior Property Features:** Sauna/Steam Room, Hot Tub, Bar-Dry, Hardwood Floors, 1st Floor Full Bath  
 Age: 51-60 Years, Recent Rehab  
 Type: 2 Stories  
 Style: Contemporary  
 Exterior: Vinyl Siding, Brick  
 Heating: Gas, Forced Air  
 Kitchen: Eating Area-Breakfast Bar, Island  
 Appliances: Oven-Double, Microwave, Dishwasher, High End Refrigerator, Freezer, Washer, Dryer, Disposal, All Stainless Steel Kitchen Appliances, Dishwasher/Refrigerator  
 Dining: Separate  
 Basement Details: Finished  
 Bath: Amm:Whirlpool, Separate Shower, Steam Shower, Double Sink  
 Fireplace Details: Wood Burning, Gas Logs  
 Fireplace Location: Family Room, Living Room, Basement  
 Equipment: Circuit Breakers, 200+ Amp Service, Humidifier, Security System, CO Detectors, Sump Pump, Air Cleaner  
**Agent Remarks:** Great home with 1st floor living. 2nd floor has killer master suite with all the upgrades. Great kitchen & family room. Attached garage. Immaculately maintained with all new windows. Exclude address sign on front of house. Include pool table & lower level TV. Lower level fireplace is non-functioning.

**Remarks on Internet?:** Yes  
 NO Comments/Reviews: No  
 Holds Esc. Prop. Info: Yes  
 Special Comp Info: None  
 Add. Sales Info: None  
 Cont. to Show?:  
 Showing In: Use showing time - Lock box on front door.  
 Mgmt. Co.:  
 Broker: [Redacted]  
 Ph #: (708) 848-0200  
 Lst Agent: Anthony Iversen (152411)  
 Email: tonyiwersen@atproperties.com;  
 Agent Owned/Interest: No  
 Team: Team Iversen  
 Contact Name:  
 Ph #: (708) 772-8040  
 Expiration Date:  
 Address: 1215 Woodbine Ave, Oak Park, IL 60302  
 Lot Size: Less Than .25 Acre  
 Lot Desc: Disc'nced Yard  
 Roof: Asphalt/Glass (Shingles)  
 Sewer: Sewer-Public  
 Water: Lake Michigan  
 Const: Op's:  
 General: Info: School Bus Service, Commuter Train  
 Amenities:  
 Asmt: Ind: None  
 HERS Index Score:  
 Green Disc:  
 Green Rating Source:  
 Green Feats:  
 Sale Terms: Conventional  
 Possession: Closing  
 Occ Date:  
 Address: 1215 Woodbine Ave, Oak Park, IL 60302  
 Lot Size: Less Than .25 Acre  
 Lot Desc: Disc'nced Yard  
 Roof: Asphalt/Glass (Shingles)  
 Sewer: Sewer-Public  
 Water: Lake Michigan  
 Const: Op's:  
 General: Info: School Bus Service, Commuter Train  
 Amenities:  
 Asmt: Ind: None  
 HERS Index Score:  
 Green Disc:  
 Green Rating Source:  
 Green Feats:  
 Sale Terms: Conventional  
 Possession: Closing  
 Occ Date:



**Detached Single**  
 Status: **CLSD**  
 Area: 302  
 Address: 1023 N Kenilworth Ave, Oak Park, Illinois 60302  
 Directions: 2 blocks West of Oak Park Ave, 2 blocks North of Division, home on West side of street.  
 Sold by: [Redacted]  
 Off Market: 03/31/2015  
 Year Built: 1931  
 Dimensions: 50 X 150  
 Ownership: Fee Simple  
 Subdivision:  
 Corp Limits: Oak Park  
 Coordinates: N: S: E: W:  
 Rooms: 9  
 Bathrooms: 3 / 1  
 Master Bath: Full  
 Bsmt: Bath: Yes  
 Bedrooms: 4  
 Basement: Full  
 # Fireplaces: 1  
 Country: Cook  
 Parking: Garage  
 # Spaces: Gar: 2  
 Parking In: Yes  
 In Price:  
 Lst. Mkt. Time: 54  
 Contingency:  
 Curr. Leased: No  
 Model: Mid-century Contemporary  
 Financing: Conventional  
 Off Market: 03/31/2015  
 Year Built: 1931  
 Dimensions: 50 X 150  
 Ownership: Fee Simple  
 Subdivision:  
 Corp Limits: Oak Park  
 Coordinates: N: S: E: W:  
 Rooms: 9  
 Bathrooms: 3 / 1  
 Master Bath: Full  
 Bsmt: Bath: Yes  
 Bedrooms: 4  
 Basement: Full  
 # Fireplaces: 1  
 Country: Cook  
 Parking: Garage  
 # Spaces: Gar: 2  
 Parking In: Yes  
 In Price:

**Remarks:** Luxury living in a Total Rehab w/ everything you want! Master suite, mudroom, chef's kitchen w/ island & great room, large fam room with wine cellar, brick and fireplace thru out. Subzero Cooktop, Subzero Dishwasher, Subzero Refrigerator, Subzero Freezer, Subzero Wine Cooler, Subzero Ice Maker, Subzero Espresso Machine, etc. All new plumbing, electrical, zoned HVAC, Laundry on 1st and 2nd flr. 4 beds on 2nd floor. 3.5 baths. Buyer can choose kitchen finishes! Local Builder provides 2 year warranty.

**School Data**  
 Elementary: Horace Mann (97)  
 Junior High: Percy Julian (97)  
 High School: Oak Park & River Forest (200)  
 Other:  
 Assessments  
 Amount: \$0  
 Frequency: Not Applicable  
 Special Assessment: No  
 Master Service Area: No  
 Tax Expts: Homeowner  
 Tax Year: 2013  
 Amount: \$14,619.14  
 PIN: 16061170190000  
 Mult. PINs: No  
 Tax Year: 2013  
 Tax Expts: Homeowner

Room Name	Size	Level	Flooring	Win Trmt
Living Room	12X17	Main Level	Hardwood	All
Dining Room	13X10	Main Level	Hardwood	All
Kitchen	15X14	Main Level	Hardwood	All
Family Room	15X14	Main Level	Hardwood	All
Laundry Room	3X4	2nd Level	Porcelain Tile	All
Recreation Room	29X30	Lower Level	Carpet	All
Basement	29X30	Walkout Basement	Carpet	All

**Interior Property Features:** Bar-Dry, Hardwood Floors, 2nd Floor Laundry  
 Age: 81-90 Years, Recent Rehab  
 Type: 2 Stories  
 Style: Contemporary  
 Exterior: Brick  
 Heating: Gas, Forced Air, Zoned  
 Kitchen: Eating Area-Breakfast Bar, Island  
 Appliances: Oven-Double, Dishwasher, High End Refrigerator, Disposal, All Stainless Steel Kitchen Appliances, Wine Cooler/Refrigerator  
 Dining: Combined w/ FamRm  
 Attic: Full, Interior Stair  
 Basement Details: Finished  
 Bath: Amm: Separate Shower, Double Sink, Soaking Tub  
 Exposure:  
 Preplace Location:  
 Electricity: Circuit Breakers, 200+ Amp Service  
 Equipment: TV-Cable, CO Detectors  
**Agent Remarks:** Must use multi-board 6.0 contract. Everything new or restored in this home; contact LAG for details on work. Buyer can choose kitchen finishes.

**Remarks on Internet?:** Yes  
 NO Comments/Reviews: No  
 Holds Esc. Prop. Info: Yes  
 Special Comp Info: None  
 Add. Sales Info: Home Warranty  
 Cont. to Show?:  
 Showing In: Use showing time - Lock box on front door.  
 Mgmt. Co.:  
 Broker: [Redacted]  
 Ph #: (708) 771-8040  
 Lst Agent: Matt Halper (901635)  
 Col-Isler:  
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 MLS #: 08832763  
 Prepared by: Frank Vitale | Jameson Sobhey's Real Estate | 01/20/2016 02:56 PM

**Interior Property Features:** Additional Rooms-Mud Room, Recreation Room, Utility Room-Lower Level, Other  
 Age: 81-90 Years, Recent Rehab  
 Type: 2 Stories  
 Style: Contemporary  
 Exterior: Brick  
 Heating: Gas, Forced Air, Zoned  
 Kitchen: Eating Area-Breakfast Bar, Island  
 Appliances: Oven-Double, Dishwasher, High End Refrigerator, Disposal, All Stainless Steel Kitchen Appliances, Wine Cooler/Refrigerator  
 Dining: Combined w/ FamRm  
 Attic: Full, Interior Stair  
 Basement Details: Finished  
 Bath: Amm: Separate Shower, Double Sink, Soaking Tub  
 Exposure:  
 Preplace Location:  
 Electricity: Circuit Breakers, 200+ Amp Service  
 Equipment: TV-Cable, CO Detectors  
**Agent Remarks:** Must use multi-board 6.0 contract. Everything new or restored in this home; contact LAG for details on work. Buyer can choose kitchen finishes.

**Remarks on Internet?:** Yes  
 NO Comments/Reviews: No  
 Holds Esc. Prop. Info: Yes  
 Special Comp Info: None  
 Add. Sales Info: Home Warranty  
 Cont. to Show?:  
 Showing In: Use showing time - Lock box on front door.  
 Mgmt. Co.:  
 Broker: [Redacted]  
 Ph #: (708) 771-8040  
 Lst Agent: Matt Halper (901635)  
 Col-Isler:  
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 MLS #: 08832763  
 Prepared by: Frank Vitale | Jameson Sobhey's Real Estate | 01/20/2016 02:56 PM



**MLS #:** 08828593  
**List Date:** 02/02/2015  
**Original List Price:** \$1,350,000  
**Sold Price:** \$1,209,000  
**List Price:** \$1,350,000  
**Area:** 3025  
**Directions:** 1124 Park Ave, River Forest, Illinois 60305  
**Sold by:** Jennifer Barnes (239055) / Vivian Sanders  
**Contract:** 05/04/2015  
**Off Market:** 06/30/2015  
**Year Built:** 1984  
**Dimensions:** 60 X 218  
**Ownership:** Fee Simple  
**County:** Cook  
**Subdivision:** River Forest  
**Financing:** Conventional  
**BE Before:** 78  
**Model:** Contemporary  
**Country:** Cook  
**Full/Half:** 1  
**Bathrooms:** 4 / 1  
**Master Bath:** Full  
**Bsmnt. Bath:** Yes  
**Rooms:** 10  
**# Spaces:** Gar:2.5  
**Parking:** In Price  
**Basement:** Full  
**Finishing:** No  
**Contingency:** No  
**Current Lease:** No  
**Off Market:** 06/30/2015  
**Year Built:** 1984  
**Dimensions:** 60 X 218  
**Ownership:** Fee Simple  
**County:** Cook  
**Subdivision:** River Forest  
**Financing:** Conventional  
**BE Before:** 78  
**Model:** Contemporary  
**Country:** Cook  
**Full/Half:** 1  
**Bathrooms:** 4 / 1  
**Master Bath:** Full  
**Bsmnt. Bath:** Yes  
**Rooms:** 10  
**# Spaces:** Gar:2.5  
**Parking:** In Price  
**Basement:** Full  
**Finishing:** No  
**Contingency:** No  
**Current Lease:** No

**Remarks:** Unique, sophisticated contemporary home located on a beautiful block. This home features a grand two story foyer with a floating staircase. New, state of the art kitchen and custom baths. Generous sized rooms throughout the house. This home has been totally renovated with high end finishes. Perfectly manicured, park-like yard. Attached, heated 2 1/2 car garage. Great location in estate section of River Forest.

School Data		Assessments		Tax		Miscellaneous	
Elementary: Willard (90)	Amount: \$0	Frequency: Not Applicable	Amount: \$28,754	Waterfront: No	Amount: \$12,543.03	Waterfront: No	Waterfront: No
Junior High: Roosevelt (90)	Special Assessments: No	Special Service Area: No	Multi PINs: Yes	Approx SF: 4600	Frequency: Not Applicable	Approx SF: 3600	Approx SF: 3600
High School: Oak Park & River Forest (200)	Master Association: No	Master Association: No	Tax Exmp: Homeowner	Acres: Other	Special Assessments: No	Acres: Other	Acres: Other
Other:							

Room Name	Size	Level	Flooring	Win Trmt
Living Room	24X14	Main Level	Marble	All
Dining Room	18X14	Main Level	Carpet	All
Kitchen	12X12	Main Level	Marble	All
Family Room	12X6	Main Level	Ceramic Tile	All
Laundry Room	18X12	Main Level	Marble	None
Breakfast Room	18X12	Main Level	Marble	None
Foyer	29X12	Main Level	Marble	None
Master Bedroom	17X15	2nd Level	Carpet	All
3rd Bedroom	12X11	2nd Level	Carpet	All
4th Bedroom	14X13	2nd Level	Carpet	All
Recreation Room	38X28	Lower	Carpet	None

**Interior Property Features:** Sauna/Steam Room, Bar/Wet, Hardwood Floors, 1st Floor Laundry  
**Exterior Property Features:** Balcony, Patio, Brick Paver Patio, Storms/Screened  
**Additional Rooms:** Breakfast Room, Foyer, Recreation Room, Asphalt/Glass (Shingles)  
**Age:** 31-40 Years, Recent Rehab  
**Type:** 2 Stories  
**Style:** Contemporary  
**Exterior:** Brick  
**Air Cond:** Central Air, Zoned, 2 Separate Systems  
**Heating:** Gas, Forced Air  
**Kitchen:**  
**Appliances:**  
**Attic:** Full Down Stair  
**Basement Details:** Finished  
**Bath:** Whirlpool, Separate Shower, Steam Shower, Double Sink, Double Shower, Soaking Tub  
**Fireplace Details:** Gas Logs  
**Equipment:** Circuit Breakers, 200+ Amp Service  
**Back Up Sump Pump, Power Generator**  
**Agent Remarks:** Beautiful custom built all concrete house. Fantastic interior - must see.

**Internet Listing:** Yes  
**VOW/AVM:** No  
**Listing Type:** Exclusive Right to Sell  
**Coop Comp:** 2.5% - \$325 (on Net SP)  
**Showing Inst:** Call listings agents - showing agents must accompany  
**Mgmt. Co.:** agents must accompany  
**Broker:** Berkshire Hathaway HomeServices KoenigRubloff (10317)  
**List Agent:** Anthony Iwersen (152411)  
**Co-lister:** Kathy Iwersen (901516)  
**Phone:** (708) 772-8040  
**Ph #:** (708) 772-8041  
**Ph #:** (708) 772-8040 or 8041  
**More Agent Contact Info:** Tony/Kathy 708-772-8040 or 8041  
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**MLS #:** 08828593



**MLS #:** 08970591  
**List Date:** 07/02/2015  
**Original List Price:** \$1,499,000  
**Sold Price:** \$1,499,000  
**Area:** 3025  
**Directions:** 333 Elizabeth Trl, Oak Park, Illinois 60302  
**Sold by:** Jennifer Barnes (239055) / Vivian Sanders  
**Contract:** 05/04/2015  
**Off Market:** 06/30/2015  
**Year Built:** 1984  
**Dimensions:** 102 X 130 X 61 X 15 X 42 X 115  
**Ownership:** Fee Simple  
**County:** Cook  
**Subdivision:** River Forest  
**Financing:** Conventional  
**BE Before:** 78  
**Model:** Contemporary  
**Country:** Cook  
**Full/Half:** 1  
**Bathrooms:** 4 / 1  
**Master Bath:** Full  
**Bsmnt. Bath:** Yes  
**Rooms:** 10  
**# Spaces:** Gar:2  
**Parking:** In Price  
**Basement:** Full  
**Finishing:** No  
**Contingency:** No  
**Current Lease:** No

**Remarks:** City-style living on coveted Elizabeth Court, in the Frank Lloyd Wright Historic District. Just steps from downtown Oak Park and sitting on an expansive lot, the 4 bedroom, 3 1/2 bath, 2, Fred Butler Barn, by E.E. Roberts, combines historic charm & modern amenities. This home's unique floor plan boasts an open loft style, 2nd floor that includes a living room, dining room, kitchen with granite & high-end stainless steel appliances, as well as a separate family room with full bath. The 1st floor includes a living room, dining room, kitchen with granite & high-end stainless steel appliances, as well as a separate family room with full bath. The 1st floor includes a living room, dining room, kitchen with granite & high-end stainless steel appliances, as well as a separate family room with full bath. Additionally, there are 3 nice sized bedrooms with great closet space & a den. All of this on one of the most private lots in Oak Park.

School Data		Assessments		Tax		Miscellaneous	
Elementary: Oliver W Holmes (97)	Amount: \$0	Frequency: Not Applicable	Amount: \$12,543.03	Waterfront: No	Amount: \$12,543.03	Waterfront: No	Waterfront: No
Junior High: Gwendolyn Brooks (97)	Special Assessments: No	Special Service Area: No	Multi PINs: Yes	Approx SF: 4600	Frequency: Not Applicable	Approx SF: 3600	Approx SF: 3600
High School: Oak Park & River Forest (200)	Master Association: No	Master Association: No	Tax Exmp: Homeowner	Acres: Other	Special Assessments: No	Acres: Other	Acres: Other
Other:							

Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X10	Main Level	Hardwood	All
Dining Room	28X15	2nd Level	Hardwood	All
Kitchen	15X15	2nd Level	Hardwood	All
Family Room	14X12	2nd Level	Hardwood	All
Laundry Room	15X10	Basement	Other	None
Den	12X12	Main Level	Hardwood	None
Foyer	12X10	Main Level	Slate	None
Master Bedroom	16X11	Main Level	Carpet	All
3rd Bedroom	16X10	Main Level	Carpet	All
4th Bedroom	16X9	Main Level	Carpet	All

**Interior Property Features:** Vaulted/Cathedral Ceilings, Hardwood Floors, 1st Floor Bed Room, 1st Floor Full Bath  
**Exterior Property Features:** Patio, Hot Tub, Brick Paver Patio, Storms/Screened  
**Additional Rooms:** Den, Foyer  
**Age:** 100+ Years  
**Type:** 2 Stories  
**Style:** Queen Anne  
**Exterior:** Frame  
**Air Cond:** Central Air, Space Pac  
**Heating:** Hot Water/Steam, Baseboard  
**Kitchen:** Eating Area-Breakfast Bar, Pantry-Closet  
**Appliances:** Oven-Double, Oven/Range, Microwave, Dishwasher, Refrigerator, High End Refrigerator, Kitchen Appliances  
**Attic:**  
**Basement Details:** Unfinished  
**Bath:** Ann: Separate Shower, Full Body Spray Shower, Soaking Tub  
**Fireplace Location:** Living Room, Master Bedroom  
**Equipment:** Humidifier, TV-Cable, Fan-Whole House  
**Agent Remarks:** Agent related to seller. There are 3 pins for this property. Owner purchase portion of yard space from adjoining home on Kenilworth several years ago greatly increasing the back yard space of this home. Tax id numbers, 1607103090000, 1607103090000 & 1607103042000

**Internet Listing:** Yes  
**VOW/AVM:** No  
**Listing Type:** Exclusive Right to Sell  
**Coop Comp:** 2.5% - \$300 (on Net SP)  
**Showing Inst:** Call Showing Desk - must confirm all appointments - listing agent must accompany.  
**Mgmt. Co.:** agents must accompany  
**Broker:** Baird & Warner, Inc. (90140)  
**List Agent:** Catherine Simon-Vobornik (900936)  
**Co-lister:**  
**Phone:** (312) 501-4048  
**Ph #:** (312) 501-4048  
**Ph #:** (312) 501-4048  
**More Agent Contact Info:** Email:catherine.simon@bairdwarner.com  
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**MLS #:** 08970591

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# PersonicX Lifestages

## Personicx Lifestyle

### 01 Summit Estates

Summit Estates is the wealthiest of all clusters in terms of net worth. In every sense, these families are enjoying the good life – luxury travel, entertainment and consumption of all kinds are within easy reach.

#### ABOUT SUMMIT ESTATES

Summit Estates combines above average wealth and education. These late-30s to early-50s households with children and teens rank high for household income, home value and net worth. They are also almost two-and-a-half times as likely to have completed graduate school. The group includes more than twice the average number of Asians. They create time in their often professional-dual-income-with-kids schedules for cultural activities, financial matters, sports and the home. They are serious and savvy investors, buyers of luxury cars and SUVs, gourmet food and wine aficionados.

HOUSEHOLDS: 3,343,780 (2.39% OF U.S.)



#### WHEN THEY GREW UP ...

- Voyager reaches Saturn
- "Kramer vs. Kramer" is released
- Sandra Day O'Connor is sworn in as the first woman Supreme Court justice
- Play-Man mania sweeps the nation

#### SHOPPING...

- Apple Store
- Ann Taylor
- Banana Republic
- Nordstrom
- Williams-Sonoma

#### DIGITAL/ONLINE...

- AT&T Uverse
- iPads
- Verizon Online
- weij.com

#### FINANCIAL...

- Fidelity Equity Line of Credit
- American Express Gold
- Airline Mile Rewards
- Vanguard Group Mutual Funds
- Fidelity Brokerage Firm

#### TV/RADIO...

- All News Radio
- SiriusXM Radio
- Video-On-Demand
- "Modern Family"
- Tour de France

#### MAGAZINES/NEWSPAPERS...

- Architectural Digest
- House Beautiful
- Martha Stewart Living
- Cooking Light
- Vanity Fair

#### ACTIVITIES...

- Book Clubs
- Visit Museums
- Own Power Boat
- Ice Skating
- Downhill Skiing

#### TRAVEL/AUTO...

- Luxury Cars
- BMWs
- United Airlines
- Extensive Travel
- Budget Rental Cars

#### Cluster Info

Age	36-65
Marital Status	Married
Home Ownership	Owner
Kids	Kids/Age Mix
Income	\$120,000 +
Urbanicity	Suburbs & Towns
Urbanicity Rank	57
Net Worth	\$2MM+
Net Worth Rank	1

## Personicx Lifestyle

### 02 Established Elite

Established Elite represents America's elite couples and some singles. With no school-age children at home and some of the highest income in the country, these households have generous net worth and disposable incomes and pursue competing luxuries and activities.

#### ABOUT ESTABLISHED ELITE

Established Elite is among America's most wealthy and well-educated couples, enjoying high rankings for most everything. Ages vary, with most being 45 or above, and they are primarily married with no children under the age of 18 in the home. They are mostly in managerial positions or professional occupations, with some entrepreneurs, as noted by a slightly higher incidence of self-employment. Established Elite's activities are more varied than other clusters, with more frequent travel, more activities in their communities and in the arts, enjoying art galleries, museums and live theater.

HOUSEHOLDS: 3,628,420 (2.59% OF U.S.)



#### WHEN THEY GREW UP ...

- Debut of "The Price is Right" game show
- Dick Williams helps lead the Oakland A's to World Series dominance
- "Watergate Down" by Richard Adams is published
- Oil embargo leads to fuel shortages and skyrocketing prices

#### SHOPPING...

- Chico's
- Nordstrom
- Williams-Sonoma
- Sfp & Shop
- Trader Joe's

#### DIGITAL/ONLINE...

- Macbook
- Travel Plans Online
- HuffingtonPost.com
- LinkedIn.com
- Yelp

#### FINANCIAL...

- Money Market Accounts
- Fidelity Investments for Mutual Funds
- Own Vacation/Weekend Home
- USAA Home Insurance
- Political Contributions

#### TV/RADIO...

- NPR
- Classical Radio Format
- Bloomberg Television
- Van der Zand With Greta Van Susteren"
- Marketplace

#### MAGAZINES/NEWSPAPERS...

- 2+ Daily Newspapers
- Architectural Digest
- House Beautiful
- Money
- Consumer Reports

#### ACTIVITIES...

- Chess
- Collectible Puzzles
- Attend Art Galleries
- Live Theater
- Museums
- Charitable Organizations

#### TRAVEL/AUTO...

- US Airways
- Beach
- Luxury Cars
- Travel to Italy
- Cruises

## Personixx Lifestage

### 03 Corporate Connected

Corporate Connected consists well-educated and well-compensated singles and couples in their 40s to 60s. These corporate executives and professionals are serious travelers, whether for work or pleasure, and intelligent investors.

#### ABOUT CORPORATE CONNECTED

Corporate Connected households are exceedingly well educated and established in their executive and professional careers, with high incomes and net worth. Whether married or single, they almost uniformly have no children under the age of 18 living with them. This group seems to be firmly tied to corporate American culture. They hold business-related credit cards, are heavy users of air travel and pay close attention to business and finance enticements. Professional responsibilities compete for time with travel and fitness-related leisure pursuits.

HOUSEHOLDS: 2,899,560 (2.07% OF U.S.)



**WHEN THEY GREW UP ...**

- "Sophisticated" by William Styron is published
- "Amier" debuts on Broadway
- Grocho Marx dies
- Cult leader Jim Jones organizes mass suicide via cyanide-laced punch

#### SHOPPING...

- Am Taylor
- Urvy Foods Market
- HomeDepot.com
- Expedia.com

#### DIGITALONLINE...

- Any Apple/Mac Brand
- CNET.com
- Orbitz.com
- AOL Mail
- LinkedIn.com

#### FINANCIAL

- Business Checking Accounts
- Newspapers & Magazines for Financial Advice
- IRAs
- Annuities
- Mutual Funds

#### TV/RADIO...

- Public Radio Format
- SiriusXM Radio
- "Hannity"
- "The O'Reilly Factor"
- "Caster"

#### MAGAZINES/NEWSPAPERS...

- Newsweek, Business/Finance
- Newsweek, Travel
- Consumer Reports
- Food & Wine
- Golf

#### ACTIVITIES...

- Grow Herbs
- Dine Out
- Book Clubs
- Play Golf
- Parties

#### TRAVEL/AUTO...

- Lexus
- Fly Business Class
- Royal Caribbean Cruises
- American Advantage Frequent Flyer Programs
- Marriott

#### Cluster Info

Age	36-75
Marital Status	Married/Single
Home Ownership	Owner
Kids	No Kids
Income	\$120,000 +
Income Rank	7
Urbanicity	City & Surrounds
Urbanicity Rank	12
Net Worth	\$1MM-\$2MM
Net Worth Rank	3

## Personixx Lifestage

### 04 Top Professionals

This entire cluster ranks high for net worth, and is one of the most well educated of all the clusters. Top Professional households tend to shop at upscale stores, spend time managing their investments and adhere to regular fitness programs.

#### ABOUT TOP PROFESSIONALS

This cluster represents established, wealthy families, often with older children and teens, living in the lap of suburban luxury. With high rankings for education, income and net worth, Top Professionals contains married executives and professionals who earn top-dollar incomes, monitor their investments and indulge in an expensive array of activities. Reflecting their devotion to kids, they tend to the beach and enjoy family-friendly sports. They are frequent travelers, and many in this cluster own a second home. Members of this cluster often drive a luxury minivan or SUV. They are frequent shoppers, buying clothes for themselves and their kids, and furnishing their houses.

HOUSEHOLDS: 3,274,880 (2.34% OF U.S.)



**WHEN THEY GREW UP ...**

- Orzco "hole" found over Antarctica
- Bryant Gumbel named co-host of NBC's "Today Show"
- Cabbage Patch Kids are must-have toys
- "Gemini's" terrorizes moviegoers

#### SHOPPING...

- Banana Republic
- J.Crew
- The Gap
- Costco
- Lands End Online

#### DIGITALONLINE...

- iMac
- Verizon FiOS
- iPads
- About.com
- Shutterstock.com

#### FINANCIAL

- Mortgage Refinance/Consolidation Loan
- American Express Green
- Target Card
- USAA Auto Insurance
- Fidelity Brokerage Firm

#### TV/RADIO...

- All News Radio Format
- Public Radio
- "The Daily Show with Jon Stewart"
- "Glee"
- "Modern Family"

#### MAGAZINES/NEWSPAPERS...

- National Geographic Kids
- Real Simple
- Shape
- Time
- Parents

#### ACTIVITIES...

- Jog/Run
- Ice Skating
- Downhill Skiing
- Soccer
- Tennis

#### TRAVEL/AUTO...

- Own Minivans
- Own Hondas
- Beach
- Frequent Flyer Clubs
- Embassy Suites



## Personicx Lifestage

### 29 City Mixers

City Mixers are single, ethnically diverse urbanites in their 30s to 50s with no children in the home. They work in a broad spectrum of white-collar jobs.

#### ABOUT CITY MIXERS

City Mixers is markedly single, childless and urban. These white-collar professionals live in the nation's largest DMAs. Their spending reflects singleton status, with clothing, shoes, electronics and travel high on the list. The group is particularly ethnically diverse – almost three times as likely to include Asians, along with greater percentages of African-Americans and Hispanics. There is a mix of renters and homeowners, although as city dwellers they are more likely to rent. They enjoy a rich cultural existence, combining an extensive amount of travel, museum visits and the arts.

HOUSEHOLDS: 973,959 (0.70% OF U.S.)



#### Cluster Info

Age	30-55
Marital Status	Single
Home Ownership	Renter/Owner
Kids	No Kids
Income Rank	\$60,000 - \$74,999
Urbanicity	25
Urbanicity Rank	1
Net Worth	<\$1MM
Net Worth Rank	16

#### WHEN THEY GREW UP ...

- End of Gulf War
- "The Silence of the Lambs" is in theaters
- Huble Space Telescope launch
- Nelson Mandela released from South African prison

#### SHOPPING...

- Sears
- Amazon Travel
- Macy's
- JCrew
- Trader Joe's

#### DIGITAL/ONLINE...

- MacBook Pro
- New York Times Online
- CheapTickets.com
- Orbitz.com
- Yelp

#### FINANCIAL...

- New Interest Checking Accounts
- Citibank
- American Express Blue
- Contribute to NPR
- TurboTax

#### TV/RADIO...

- Public Radio Format
- News Talk Radio Format
- Sundance Channel
- "CBS Face the Nation"
- "Modern Family"

#### MAGAZINES/NEWSPAPERS...

- Architectural Digest
- Vanity Fair
- Travel + Leisure
- GQ
- Maxim

#### ACTIVITIES...

- Cooking for Fun
- Art Galleries or Shows
- News/Information/Documentary Shows
- Attend NBA Games
- Road Bike

#### TRAVEL/AUTO...

- Subway/Metro
- Watch Movies While Flying
- Beach
- United Airlines
- TripAdvisor.com





**SECTION 13.  
TRAFFIC STUDY (INCLUDING PARKING STUDY)**

**EXHIBIT 13.1: KLOA TRAFFIC AND PARKING STUDY**

- Exhibit 13.1: KLOA Traffic and Parking Study (dated May 10, 2016)

# Traffic Impact Study Proposed District House Development

Oak Park, Illinois



Prepared By



May 10, 2016

# 1.

## Introduction

This report summarizes the results of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed mixed-use development to be located in Oak Park, Illinois. The site, which formerly contained the Tasty Dog restaurant, is located in the northwest quadrant of the intersection of Lake Street with Euclid Avenue. As proposed, the development is to consist of 28 condominiums and approximately 4,500 square feet of commercial space with access provided via a single access drive on Euclid Avenue. A total of 37 parking spaces will be provided within a first floor parking garage.

**Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site area.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

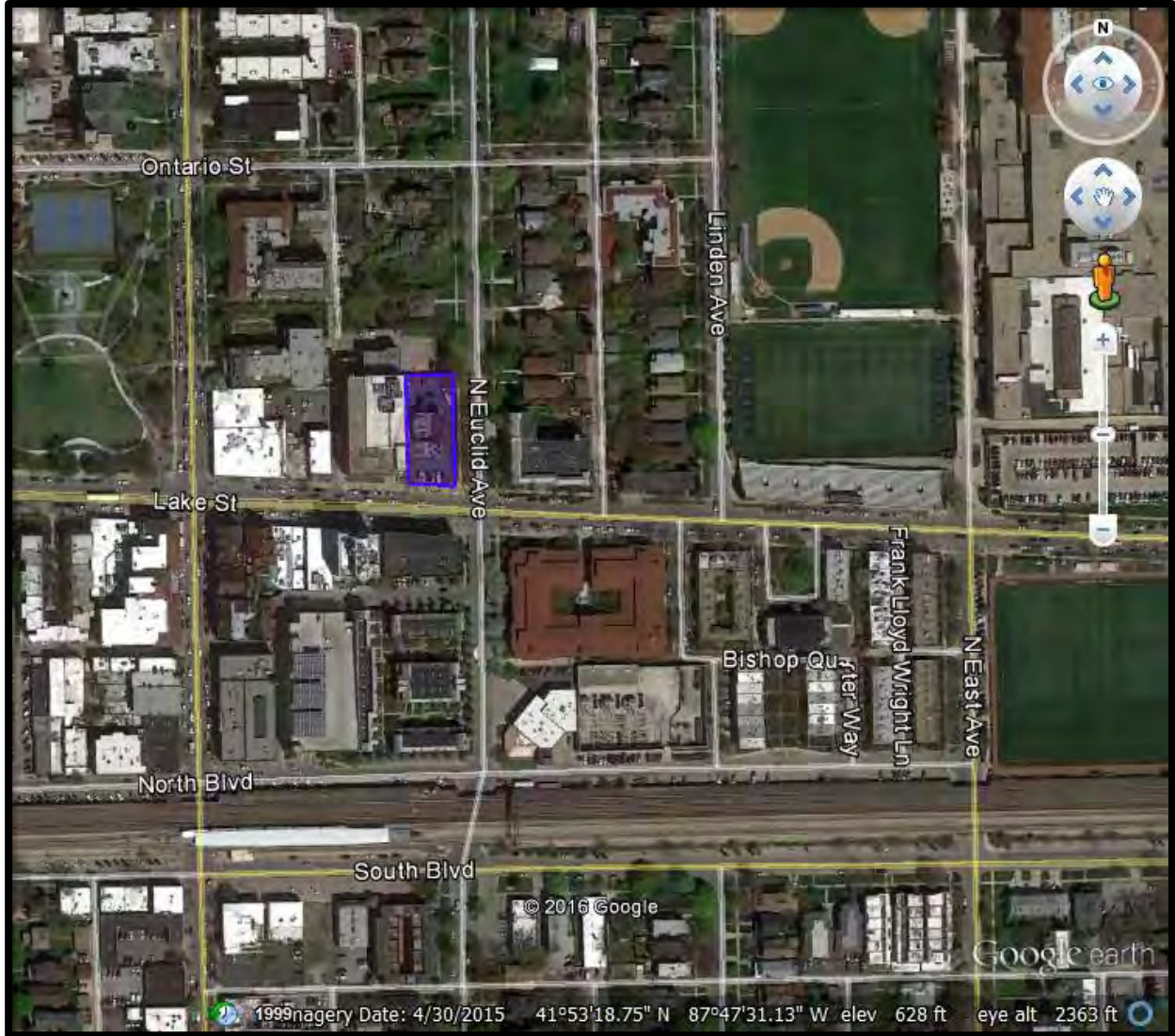
The sections of this memorandum present the following:

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning, weekday evening, and Saturday midday peak hours
- Recommendations with respect to adequacy of the site access system and adjacent roadways
- Adequacy of the parking supply



Site Location

Figure 1



**Aerial View of Site Location**

**Figure 2**

## 2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

### Site Location

The site, which formerly contained the Tasty Dog restaurant, is located in the northwest quadrant of the intersection of Lake Street with Euclid Avenue within the Oak Park Avenue shopping district. Land uses in the vicinity of the site are primary residential to the north and east with commercial uses located south and west along Lake Street and Oak Park Avenue. Furthermore, Oak Park River Forest (OPRF) High School is located one block east of the site and the Oak Park Library and Scoville Park are located one to two blocks to the west. Finally, the site is located approximately two blocks from the Chicago Transit Authority (CTA) Green Line Oak Park station and approximately ½ mile from the Metra Union Pacific/West Line Oak Park station.

### Existing Roadway System Characteristics

The following is a description of the area roadways which are illustrated in **Figure 3**:

*Lake Street* is an east-west arterial road that has a three-lane cross section with parking generally permitted on both sides of the road. Separate left-turn lanes are provided on Lake Street at its signalized intersections with Oak Park Avenue, Euclid Avenue, and East Avenue. Lake Street has a posted speed limit of 25 mph and a park speed limit of 20 mph. Pedestrian crosswalks are generally provided at all of the Lake Street intersections and pedestrian traffic signals are provided at its signalized intersections with Oak Park Avenue, Euclid Avenue, and East Avenue.

*South Boulevard* is an east-west local road. East of Oak Park Avenue, South Boulevard is a two-way road that has one lane in each direction with parking generally permitted on both sides of the road. West of Oak Park Avenue, South Boulevard is a one-way westbound road that generally has one moving lane with parking permitted on the south side of the road. Its intersection with Oak Park Avenue is under traffic signal control and its intersections with Euclid Avenue and East Avenue are under all-way stop sign control. South Boulevard has a posted speed limit of 25 mph. Pedestrian crosswalks are generally provided at all of the South Boulevard intersections and pedestrian traffic signals are provided at its signalized intersection with Oak Park Avenue.



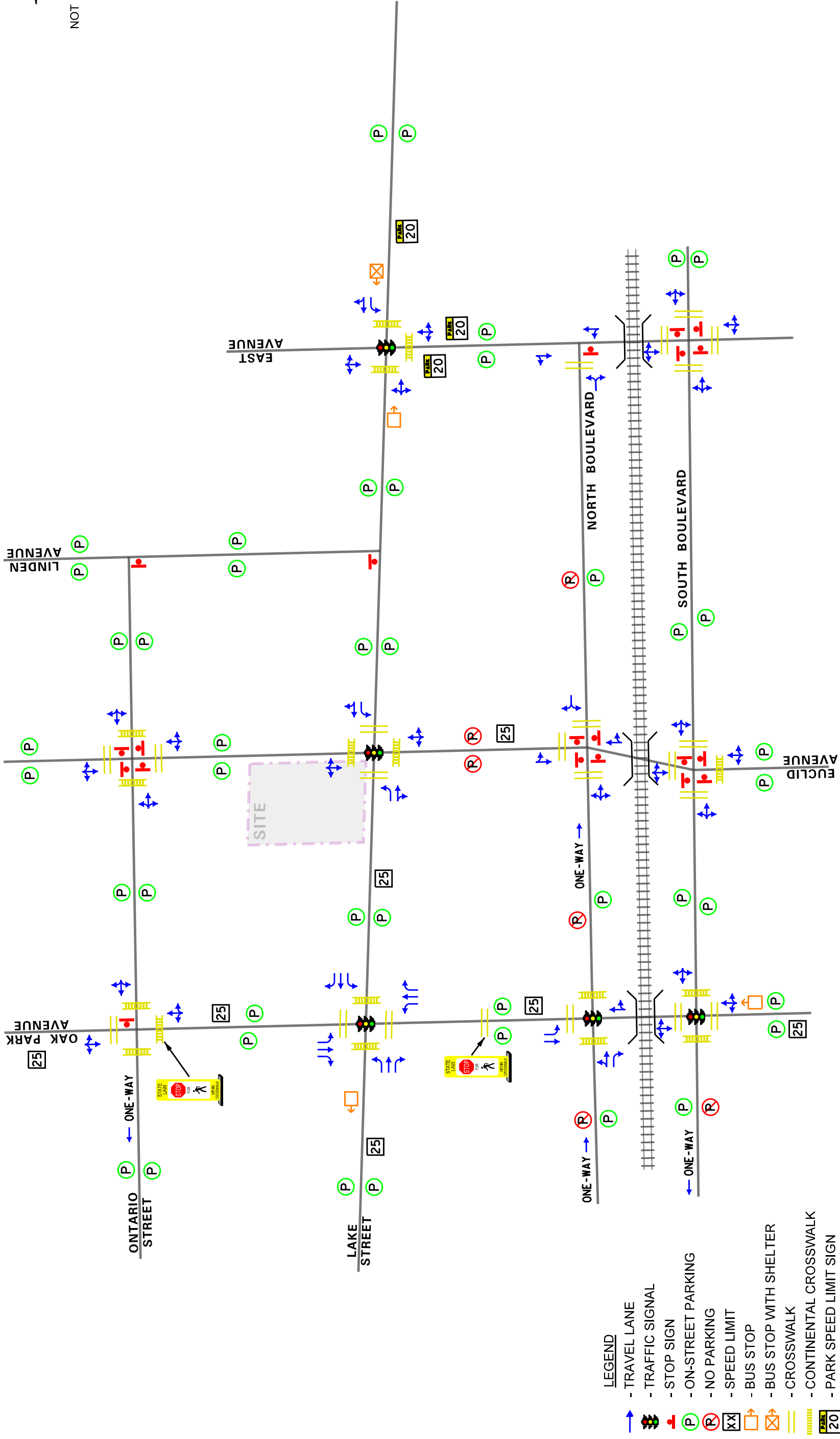
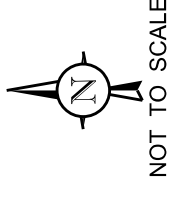
*North Boulevard* is an east-west local road that terminates at East Avenue. (The road has been vacated through the high school campus.) West of Euclid Avenue, North Boulevard is a one-way eastbound road that generally has one moving lane with parking permitted on the south side of the road. Between Euclid Avenue and East Avenue, North Boulevard is a two-way road that has one lane in each direction with parking permitted on the south side of the road. Its intersection with Oak Park Avenue is under traffic signal control and its intersection with Euclid Avenue is under all-way stop sign control. Pedestrian crosswalks are generally provided at all of the North Boulevard intersections and pedestrian traffic signals are provided at its signalized intersection with Oak Park Avenue.

*Ontario Street* is an east-west local road that terminates at Linden Avenue. (The road has been vacated through the high school campus.) East of Oak Park Avenue, Ontario Street is a two-way road that has one lane in each direction with parking generally permitted on both sides of the road. Between Oak Park Avenue and Grove Avenue, Ontario Street is a one-way westbound road that generally has one moving lane with parking permitted on both sides of the road. Ontario Street is under stop sign control at its intersection with Oak Park Avenue and its intersection with Euclid Avenue is under all-way stop sign control. Pedestrian crosswalks are generally provided at all of the Ontario Street intersections.

*Oak Park Avenue* is a north-south arterial road that generally has one lane in each direction with parking permitted on both sides of the road. Between Lake Street and South Boulevard, Oak Park Avenue has a three-lane cross section. Separate left-turn lanes are provided on Oak Park Avenue at its signalized intersections with Lake Street and North Boulevard. Oak Park Avenue has a posted speed limit of 25 mph. Pedestrian crosswalks are generally provided at all of the Oak Park Avenue intersections and pedestrian traffic signals are provided at its signalized intersections with Lake Street, North Boulevard, and South Boulevard. In addition, a midblock pedestrian crosswalk is provided on Oak Park Avenue between Lake Street and North Boulevard.

*Euclid Avenue* is a north-south local road that has one lane in each direction with parking generally permitted on both sides of the road. Parking is prohibited on both sides of the road between Lake Street and South Boulevard. Its intersection with Lake Street is under traffic signal control and its intersections with North Boulevard and with South Boulevard are under all-way stop sign control. Pedestrian crosswalks are generally provided at all of the Euclid Avenue intersections and pedestrian traffic signals are provided at its signalized intersection with Lake Street.

*East Avenue* is a north-south collector road that has one lane in each direction with parking generally permitted on both sides of the road. The road has been vacated through the high school campus. Its intersection with Lake Street is under traffic signal control and its intersection with South Boulevard is under all-way stop sign control. Within the study area, East Avenue has a posted park speed limit of 20 mph. Pedestrian crosswalks are generally provided at all of the East Avenue intersections and pedestrian traffic signals are provided at its signalized intersection with Lake Street.



- LEGEND**
- TRAVEL LANE
  - TRAFFIC SIGNAL
  - STOP SIGN
  - ON-STREET PARKING
  - NO PARKING
  - SPEED LIMIT
  - BUS STOP
  - BUS STOP WITH SHELTER
  - CROSSWALK
  - CONTINENTAL CROSSWALK
  - PARK SPEED LIMIT SIGN

PROJECT:	Mixed-Use Redevelopment Oak Park, Illinois
TITLE:	EXISTING ROADWAY CHARACTERISTICS
	Job No: 16-078
	Figure: 3

## **Alternative Modes of Transportation**

The area is served via several modes of public transportation including the CTA Green Line, the Metra Union Pacific/West Line, and Pace Suburban buses. The following CTA and Metra train stations are located within close proximity to the site:

- The Oak Park station serving the CTA Green Line is located approximately two blocks to the south and west of the site. This line extends from Harlem Avenue through the Loop to 63<sup>rd</sup> Street on Chicago's South Side.
- The Oak Park Metra station serving the Metra Union Pacific/West Line is located approximately one-half mile to the west of the site. This line provides service between Elburn and the Ogilvie Transportation Center in Chicago.

Furthermore, the site is located within close proximity to the following Pace Suburban bus routes:

- Pace Suburban Bus Route 309 – This route provides service seven days a week between Austin Boulevard and Elmhurst generally along Lake Street.
- Pace Suburban Bus Route 311 – This route provides weekday and Saturday service from North Avenue/Narraganset Avenue along Oak Park Avenue.
- Pace Suburban Bus Route 315 – This route provides weekday and Saturday service between the CTA Green Line Ridgeland station in Oak Park and Madison/Austin in Chicago. The route also serves Oak Park River Forest High School.

## **Existing Traffic Volumes**

Manual turning movement vehicle, pedestrian, and bicycle traffic counts were conducted on Thursday, March 10, 2016 during the morning (7:00 A.M. to 9:00 A.M.) and evening (4:00 P.M. to 6:00 P.M.) peak periods and on Saturday, March 12, 2016 during the midday (noon to 2:00 P.M.) peak period at the following intersections:

- Oak Park Avenue with Lake Street
- Oak Park Avenue with North Boulevard
- Oak Park Avenue with South Boulevard
- Euclid Avenue with Ontario Street
- Euclid Avenue with Lake Street
- Euclid Avenue with North Boulevard
- Euclid Avenue with South Boulevard

In addition, previous traffic counts conducted in September 2014 at the following intersections were used for this study:

- East Avenue with Lake Street
- East Avenue with South Boulevard

From the traffic count data, it was determined that the weekday morning peak hour generally occurs between 7:15 A.M. and 8:15 A.M., the weekday evening peak hour generally occurs between 5:00 P.M. and 6:00 P.M. , and the Saturday midday peak hour occurs from Noon to 1:00 P.M. Please note that the Saturday traffic counts conducted in 2014 at the intersections along East Avenue were performed from 10:00 A.M. to Noon as opposed to Noon to 2:00 P.M. If necessary, the 2014 traffic counts were increased so that they balanced with the 2016 traffic counts. The peak hour vehicle traffic volumes are shown in **Figure 4** and the peak hour pedestrian and bicycle volumes are illustrated in **Figure 5**.

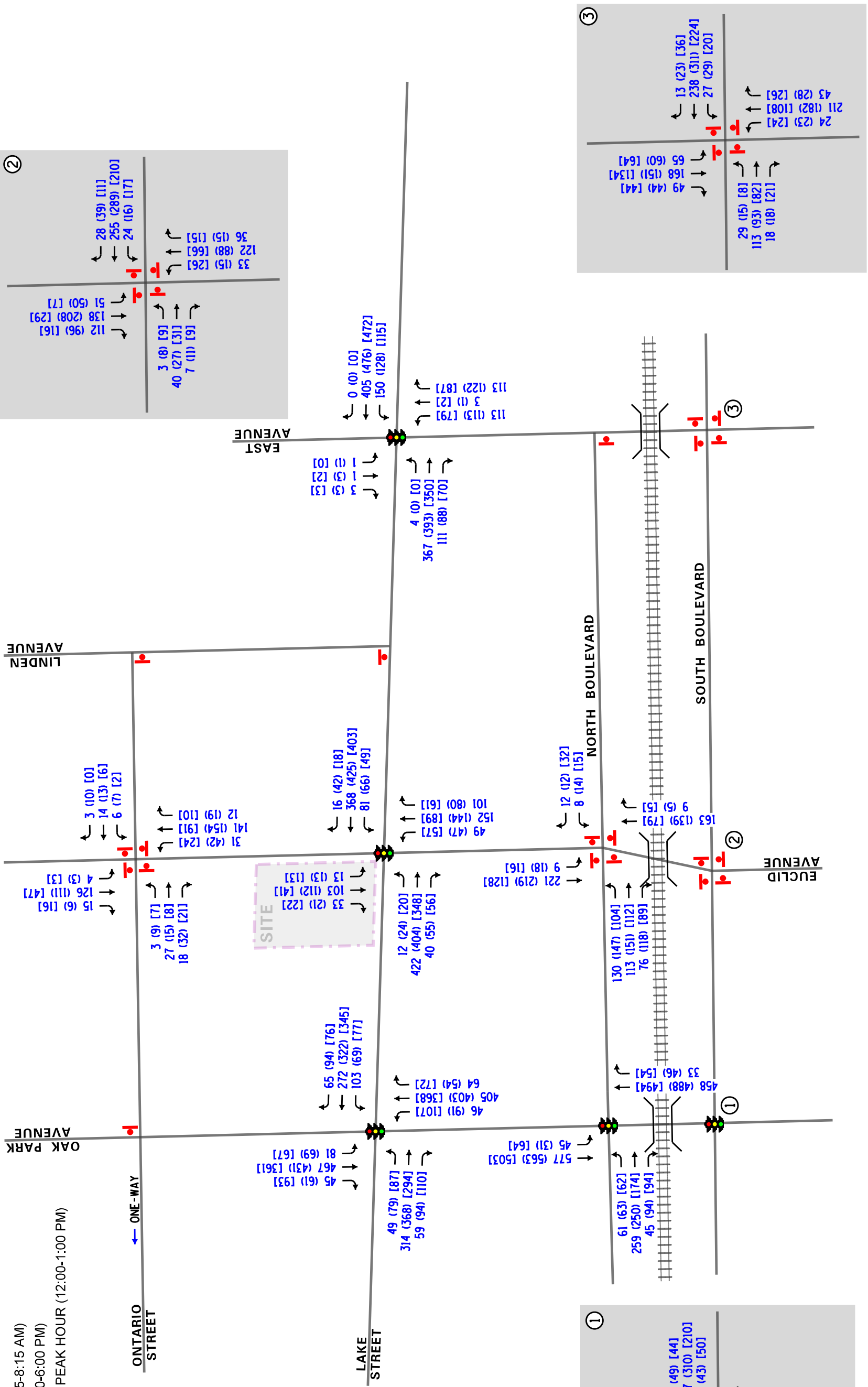
### **Field Observations**

Field observations have revealed that some congestion (queuing and delay) occurs in the study area, primarily along Lake Street and Oak Park Avenue as discussed below.

- During the morning peak hour, the roadway system in the study area generally operates well. However, some congestion is occurs in the study area, particularly the eastern portion, due to the start of school at OPRF. It is important to note that the congestion typically only occurs for a 20 to 30 minute period and is inherent with most high schools.
- During the evening peak hour, the primary queuing occurs along northbound Oak Park Avenue, eastbound Lake Street at Oak Park Avenue, and westbound South Boulevard at Oak Park Avenue. The queues typically clear the intersections during a single traffic signal cycle. However, traffic at the end of the queue sometimes requires two traffic signal cycles to clear the intersections, particularly along northbound Oak Park Avenue.
- During the Saturday midday peak hour, the primary queuing occurs along northbound Oak Park Avenue. The queues typically clear the intersections during a single traffic signal cycle. However, traffic at the end of the queue sometimes requires two traffic signal cycles to clear the intersections.

**LEGEND**

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (5:00-6:00 PM)
- [00] - SATURDAY MIDDAY PEAK HOUR (12:00-1:00 PM)



PROJECT:

Mixed-Use Redevelopment  
Oak Park, Illinois

TITLE:

EXISTING TRAFFIC VOLUMES



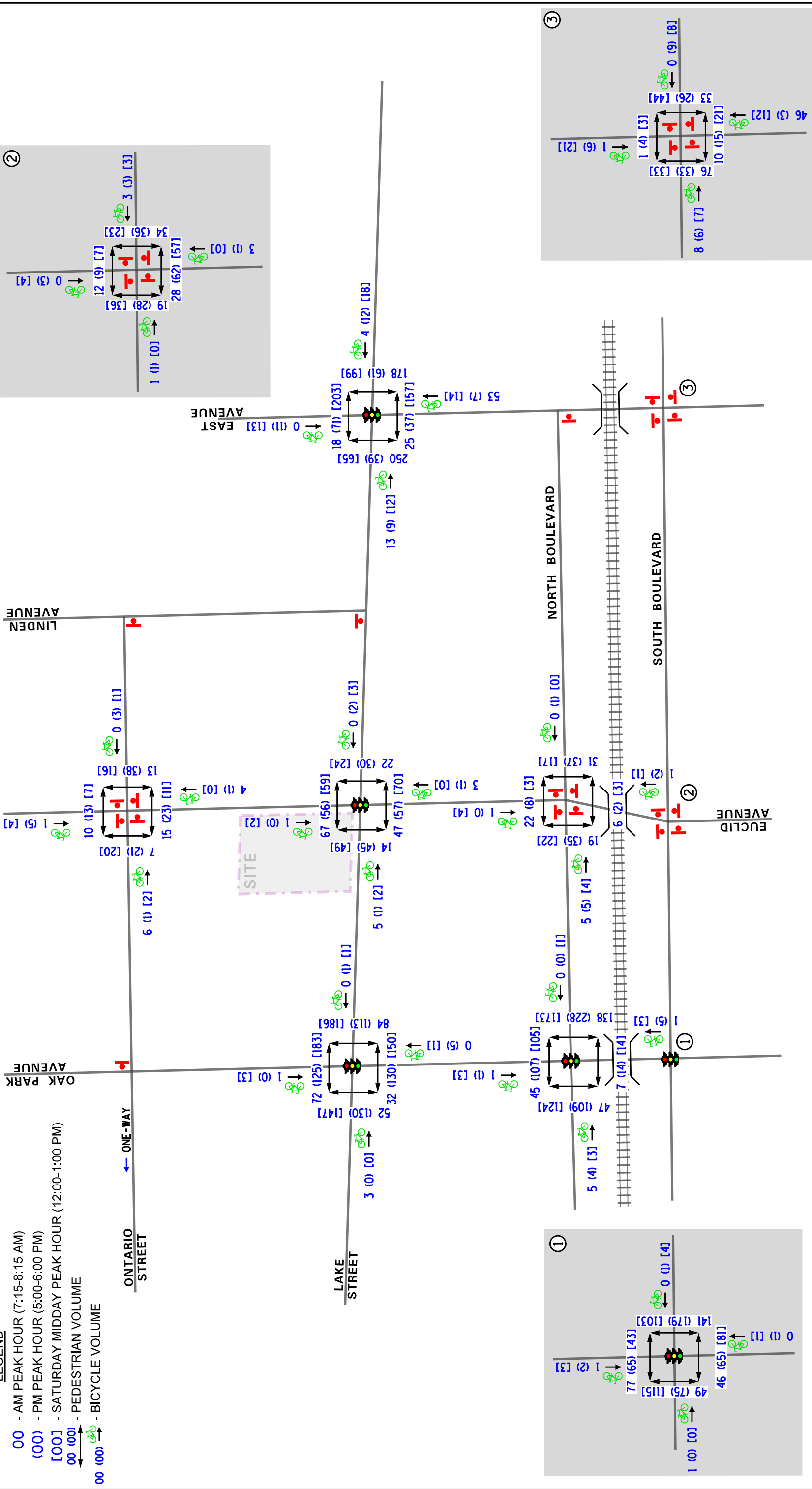
Job No: 16-078

Figure: 4

**LEGEND**

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (5:00-6:00 PM)
- [00] - SATURDAY MIDDAY PEAK HOUR (12:00-1:00 PM)
- 00 (00) - PEDESTRIAN VOLUME
- 00 (00) - BICYCLE VOLUME

← ONE-WAY



PROJECT:

Mixed-Use Redevelopment  
Oak Park, Illinois

TITLE:

EXISTING PEDESTRIAN AND BICYCLE TRAFFIC VOLUMES



Figure: 5

In addition to the proximity of OPRF, the congestion in the area is due in part to the following urban/downtown characteristics of the area and the roadway system, all of which reduce the flow of vehicle traffic through the area.

- The parallel parking provided along Oak Park Avenue, Lake Street, and the other streets in the area. Traffic must stop and wait as motorists pull in and out of parking spaces.
- The high pedestrian activity generated by the commercial developments, the other area attractions, the CTA station, and OPRF. Right-turn and left-turn traffic must yield to pedestrians crossing the intersections.
- The mid-block pedestrian crosswalks on Oak Park Avenue between Lake Street and South Boulevard and at the Ontario Street intersection. Motorists are required by law to stop and yield the right-of-way when pedestrian are using the crosswalks.

As such, it can be seen that some of the area congestion is inherent with the urban/downtown nature of the area and its proximity to OPRF.

### 3.

## Traffic Characteristics of the Proposed Mixed-Use Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

### Proposed Site and Development Plan

As proposed, the site is to be developed with a five-story building that will contain approximately 4,500 square feet of ground floor commercial space and 28 condominiums. The development will provide 37 parking spaces located in a first floor parking garage. Access to the first floor parking garage is proposed to be provided via one access drive located on the west side of Euclid Avenue at the north end of the site. The access drive is proposed to provide one inbound lane and one outbound lane with the outbound lane under stop sign control. As part of the development, the existing access drive on Lake Street serving the site will be eliminated.

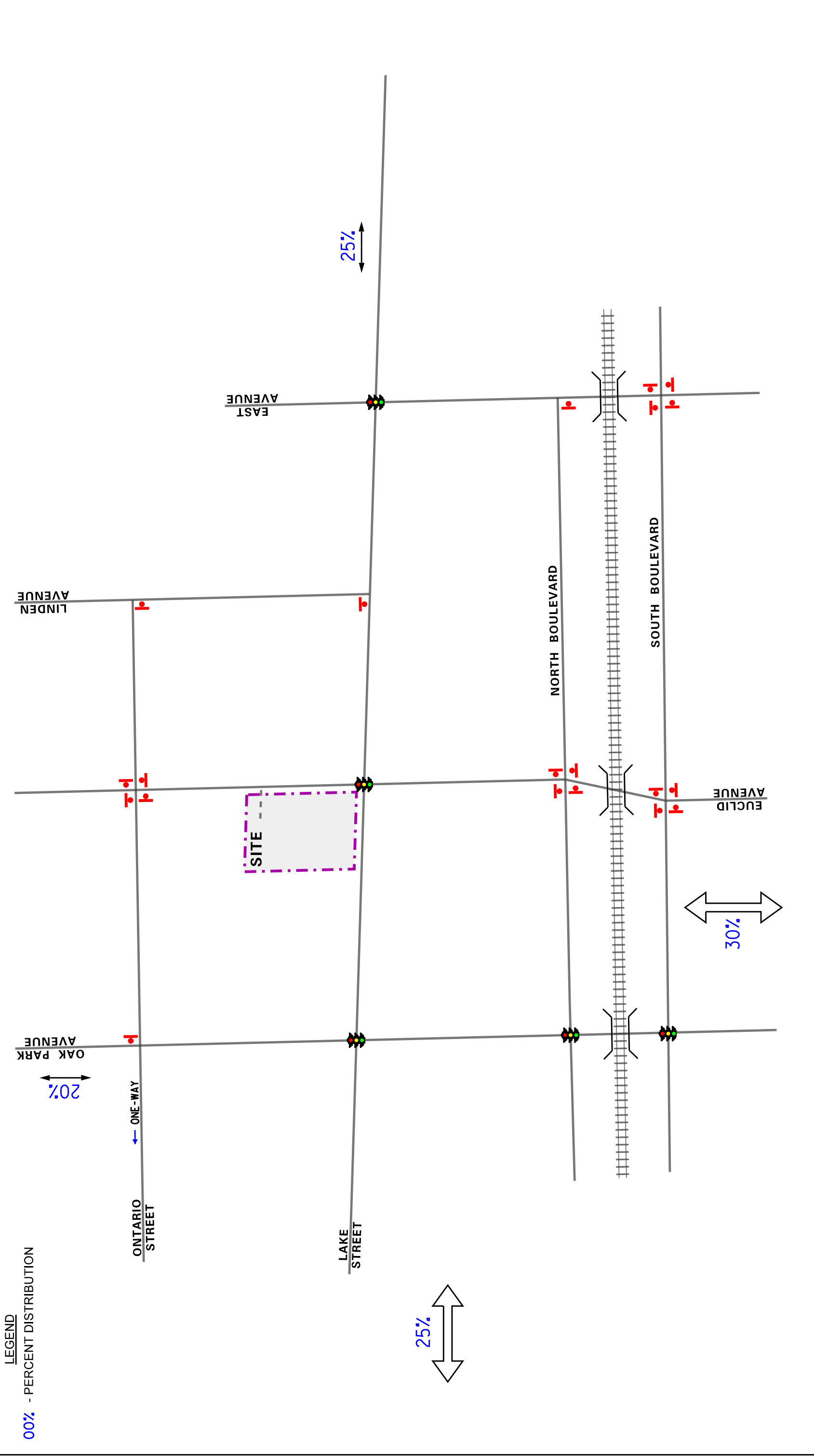
### Directional Distribution

The directional distribution of how traffic will approach and depart the development was estimated based on a combination of existing travel patterns and the orientation and physical restrictions of the surrounding roadway system. Given the grid roadway system serving the area, the development-generated traffic has multiple ways to travel to and from the development which will only reduce the impact of the development on the existing roadway system. **Figure 6** illustrates the estimated directional distribution for the proposed development.

### Peak Hour Traffic Volumes

The peak hour traffic volumes that will be generated by the proposed mixed-use development were estimated based on trip generation rates provided in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9<sup>th</sup> Edition. However, the trip rates assume that the primary mode of transportation is the automobile. Given the location of the development within an urban/downtown area, the mixed-use nature of the development, and the proximity of the site to alternative modes of transportation, the development has many characteristics of a Transit Oriented Development (TOD) and will result in less dependence on automobile use. Based on Census data, approximately 35 percent of the area residents commute to work via alternative modes of transportation than the automobile. As such, the volume of traffic to be generated by the condominiums was reduced by 35 percent. To provide a conservative (worst-case) analysis, no reductions were assumed for the traffic to be generated by the commercial space. **Table 1** shows the estimated peak hour traffic to be generated by the proposed development.





PROJECT: Mixed-Use Redevelopment Oak Park, Illinois	TITLE: ESTIMATED DIRECTIONAL DISTRIBUTION	 Job No: 16-078 Figure: 6
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Table 1  
TRIP GENERATION ESTIMATES

	Weekday Morning Peak Hour		Weekday Evening Peak Hour		Saturday Midday Peak Hour	
	In	Out	In	Out	In	Out
Condominiums <sup>1</sup>	3	15	14	7	8	7
<i>35% Reduction<sup>2</sup></i>	<u>-1</u>	<u>-5</u>	<u>-5</u>	<u>-2</u>	<u>-3</u>	<u>-2</u>
Subtotal	2	10	9	5	5	5
Commercial Space <sup>3</sup>	<u>5</u>	<u>7</u>	<u>7</u>	<u>5</u>	<u>9</u>	<u>9</u>
Total	7	17	16	10	14	14

1. Estimates based on the Residential Condominium/Townhouse (Land-Use Code 230) rates provided in the ITE *Trip Generation Manual*, 9<sup>th</sup> Edition.
2. Percent of residents anticipated to use alternative modes of transportation to commute to and from work and is based on Census data.
3. Estimates based on the Specialty Retail Center (Land-Use Code 826) rates provided in the ITE *Trip Generation Manual*, 9<sup>th</sup> Edition.

It should be noted that the site contained the former 2,300 square-foot Tasty Dog restaurant that had a drive-through lane. To provide a comparison, the volume of traffic generated by the former restaurant with drive-through lane was estimated based on rates provided in the ITE *Trip Generation Manual*, 9<sup>th</sup> Edition. The volume of traffic was reduced by 35 percent to account for those patrons that did not drive to the restaurant. **Table 2** shows the estimated traffic to be generated by the proposed development and the former Tasty Dog restaurant.

Given that the Tasty Dog restaurant was closed in the morning, the proposed development is projected to generate more traffic than the former Tasty Dog restaurant during the morning peak period. However, the former Tasty Dog restaurant is estimated to generate approximately two times the traffic during the weekday evening peak hour and three times the traffic during the Saturday midday peak hour than the proposed development. As such, it can be seen that the former Tasty Dog restaurant with drive-through lane was a more traffic-intense development than the proposed development.

Table 2  
TRIP GENERATION COMPARISON

	Weekday Morning Peak Hour		Weekday Evening Peak Hour		Saturday Midday Peak Hour	
	In	Out	In	Out	In	Out
Proposed Development	7	17	16	10	14	14
Tasty Dog Restaurant <sup>1</sup>	<u>0</u>	<u>0</u>	<u>25</u>	<u>24</u>	<u>44</u>	<u>44</u>
Difference	7	17	-9	-14	-30	-30

1. Assumed a 35 percent reduction in the estimated volume of traffic to be generated by the existing Tasty Dog restaurant to account for those patrons that did not drive to the restaurant.

## 4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

### Development Traffic Assignment

The peak hour traffic volumes estimated to be generated by the proposed development (Table 1) were assigned to the area roadways based on the directional distribution analysis (Figure 6). **Figure 7** shows the assignment of the development-generated traffic volumes.

### Background Traffic Conditions

In order to account for background growth, the existing traffic volumes were increased by 1.0 percent per year during the weekday morning peak hour and 0.5 percent per year during the weekday evening and Saturday midday peak hours for five years to reflect Year 2021 traffic conditions. It should be noted that the weekday morning peak hour was increased twice as much as the weekday evening and Saturday midday peak hours to account for the projected enrollment increase at OPRF High School. In addition, the traffic to be generated by the following developments was also included in the projected Year 2021 traffic volumes:

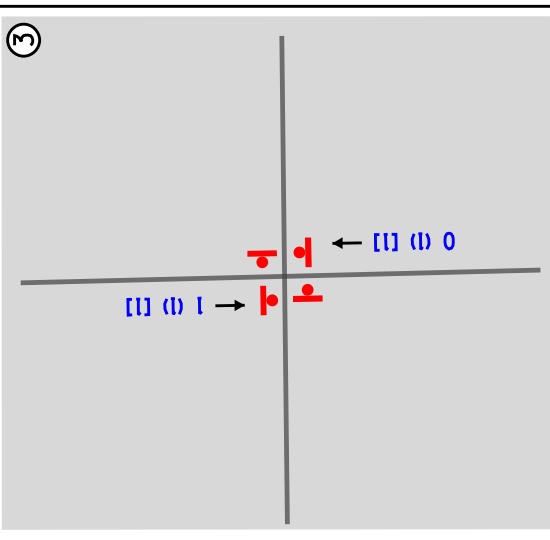
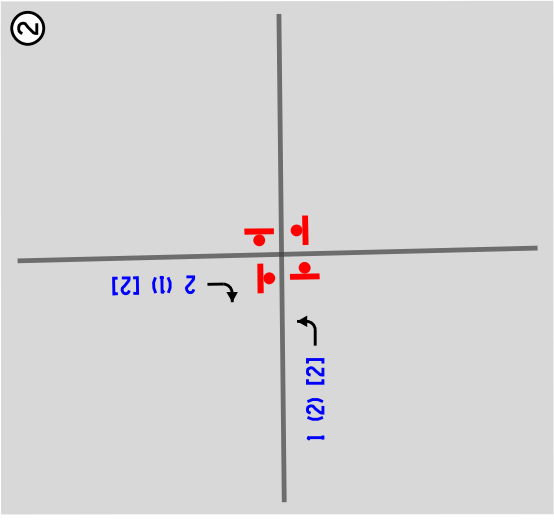
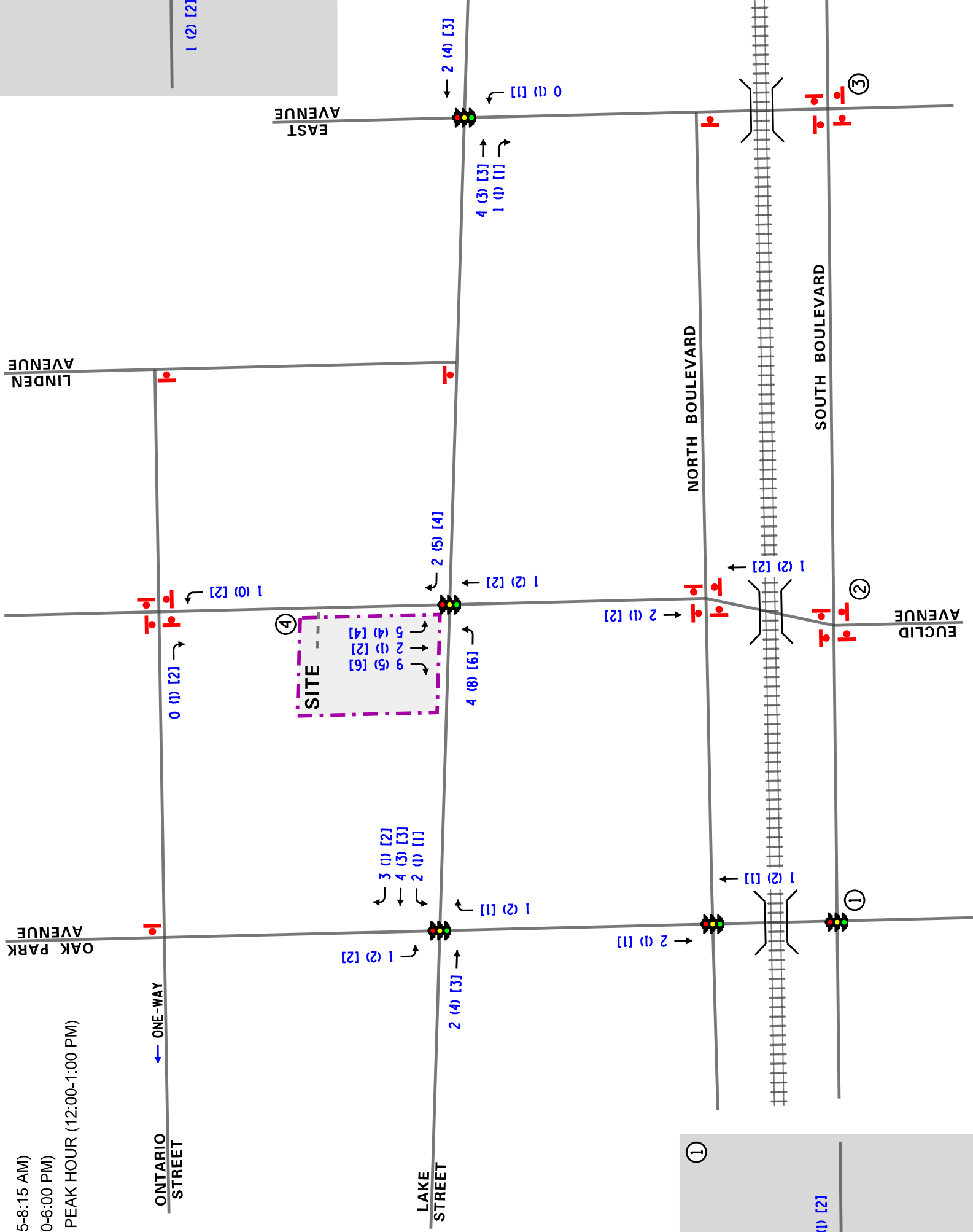
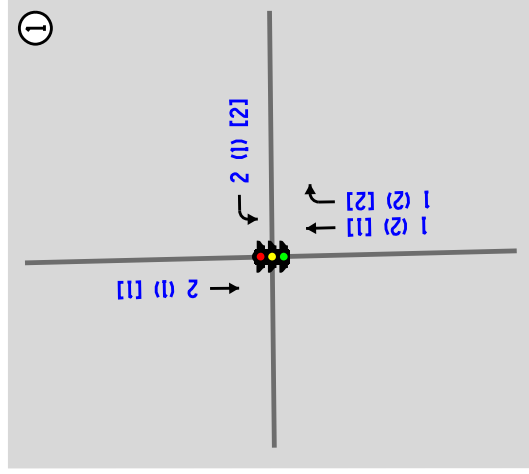
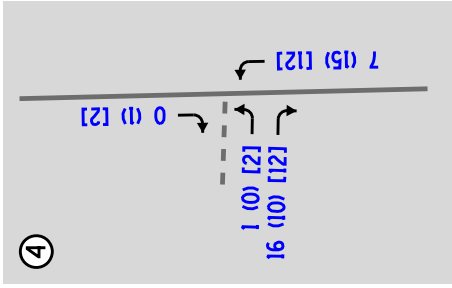
- The mixed-use development under construction in the northeast quadrant of Lake Street with Forest Avenue.
- The mixed-use development under construction on two sites bounded by Lake Street on the north and North Boulevard on the south just east of Harlem Avenue.
- A mixed-use development approved to be located in the southeast quadrant of the intersection of Harlem Avenue with South Boulevard.

### Total Projected Traffic Volumes

Total projected traffic volumes include the existing traffic volumes plus the background growth plus the traffic estimated to be generated by the proposed development (Figure 7). **Figure 8** shows the total projected traffic volumes.

**LEGEND**

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (5:00-6:00 PM)
- [00] - SATURDAY MIDDAY PEAK HOUR (12:00-1:00 PM)



PROJECT:

Mixed-Use Redevelopment  
Oak Park, Illinois

TITLE:

ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

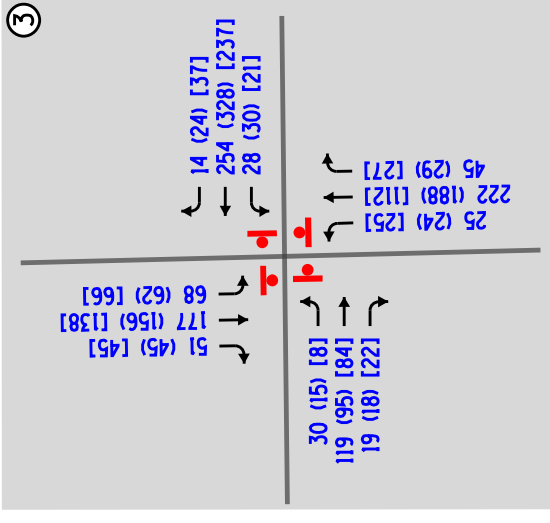
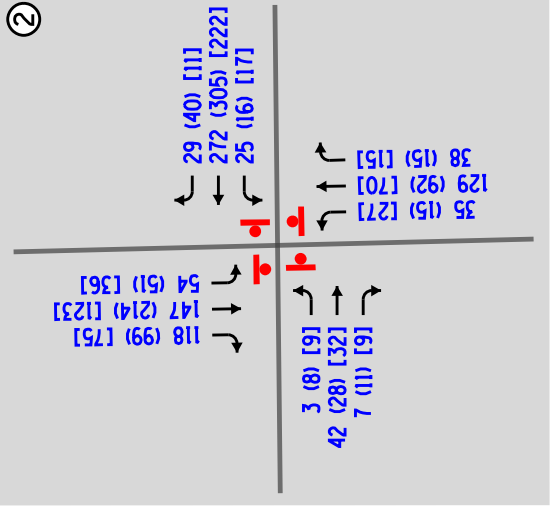
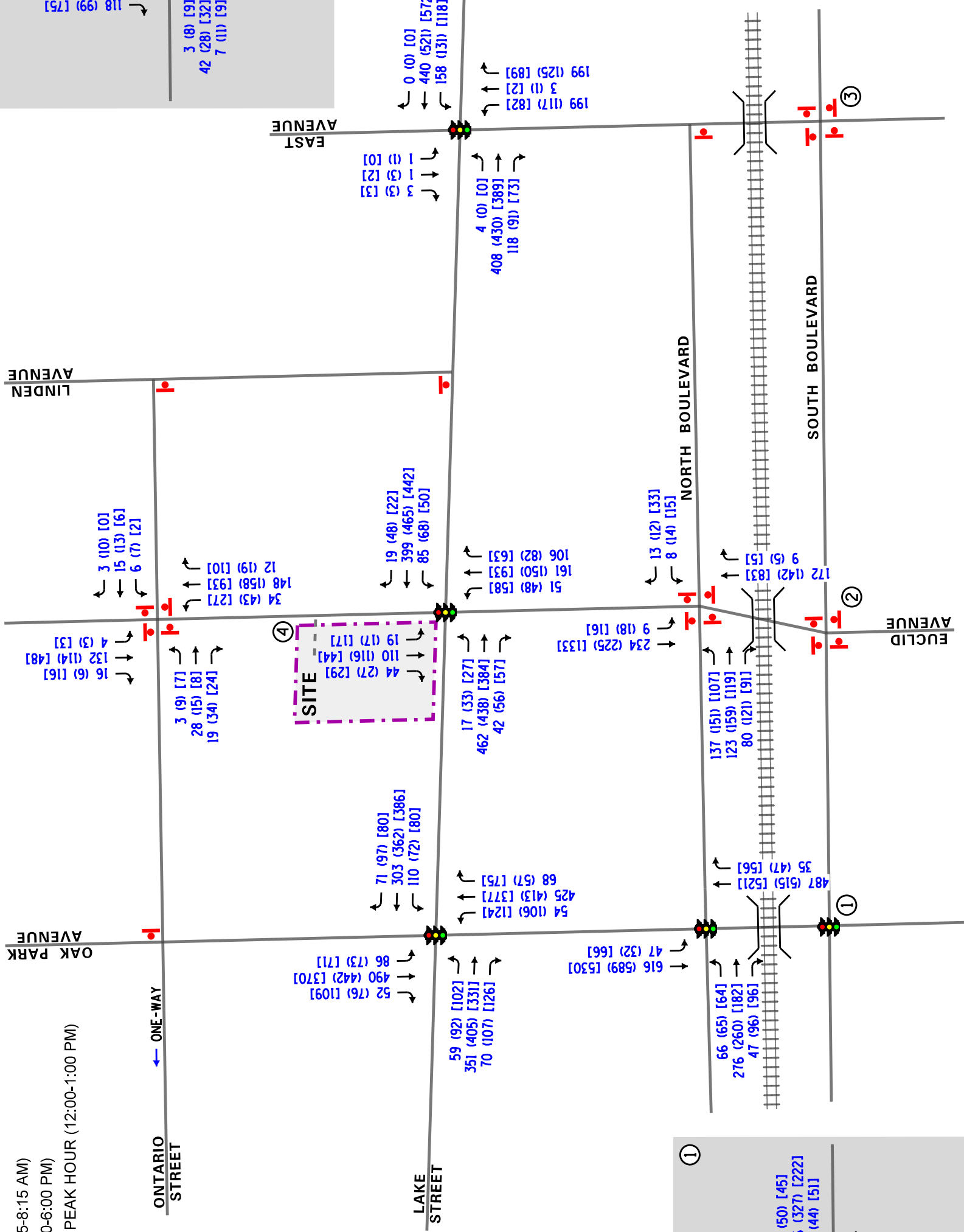
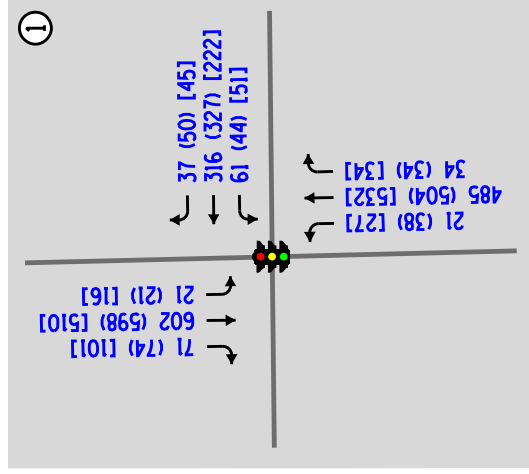
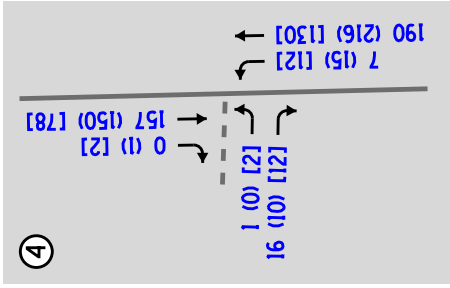


Job No: 16-078

Figure: 7

**LEGEND**

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (5:00-6:00 PM)
- [00] - SATURDAY MIDDAY PEAK HOUR (12:00-1:00 PM)



PROJECT:

Mixed-Use Redevelopment  
Oak Park, Illinois

TITLE:

YEAR 2021 TOTAL PROJECTED TRAFFIC VOLUMES



Job No: 16-078

Figure: 8

## 5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning, weekday evening, and Saturday midday peak hours. The analysis includes conducting capacity analyses to determine how the roadway system and access drive are projected to operate and whether any roadway improvements or modifications are required.

### Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning, weekday evening, and Saturday midday peak hours for the existing (Year 2015) and projected (Year 2021) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and analyzed using the Synchro/Simtraffic 8 software.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing traffic volumes and Year 2021 total projected traffic volumes, assuming the existing roadway system, are presented in **Tables 3** through **12**. A discussion of the intersections follows. The pedestrian and bicycle volumes for the projected intersection evaluation were increased by 15 percent during the weekday morning peak hour and 10 percent during the weekday evening and Saturday midday peak hours to account for the future increase in this activity. Summary sheets for the capacity analyses are included in the Appendix.

Table 3  
 CAPACITY ANALYSIS RESULTS – OAK PARK AVENUE WITH LAKE STREET - SIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	B 16.0	D 42.4	C 26.3	B 17.3	C 32.3	C 24.2	A 5.2	C 22.6	B 10.4	B 14.0	D 38.7	B 20.0	C – 29.4
	Weekday Evening Peak Hour	B 16.3	D 38.1	C 27.2	B 15.4	C 30.4	C 23.9	B 12.7	C 27.0	B 19.0	B 13.4	C 34.9	C 22.0	C – 28.7
	Saturday Midday Peak Hour	B 13.7	C 27.0	C 24.4	B 12.0	C 26.2	B 19.9	A 7.1	C 21.6	B 12.2	B 14.0	C 31.6	C 24.1	C – 23.1
Projected Conditions	Weekday Morning Peak Hour <sup>1</sup>	B 16.4	D 53.3	C 25.6	C 21.8	D 37.5	C 27.4	A 5.6	C 23.6	B 10.4	B 14.4	D 49.9	C 20.9	D – 35.0
	Weekday Evening Peak Hour	B 17.0	D 43.6	C 28.3	B 16.2	C 33.9	C 24.7	B 13.4	C 27.2	B 19.4	B 13.5	D 35.4	C 22.5	C – 30.5
	Saturday Midday Peak Hour	B 14.5	C 29.2	C 26.0	B 13.0	C 29.7	C 20.8	A 8.0	C 21.8	B 12.4	B 14.3	C 32.3	C 25.7	C – 24.4
Delay Measured in Seconds														
<sup>1</sup> – Assumes very minor signal timing modifications														



Table 4  
 CAPACITY ANALYSIS RESULTS – OAK PARK AVENUE WITH NORTH BOULEVARD - SIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	C 30.4		A 3.5	X			--	B 10.3	A 0.8	B 15.7	C 30.4	--	C – 22.2
	Weekday Evening Peak Hour	C 31.1		A 6.4				--	A 8.6	A 1.1	A 8.1	B 14.1	--	B – 14.8
	Saturday Midday Peak Hour	C 26.8		A 5.7				--	B 11.5	A 1.3	B 14.6	C 24.5	--	B – 17.9
Projected Conditions	Weekday Morning Peak Hour	C 34.2		A 4.3				--	B 13.7	A 1.0	B 16.6	D 36.4	--	C – 26.5
	Weekday Evening Peak Hour	C 31.4		A 6.3				--	A 9.2	A 1.2	A 8.2	B 15.0	--	B – 15.4
	Saturday Midday Peak Hour	C 26.7		A 5.5				--	B 12.7	A 1.4	B 14.8	C 25.0	--	B – 18.5
Delay Measured in Seconds														

Table 5  
 CAPACITY ANALYSIS RESULTS – OAK PARK AVENUE WITH SOUTH BOULEVARD - SIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	X	X	X	D 47.0			B 17.8	C 29.3		A 5.8	B 10.6		C – 25.9
	Weekday Evening Peak Hour				D 48.8			B 16.7	C 24.5		A 6.6	A 9.7		C – 24.2
	Saturday Midday Peak Hour				C 34.2			B 16.3	C 27.6		A 5.2	A 7.5		C – 20.6
Projected Conditions	Weekday Morning Peak Hour				D 52.8			B 19.5	D 37.4		A 6.2	B 15.2		C – 31.6
	Weekday Evening Peak Hour				D 52.8			B 17.2	C 26.6		A 6.5	B 10.1		C – 26.2
	Saturday Midday Peak Hour				C 35.0			B 16.8	C 30.9		A 5.2	A 7.5		C – 22.0
Delay Measured in Seconds														

Table 6  
 CAPACITY ANALYSIS RESULTS – EUCLID AVENUE WITH LAKE STREET - SIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	A 4.8	B 15.7	A 1.3	A 7.5	B 14.7		C 29.2	D 39.4		C 27.0	C 29.7		C – 20.7
	Weekday Evening Peak Hour	A 4.1	B 13.6	A 1.9	A 5.4	B 13.0		C 31.4	D 37.7		C 28.8	C 33.5		B – 18.8
	Saturday Midday Peak Hour	A 2.4	A 6.6	A 0.9	A 3.9	B 10.1		C 34.0	C 27.7		C 26.9	C 22.3		B – 12.5
Projected Conditions	Weekday Morning Peak Hour	A 4.9	B 18.7	A 1.4	A 8.1	B 18.4		C 29.4	D 40.5		C 28.8	C 30.2		C – 22.9
	Weekday Evening Peak Hour	A 3.4	B 13.0	A 1.1	A 5.6	B 15.7		C 31.4	D 37.9		C 29.2	C 33.5		B – 19.3
	Saturday Midday Peak Hour	A 2.5	A 7.3	A 1.2	A 4.0	B 11.0		C 33.8	C 28.2		C 27.2	C 21.3		B – 13.0
Delay Measured in Seconds														

Table 7

CAPACITY ANALYSIS RESULTS – EUCLID AVENUE WITH NORTH BOULEVARD - UNSIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	C 19.6			A 9.6			B 12.6			B 14.6			C – 16.1
	Weekday Evening Peak Hour	C 17.0			A 9.1			B 10.6			B 12.4			B – 14.3
	Saturday Midday Peak Hour	B 11.1			A 8.0			A 8.9			A 9.6			B – 10.1
Projected Conditions	Weekday Morning Peak Hour	C 21.7			A 9.8			B 13.1			C 15.6			C – 17.5
	Weekday Evening Peak Hour	C 18.3			A 9.2			B 10.9			B 12.7			C – 15.1
	Saturday Midday Peak Hour	B 11.5			A 8.1			A 9.0			A 9.7			B – 10.4
Delay Measured in Seconds														

Table 8  
 CAPACITY ANALYSIS RESULTS – EUCLID AVENUE WITH SOUTH BOULEVARD - UNSIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	B 10.1			C 16.5			B 12.3			C 15.2			B – 14.7
	Weekday Evening Peak Hour	A 9.5			C 15.1			B 10.3			B 14.8			B – 14.0
	Saturday Midday Peak Hour	A 8.5			B 10.3			A 8.9			A 9.8			A – 9.7
Projected Conditions	Weekday Morning Peak Hour	B 10.5			C 18.9			B 13.3			C 17.3			C – 16.6
	Weekday Evening Peak Hour	A 9.3			C 15.2			B 10.2			B 13.2			B – 13.4
	Saturday Midday Peak Hour	A 8.6			B 10.6			A 9.0			B 10.0			A – 9.9
Delay Measured in Seconds														

Table 9

CAPACITY ANALYSIS RESULTS – EUCLID AVENUE WITH ONTARIO STREET - UNSIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	A 8.6			A 8.5			B 10.2			A 9.4			A – 9.6
	Weekday Evening Peak Hour	A 7.9			A 7.9			A 9.0			A 8.2			A – 8.5
	Saturday Midday Peak Hour	A 7.3			A 7.5			A 7.9			A 7.4			A – 7.6
Projected Conditions	Weekday Morning Peak Hour	A 8.7			A 8.6			B 10.5			A 9.6			A – 9.9
	Weekday Evening Peak Hour	A 7.9			A 7.9			A 9.1			A 8.3			A – 8.6
	Saturday Midday Peak Hour	A 7.3			A 7.5			A 7.9			A 7.4			A – 7.7
Delay Measured in Seconds														

Table 10

CAPACITY ANALYSIS RESULTS – EAST AVENUE WITH LAKE STREET - SIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	--	E 59.6		B 12.7	B 16.8	--		E 64.4			B 12.8		D – 41.1
	Weekday Evening Peak Hour	--	C 23.1		A 8.0	B 12.3	--		C 33.2			B 14.3		B – 19.5
	Saturday Midday Peak Hour	--	B 19.2		A 6.2	A 10.4	--		C 21.1			B 12.8		B – 14.7
Projected Conditions	Weekday Morning Peak Hour <sup>1</sup>	--	E 76.7		B 15.8	B 18.5	--		F 95.3			B 12.8		D – 54.1
	Weekday Evening Peak Hour	--	C 26.8		A 8.6	B 13.6	--		C 34.3			B 14.1		C – 21.5
	Saturday Midday Peak Hour	--	C 22.0		A 6.5	B 12.9	--		C 22.1			B 12.6		B – 16.7
Delay Measured in Seconds														
<sup>1</sup> – Assumes very minor signal timing modifications														

Table 11

CAPACITY ANALYSIS RESULTS – EAST AVENUE WITH SOUTH BOULEVARD - UNSIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Existing Conditions	Weekday Morning Peak Hour	C 15.4			C 22.8			C 21.8			C 22.3			C – 21.2
	Weekday Evening Peak Hour	B 11.1			C 17.4			B 13.1			B 13.6			B – 14.6
	Saturday Midday Peak Hour	A 9.7			B 12.1			B 10.2			B 11.4			B – 11.2
Projected Conditions	Weekday Morning Peak Hour	C 17.3			D 28.9			D 27.1			D 27.8			D – 27.8
	Weekday Evening Peak Hour	B 11.4			C 19.2			B 13.7			B 14.3			C – 15.7
	Saturday Midday Peak Hour	A 9.8			B 12.7			B 10.5			B 11.8			B – 11.6
Delay Measured in Seconds														



Table 12

CAPACITY ANALYSIS RESULTS – EUCLID AVENUE WITH PROPOSED ACCESS DRIVE - UNSIGNALIZED

	Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall
		L	T	R	L	T	R	L	T	R	L	T	R	
Projected Conditions	Weekday Morning Peak Hour	A 9.3			X			A 0.3	--	--	--	--	--	--
	Weekday Evening Peak Hour	A 9.1						A 0.6	--	--	--	--	--	--
	Saturday Midday Peak Hour	A 8.9						A 0.7	--	--	--	--	--	--
Delay Measured in Seconds														

## Discussion and Recommendations

The results of the capacity analyses show that all of the intersections within the study area generally operate at an acceptable level of service during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersections are projected to continue to operate at an acceptable level of service. It should be noted that the results of the capacity analyses and field observations show that several intersection approaches and/or movements are operating at a poor level of service and experience some delay and queueing. However, as discussed previously, the congestion in the study area is due in part to the following:

- The location of OPRF within the study area and the traffic it generates at the start and end of school or with special events. This is inherent with all schools and typically lasts for 20 to 30 minutes before and after school.
- The urban/downtown characteristics of the study area and its roadway system that includes on-street parking, high pedestrian activity, and midblock pedestrian crosswalks all of which reduce the flow of traffic through the area.

As such, it can be seen that some of the area congestion is inherent with the nature of the area and the location of OPRF. While some queueing occurs within the study area, field observations have shown that the traffic typically clears the intersections in a single traffic signal cycle. However, traffic at the end of the queue sometimes requires two traffic signal cycles to clear the intersections, particularly along northbound Oak Park Avenue.

Finally, it is important to note that the development will have a limited impact on traffic conditions in the area as it will represent less than two percent of the projected Year 2021 traffic volumes at the intersection of Lake Street with Euclid Avenue and less than one percent of the projected Year 2021 traffic volumes at any of the other intersections within the study area. In addition, it is important to note that the former Tasty Dog restaurant with drive-through lane was generally a more traffic-intense development than the proposed development.

The following describes how each intersection is currently operating and projected to operate:

*Oak Park Avenue with Lake Street.* The results of the capacity analyses show that this signalized intersection currently operates at a LOS C during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to continue to operate at a LOS C during the peak hours. Further, all of the intersection movements are generally projected to operate at an acceptable level of service.

*Oak Park Avenue with North Boulevard.* The results of the capacity analyses show that this signalized intersection currently operates at a LOS C or better during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to operate at a LOS D during the weekday morning peak hour and a LOS C during the weekday evening and Saturday midday peak hours. Further, all of the intersection movements are projected to operate at an acceptable level of service.

*Oak Park Avenue with South Boulevard.* The results of the capacity analyses show that this signalized intersection currently operates at a LOS C or better during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to continue to operate at a LOS C or better during the peak hours. Further, all of the intersection movements are projected to operate at an acceptable level of service.

*Euclid Avenue with Lake Street.* The results of the capacity analyses show that this signalized intersection currently operates at a LOS C or better during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to continue to operate at a LOS C or better during the peak hours. Further, all of the intersection movements are projected to operate at an acceptable level of service.

*Euclid Avenue with North Boulevard.* The results of the capacity analyses show that this all-way stop sign controlled intersection currently operates at a LOS C or better during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to continue to operate at a LOS C or better during the peak hours. Further, all of the intersection approaches are projected to operate at an acceptable level of service.

*Euclid Avenue with South Boulevard.* The results of the capacity analyses show that this all-way stop sign controlled intersection currently operates at a LOS B or better during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to operate at a LOS C or better during the peak hours. Further, all of the intersection approaches are projected to operate at an acceptable level of service.

*Euclid Avenue with Ontario Street.* The results of the capacity analyses show that this all-way stop sign controlled intersection currently operates at a LOS A during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to continue to operate at a LOS A during the peak hours. Further, all of the intersection approaches are projected to operate at an acceptable level of service.

*East Avenue with Lake Street.* The results of the capacity analyses show that this signalized intersection currently operates at a LOS D during the weekday morning peak hour and a LOS B during the weekday evening and Saturday midday peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to continue to operate at a LOS D during the morning peak hour, a LOS C during the weekday evening peak hour, and a LOS B during the Saturday midday peak hour. Further, all of the intersection movements are generally projected to operate at an acceptable level of service. It should be noted that during the morning peak hour, the eastbound approach of Lake Street and the northbound approach of East Avenue are currently and projected to operate at a poor level of service. This is primary due to the proximity of the intersection to OPRF and the traffic the school generates before the start of school. The congestion at this intersection typically only occurs for a 20 to 30 minute period. Further, the proposed development will have a limited impact on the operation of this intersection as it will represent less than 0.5 percent of the projected Year 2021 traffic volumes during the morning peak hour.

*East Avenue with South Boulevard.* The results of the capacity analyses show that this all-way stop sign controlled intersection currently operates at a LOS C or better during the peak hours. Assuming the projected Year 2021 traffic volumes, the intersection is projected to continue to operate at a LOS C or better during the peak hours. Further, all of the intersection approaches are projected to operate at an acceptable level of service.

*Euclid Avenue with Access Drive.* Access to the first floor parking garage is proposed to be provided via one access drive located on the west side of Euclid Avenue at the north end of the site. This access drive will provide one inbound lane and one outbound lane with the outbound lane under stop sign control. As part of the development, the existing access drive on Lake Street serving the site will be eliminated. The results of the capacity analyses show that the access drive is projected to operate at a LOS A during the peak hours.

### **Parking Garage Internal Circulation**

The first floor parking garage will provide a minimum of 37 perpendicular (90 degree) parking spaces. All of the parking aisles within the garage will be 22 feet wide and provide two-way traffic flow. The parking stall dimensions and the parking aisle width all meet the Village of Oak Park Village Code.

## 6. Parking Analyses

As proposed, the development will provide a total of 37 parking spaces within a first floor parking garage. Further, 30 of the parking spaces will be able to accommodate parking lifts and a second vehicle. As such, the development will provide a minimum of 37 parking spaces and has the ability to accommodate a total of 67 vehicles. As proposed, the parking garage will be secured and reserved for the residents of the development. Residential guests and patrons and employees of the commercial space will park in the Avenue parking garage located one block south and west of the site or on the area roads. With a total of 28 condominiums, the development will be providing a minimum parking ratio of 1.32 parking spaces per condominium and a maximum of 2.39 parking spaces per condominium.

### **Parking Requirements per Village Code**

The Village of Oak Park Zoning Ordinance requires developments to provide the following number of parking spaces per use:

- 2.00 parking spaces per three-bedroom unit
- 1.0 parking spaces per 500 square feet of commercial space

Based on the Village's requirements, the 28 three-bedroom condominiums require 56 parking spaces and the 4,500 square feet of commercial space requires nine parking spaces for a total of 65 parking spaces.

### **Transit Oriented Development (TOD) Parking Characteristics**

Given the site's proximity to public transportation, its location within an urban/downtown area, and the mix of land uses surrounding the site, the proposed development fits the characteristics of a TOD. A TOD is, by definition, a type of development that has mixed uses integrated within a walkable neighborhood and located within ¼ mile from public transportation. Typically, a TOD is characterized by:

- A mix of uses
- Moderate to high density
- Pedestrian orientation/connectivity
- Transportation choices
- Reduced parking

Parking demand/requirements at a TOD development are much lower than the parking demand of developments that are not located within close proximity to public transportation. Based on a 2008 report titled *Effects of TOD on Housing, Parking and Travel*, published by the Federal Transit Administration (FTA), the Transportation Research Board (TRB), and the Transit Development Corporation, typically TOD residents are almost twice as likely to not own a car and own almost half the number of cars of other households.

### **Census Data Information**

Based on a review of the Census data, as well as on an analysis prepared by the Center for Transit-Oriented Development in cooperation with the Center for Neighborhood Technology, the following is a breakdown of the vehicle ownership within close proximity to the CTA Green Line Oak Park station:

- Auto ownership of all households (owner occupied and rental) within ¼ mile of the Oak Park station of the CTA Green Line is 1.15 vehicles per household and approximately 73 percent of the households have either no vehicles or one vehicle.
- Auto ownership of all households (owner occupied and rental) within ½ mile of the Oak Park station of the CTA Green Line is 1.12 vehicles per household and approximately 73 percent of the households have either no vehicles or one vehicle.
- Auto ownership of owner occupied households within the vicinity of the site is 1.20 vehicles per household and approximately 69 percent of the households have either no vehicles or one vehicle.

### **TOD Surveys**

KLOA, Inc. also reviewed previous parking surveys conducted at condominium developments in Evanston within close proximity to transit stations to determine their parking characteristics. Based on these surveys the peak parking demand ranged from 0.90 to 1.05 spaces per dwelling unit with an average peak parking demand of 0.95 parking spaces per unit. KLOA, Inc. also reviewed a study conducted by the University of California Transportation Center of 31 different TOD sites in California and Oregon. The surveys indicated that the average peak parking demand was 1.0 parking space per unit. Therefore, all of this data validates the fact that TOD developments do have lower parking demands than developments located farther away from public transportation.

### **Institute of Transportation Engineers Parking Rates**

In addition to the Census data and the TOD surveys, KLOA, Inc. also reviewed the Institute of Transportation Engineers (ITE) *Parking Generation Manual*, 4<sup>th</sup> Edition. Based on the Low/Mid-Rise Apartment (Land-Use Code 221) land use category, apartments have an average peak period parking demand of 1.38 vehicles per unit. It is important to note that the ITE rates include guest parking and are for suburban developments.

## Projected Residential Parking Demand

Based on the above, **Table 13** presents a summary of the estimated peak parking demand for the proposed development based on the three aforementioned sources.

Table 13  
ESTIMATED PEAK PARKING DEMAND

Land Use	2010 Census Data	TOD Surveys	ITE Rates
28 Condominiums	33 spaces (1.20 spaces per unit)	28 spaces (1.00 space per unit)	39 spaces (1.38 spaces per unit)

As can be seen, the projected peak parking demand for the proposed residential portion of the development will range from a low of 28 parking spaces to a high of 39 parking spaces with an average of 34 parking spaces. It should be noted that the estimates based on the TOD surveys and the ITE rates represent the total parking demand of the development including residents and guests. Therefore, based on the formation data/surveys, the minimum 37 resident parking spaces to be provided within the development are sufficient to meet the peak parking demand of the residents.

Similar to the other multiple-family developments and commercial developments in the area, guest/employee/patron parking will be available via the on-street parking within the area and the Avenue parking garage located one block south and west of the site.

## 7. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The volume of traffic projected to be generated by the proposed development will be reduced due to the following:
  - ❖ The alternative modes of transportation serving the area: the development is located one to two blocks of the Oak Park CTA Green Line, ½ mile from the Oak Park Metra station, and within walking distance of several Pace bus routes
  - ❖ The location of the development within an urban/downtown area and the mix of land uses surrounding the site
- Based on trip generation estimates, the proposed development will generally be a less intense traffic-generating development than the former Tasty Dog restaurant with drive-through lane that occupied the site.
- Access to the development will be provided via a single access drive located on Euclid Avenue at the north end of the development and will serve the first floor parking garage. As proposed, the access drive has been designed to provide efficient and orderly access to and from the development. The proposed development will be eliminating an existing access drive on Lake Street, which will only improve the flow of traffic along Lake Street and enhance the pedestrian experience along Lake Street.
- The results of the capacity analyses indicate that the studied intersections currently and are projected to continue to operate at acceptable levels of service assuming the projected Year 2021 traffic volumes. While some queueing occurs within the study area, field observations have shown that the traffic typically clears the intersections in a single traffic signal cycle. However, traffic at the end of the queue sometimes requires two signal cycles to clear the intersections, particularly along northbound Oak Park Avenue.
- The proposed development will generally have a limited impact on traffic conditions in the area as it will represent less than two percent of the projected Year 2021 traffic volumes at the intersection of Lake Street with Euclid Avenue and less than one percent of the projected Year 2021 traffic volumes at any of the other intersections within the study area. In addition, it is important to note that the former Tasty Dog restaurant with drive-through lane was a more traffic-intense development than the proposed development.



- Census data information and previous surveys have shown that the proposed minimum 37 parking spaces to be provided by the development should be sufficient to meet the parking demands of the 28 condominiums. Similar to other multiple-family and commercial developments in the area, guest/employee/patron parking will be available via the on-street parking within the area and the Avenue parking garage located one block south and west of the site.

# **Appendix**

**-Traffic Counts**

**-Level of Service Criteria**

**-Capacity Analysis Summary Sheets**

# **Traffic Counts**



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 9575 W. Higgins Rd., Suite 400  
 Rosemont, Illinois, United States 60018  
 (847)518-9990

Count Name: Oak Park Avenue with Lake Street  
 Site Code:  
 Start Date: 03/10/2016  
 Page No: 1

### Turning Movement Data

Start Time	Lake Street Eastbound						Lake Street Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	11	61	6	6	78	0	13	49	13	18	75	0	1	72	12	5	85	0	18	91	3	11	112	350
7:15 AM	0	13	77	9	9	99	0	18	52	13	11	83	0	12	94	22	6	128	0	13	107	5	10	125	435
7:30 AM	0	13	84	16	13	113	0	19	72	16	20	107	0	8	113	21	12	142	0	26	113	3	24	142	504
7:45 AM	0	15	88	17	11	120	0	35	78	18	27	131	0	12	116	10	8	138	0	21	130	15	22	166	555
Hourly Total	0	52	310	48	39	410	0	85	251	60	76	396	0	33	395	65	31	493	0	78	441	26	67	545	1844
8:00 AM	0	8	65	17	19	90	0	31	70	18	26	119	0	14	82	11	6	107	0	21	117	22	16	160	476
8:15 AM	0	13	64	17	19	94	0	17	59	17	26	93	0	14	99	6	17	119	0	9	128	15	17	152	458
8:30 AM	0	9	50	16	26	75	0	17	54	10	18	81	0	18	83	10	13	111	0	16	118	16	14	150	417
8:45 AM	0	11	65	15	16	91	0	11	64	18	18	93	0	25	85	17	9	127	0	18	110	27	21	155	466
Hourly Total	0	41	244	65	80	350	0	76	247	63	88	386	0	71	349	44	45	464	0	64	473	80	68	617	1817
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	24	91	23	37	138	0	14	69	14	26	97	0	16	101	15	37	132	0	18	113	13	32	144	511
4:15 PM	0	19	78	17	16	114	0	15	68	22	28	105	0	17	90	13	26	120	0	17	110	13	22	140	479
4:30 PM	0	22	94	37	23	153	0	16	77	16	24	109	0	16	107	15	30	138	0	21	108	24	40	153	553
4:45 PM	0	25	96	37	36	158	0	11	70	25	27	106	0	22	91	15	22	128	0	15	122	18	21	155	547
Hourly Total	0	90	359	114	112	563	0	56	284	77	105	417	0	71	389	58	115	518	0	71	453	68	115	592	2090
5:00 PM	0	14	81	26	42	121	0	20	81	20	27	121	0	27	107	12	32	146	0	22	103	16	20	141	529
5:15 PM	0	25	104	24	22	153	0	18	76	25	18	119	0	26	98	18	16	142	0	15	92	17	38	124	538
5:30 PM	0	19	100	23	27	142	0	8	81	27	31	116	0	18	108	9	38	135	0	13	118	17	23	148	541
5:45 PM	0	21	83	21	39	125	0	23	84	22	37	129	0	20	90	15	44	125	0	19	118	11	44	148	527
Hourly Total	0	79	368	94	130	541	0	69	322	94	113	485	0	91	403	54	130	548	0	69	431	61	125	561	2135
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	0	14	81	23	37	118	0	16	68	12	57	96	0	22	99	8	37	129	0	10	94	21	51	125	468
12:15 PM	0	31	79	27	35	137	0	18	63	18	40	99	0	27	80	19	22	126	0	18	92	25	47	135	497
12:30 PM	0	20	61	27	41	108	0	21	69	30	47	120	0	30	99	19	48	148	0	22	93	23	33	138	514
12:45 PM	0	22	73	33	34	128	0	22	75	16	42	113	0	28	90	26	43	144	0	17	82	24	52	123	508
Hourly Total	0	87	294	110	147	491	0	77	275	76	186	428	0	107	368	72	150	547	0	67	361	93	183	521	1987
1:00 PM	0	23	61	19	41	103	0	20	60	25	27	105	0	25	86	14	41	125	0	15	105	18	57	138	471
1:15 PM	0	26	78	26	26	130	0	13	69	23	41	105	0	12	103	17	47	132	0	23	97	11	55	131	498
1:30 PM	0	14	66	26	43	106	0	13	75	15	31	103	0	28	100	16	38	144	0	18	92	27	45	137	490
1:45 PM	0	23	68	26	45	117	0	16	62	13	28	91	0	27	94	19	37	140	0	13	84	22	31	119	467
Hourly Total	0	86	273	97	155	456	0	62	266	76	127	404	0	92	383	66	163	541	0	69	378	78	188	525	1926
Grand Total	0	435	1848	528	663	2811	0	425	1645	446	695	2516	0	465	2287	359	634	3111	0	418	2537	406	746	3361	11799
Approach %	0.0	15.5	65.7	18.8	-	-	0.0	16.9	65.4	17.7	-	-	0.0	14.9	73.5	11.5	-	-	0.0	12.4	75.5	12.1	-	-	-
Total %	0.0	3.7	15.7	4.5	-	23.8	0.0	3.6	13.9	3.8	-	21.3	0.0	3.9	19.4	3.0	-	26.4	0.0	3.5	21.5	3.4	-	28.5	-
Lights	0	431	1788	523	-	2742	0	413	1583	440	-	2436	0	461	2241	354	-	3056	0	416	2479	401	-	3296	11530
% Lights	-	99.1	96.8	99.1	-	97.5	-	97.2	96.2	98.7	-	96.8	-	99.1	98.0	98.6	-	98.2	-	99.5	97.7	98.8	-	98.1	97.7

Buses	0	1	26	2	-	29	0	3	30	2	-	35	0	1	33	3	-	37	0	0	39	0	-	39	140
% Buses	-	0.2	1.4	0.4	-	1.0	-	0.7	1.8	0.4	-	1.4	-	0.2	1.4	0.8	-	1.2	-	0.0	1.5	0.0	-	1.2	1.2
Single-Unit Trucks	0	3	27	3	-	33	0	7	23	2	-	32	0	2	7	1	-	10	0	2	13	2	-	17	92
% Single-Unit Trucks	-	0.7	1.5	0.6	-	1.2	-	1.6	1.4	0.4	-	1.3	-	0.4	0.3	0.3	-	0.3	-	0.5	0.5	0.5	-	0.5	0.8
Articulated Trucks	0	0	0	0	-	0	0	1	0	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	1
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.2	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	7	0	-	7	0	1	9	2	-	12	0	1	6	1	-	8	0	0	6	3	-	9	36
% Bicycles on Road	-	0.0	0.4	0.0	-	0.2	-	0.2	0.5	0.4	-	0.5	-	0.2	0.3	0.3	-	0.3	-	0.0	0.2	0.7	-	0.3	0.3
Pedestrians	-	-	-	-	663	-	-	-	-	695	-	-	-	-	-	634	-	-	-	-	-	746	-	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-



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Count Name: Oak Park Avenue with Lake Street  
Site Code:  
Start Date: 03/10/2016  
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### Turning Movement Peak Hour Data (7:15 AM)

Start Time	Lake Street Eastbound						Lake Street Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	13	77	9	9	99	0	18	52	13	11	83	0	12	94	22	6	128	0	13	107	5	10	125	435
7:30 AM	0	13	84	16	13	113	0	19	72	16	20	107	0	8	113	21	12	142	0	26	113	3	24	142	504
7:45 AM	0	15	88	17	11	120	0	35	78	18	27	131	0	12	116	10	8	138	0	21	130	15	22	166	555
8:00 AM	0	8	65	17	19	90	0	31	70	18	26	119	0	14	82	11	6	107	0	21	117	22	16	160	476
Total	0	49	314	59	52	422	0	103	272	65	84	440	0	46	405	64	32	515	0	81	467	45	72	593	1970
Approach %	0.0	11.6	74.4	14.0	-	-	0.0	23.4	61.8	14.8	-	-	0.0	8.9	78.6	12.4	-	-	0.0	13.7	78.8	7.6	-	-	-
Total %	0.0	2.5	15.9	3.0	-	21.4	0.0	5.2	13.8	3.3	-	22.3	0.0	2.3	20.6	3.2	-	26.1	0.0	4.1	23.7	2.3	-	30.1	-
PHF	0.000	0.817	0.892	0.868	-	0.879	0.000	0.736	0.872	0.903	-	0.840	0.000	0.821	0.873	0.727	-	0.907	0.000	0.779	0.898	0.511	-	0.893	0.887
Lights	0	48	300	56	-	404	0	99	257	64	-	420	0	46	394	63	-	503	0	81	455	45	-	581	1908
% Lights	-	98.0	95.5	94.9	-	95.7	-	96.1	94.5	98.5	-	95.5	-	100.0	97.3	98.4	-	97.7	-	100.0	97.4	100.0	-	98.0	96.9
Buses	0	1	4	2	-	7	0	2	8	1	-	11	0	0	11	1	-	12	0	0	10	0	-	10	40
% Buses	-	2.0	1.3	3.4	-	1.7	-	1.9	2.9	1.5	-	2.5	-	0.0	2.7	1.6	-	2.3	-	0.0	2.1	0.0	-	1.7	2.0
Single-Unit Trucks	0	0	7	1	-	8	0	2	7	0	-	9	0	0	0	0	-	0	0	0	1	0	-	1	18
% Single-Unit Trucks	-	0.0	2.2	1.7	-	1.9	-	1.9	2.6	0.0	-	2.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.2	0.0	-	0.2	0.9
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	3	0	-	3	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	4
% Bicycles on Road	-	0.0	1.0	0.0	-	0.7	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.2	0.0	-	0.2	0.2
Pedestrians	-	-	-	-	52	-	-	-	-	-	84	-	-	-	-	-	32	-	-	-	-	-	72	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Oak Park Avenue with Lake Street  
Site Code:  
Start Date: 03/10/2016  
Page No: 6

### Turning Movement Peak Hour Data (5:00 PM)

Start Time	Lake Street Eastbound						Lake Street Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
5:00 PM	0	14	81	26	42	121	0	20	81	20	27	121	0	27	107	12	32	146	0	22	103	16	20	141	529
5:15 PM	0	25	104	24	22	153	0	18	76	25	18	119	0	26	98	18	16	142	0	15	92	17	38	124	538
5:30 PM	0	19	100	23	27	142	0	8	81	27	31	116	0	18	108	9	38	135	0	13	118	17	23	148	541
5:45 PM	0	21	83	21	39	125	0	23	84	22	37	129	0	20	90	15	44	125	0	19	118	11	44	148	527
Total	0	79	368	94	130	541	0	69	322	94	113	485	0	91	403	54	130	548	0	69	431	61	125	561	2135
Approach %	0.0	14.6	68.0	17.4	-	-	0.0	14.2	66.4	19.4	-	-	0.0	16.6	73.5	9.9	-	-	0.0	12.3	76.8	10.9	-	-	-
Total %	0.0	3.7	17.2	4.4	-	25.3	0.0	3.2	15.1	4.4	-	22.7	0.0	4.3	18.9	2.5	-	25.7	0.0	3.2	20.2	2.9	-	26.3	-
PHF	0.000	0.790	0.885	0.904	-	0.884	0.000	0.750	0.958	0.870	-	0.940	0.000	0.843	0.933	0.750	-	0.938	0.000	0.784	0.913	0.897	-	0.948	0.987
Lights	0	79	361	94	-	534	0	69	314	94	-	477	0	90	396	54	-	540	0	69	423	61	-	553	2104
% Lights	-	100.0	98.1	100.0	-	98.7	-	100.0	97.5	100.0	-	98.4	-	98.9	98.3	100.0	-	98.5	-	100.0	98.1	100.0	-	98.6	98.5
Buses	0	0	6	0	-	6	0	0	4	0	-	4	0	1	2	0	-	3	0	0	6	0	-	6	19
% Buses	-	0.0	1.6	0.0	-	1.1	-	0.0	1.2	0.0	-	0.8	-	1.1	0.5	0.0	-	0.5	-	0.0	1.4	0.0	-	1.1	0.9
Single-Unit Trucks	0	0	1	0	-	1	0	0	3	0	-	3	0	0	0	0	-	0	0	0	2	0	-	2	6
% Single-Unit Trucks	-	0.0	0.3	0.0	-	0.2	-	0.0	0.9	0.0	-	0.6	-	0.0	0.0	0.0	-	0.0	-	0.0	0.5	0.0	-	0.4	0.3
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	1	0	-	1	0	0	5	0	-	5	0	0	0	0	-	0	6
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.3	0.0	-	0.2	-	0.0	1.2	0.0	-	0.9	-	0.0	0.0	0.0	-	0.0	0.3
Pedestrians	-	-	-	-	130	-	-	-	-	-	113	-	-	-	-	-	130	-	-	-	-	-	125	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Oak Park Avenue with Lake Street  
Site Code:  
Start Date: 03/10/2016  
Page No: 8

### Turning Movement Peak Hour Data (12:00 PM)

Start Time	Lake Street Eastbound						Lake Street Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
12:00 PM	0	14	81	23	37	118	0	16	68	12	57	96	0	22	99	8	37	129	0	10	94	21	51	125	468
12:15 PM	0	31	79	27	35	137	0	18	63	18	40	99	0	27	80	19	22	126	0	18	92	25	47	135	497
12:30 PM	0	20	61	27	41	108	0	21	69	30	47	120	0	30	99	19	48	148	0	22	93	23	33	138	514
12:45 PM	0	22	73	33	34	128	0	22	75	16	42	113	0	28	90	26	43	144	0	17	82	24	52	123	508
Total	0	87	294	110	147	491	0	77	275	76	186	428	0	107	368	72	150	547	0	67	361	93	183	521	1987
Approach %	0.0	17.7	59.9	22.4	-	-	0.0	18.0	64.3	17.8	-	-	0.0	19.6	67.3	13.2	-	-	0.0	12.9	69.3	17.9	-	-	-
Total %	0.0	4.4	14.8	5.5	-	24.7	0.0	3.9	13.8	3.8	-	21.5	0.0	5.4	18.5	3.6	-	27.5	0.0	3.4	18.2	4.7	-	26.2	-
PHF	0.000	0.702	0.907	0.833	-	0.896	0.000	0.875	0.917	0.633	-	0.892	0.000	0.892	0.929	0.692	-	0.924	0.000	0.761	0.960	0.930	-	0.944	0.966
Lights	0	87	286	108	-	481	0	75	270	74	-	419	0	106	364	71	-	541	0	66	352	92	-	510	1951
% Lights	-	100.0	97.3	98.2	-	98.0	-	97.4	98.2	97.4	-	97.9	-	99.1	98.9	98.6	-	98.9	-	98.5	97.5	98.9	-	97.9	98.2
Buses	0	0	3	0	-	3	0	0	2	0	-	2	0	0	2	0	-	2	0	0	3	0	-	3	10
% Buses	-	0.0	1.0	0.0	-	0.6	-	0.0	0.7	0.0	-	0.5	-	0.0	0.5	0.0	-	0.4	-	0.0	0.8	0.0	-	0.6	0.5
Single-Unit Trucks	0	0	5	2	-	7	0	2	3	1	-	6	0	0	2	1	-	3	0	1	3	1	-	5	21
% Single-Unit Trucks	-	0.0	1.7	1.8	-	1.4	-	2.6	1.1	1.3	-	1.4	-	0.0	0.5	1.4	-	0.5	-	1.5	0.8	1.1	-	1.0	1.1
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	0	1	-	1	0	1	0	0	-	1	0	0	3	0	-	3	5
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	1.3	-	0.2	-	0.9	0.0	0.0	-	0.2	-	0.0	0.8	0.0	-	0.6	0.3
Pedestrians	-	-	-	-	147	-	-	-	-	-	186	-	-	-	-	-	150	-	-	-	-	-	183	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-





Kenig Lindgren O'Hara Aboona, Inc.  
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Count Name: Oak Park Avenue with North Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 1

### Turning Movement Data

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	10	26	14	9	50	0	0	0	0	16	0	0	0	76	5	2	81	0	8	107	0	4	115	246
7:15 AM	0	11	62	5	4	78	0	0	0	0	26	0	0	0	113	7	0	120	0	5	130	0	5	135	333
7:30 AM	0	16	75	11	13	102	0	0	0	0	31	0	0	0	127	5	3	132	0	8	141	0	11	149	383
7:45 AM	0	24	80	12	16	116	0	0	0	0	32	0	0	0	126	10	2	136	0	16	160	0	16	176	428
Hourly Total	0	61	243	42	42	346	0	0	0	0	105	0	0	0	442	27	7	469	0	37	538	0	36	575	1390
8:00 AM	0	10	42	17	14	69	0	0	0	0	49	0	0	0	92	11	2	103	0	16	146	0	13	162	334
8:15 AM	0	15	54	5	14	74	0	0	0	0	56	0	0	0	100	9	0	109	0	22	140	0	11	162	345
8:30 AM	0	14	41	12	16	67	0	0	0	0	36	0	0	0	103	10	3	113	0	32	118	0	13	150	330
8:45 AM	0	21	42	10	23	73	0	0	0	0	28	0	0	0	103	14	6	117	0	16	125	0	14	141	331
Hourly Total	0	60	179	44	67	283	0	0	0	0	169	0	0	0	398	44	11	442	0	86	529	0	51	615	1340
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	15	46	14	15	75	0	0	0	0	21	0	0	0	119	5	0	124	0	9	140	0	8	149	348
4:15 PM	0	12	37	15	12	64	0	0	0	0	38	0	0	0	110	6	3	116	0	6	134	0	16	140	320
4:30 PM	0	15	33	16	22	64	0	0	0	0	35	0	0	0	120	9	2	129	0	15	146	0	12	161	354
4:45 PM	0	15	46	13	16	74	0	0	0	0	45	0	0	0	113	7	1	120	0	8	163	0	19	171	365
Hourly Total	0	57	162	58	65	277	0	0	0	0	139	0	0	0	462	27	6	489	0	38	583	0	55	621	1387
5:00 PM	0	22	57	24	40	103	0	0	0	0	56	0	0	0	126	10	6	136	0	3	135	0	26	138	377
5:15 PM	0	6	64	16	22	86	0	0	0	0	48	0	0	0	135	12	1	147	0	7	140	0	32	147	380
5:30 PM	0	17	81	24	26	122	0	0	0	0	61	0	0	0	121	12	1	133	0	8	139	0	31	147	402
5:45 PM	0	18	48	30	21	96	0	0	0	0	63	0	0	0	106	12	6	118	0	13	149	0	18	162	376
Hourly Total	0	63	250	94	109	407	0	0	0	0	228	0	0	0	488	46	14	534	0	31	563	0	107	594	1535
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	0	17	34	23	33	74	0	0	0	1	39	1	0	0	115	12	0	127	1	11	123	0	16	135	337
12:15 PM	0	16	57	28	32	101	0	0	0	0	40	0	0	0	111	12	1	123	0	17	119	0	40	136	360
12:30 PM	0	16	47	24	27	87	0	0	0	0	54	0	0	0	131	11	8	142	0	15	129	0	27	144	373
12:45 PM	0	13	36	19	32	68	0	0	0	0	40	0	0	0	137	19	5	156	0	11	132	0	22	143	367
Hourly Total	0	62	174	94	124	330	0	0	0	1	173	1	0	0	494	54	14	548	1	54	503	0	105	558	1437
1:00 PM	0	10	33	30	33	73	0	0	0	0	34	0	0	0	115	9	0	124	0	13	125	0	26	138	335
1:15 PM	0	13	34	15	44	62	0	0	0	0	44	0	0	0	119	10	3	129	0	9	132	0	25	141	332
1:30 PM	0	11	22	24	30	57	0	0	0	0	50	0	0	0	130	11	0	141	0	13	127	0	18	140	338
1:45 PM	0	13	31	16	32	60	0	0	0	0	17	0	0	0	123	4	0	127	1	7	116	0	15	124	311
Hourly Total	0	47	120	85	139	252	0	0	0	0	145	0	0	0	487	34	3	521	1	42	500	0	84	543	1316
Grand Total	0	350	1128	417	546	1895	0	0	0	1	959	1	0	0	2771	232	55	3003	2	288	3216	0	438	3506	8405
Approach %	0.0	18.5	59.5	22.0	-	-	0.0	0.0	0.0	100.0	-	-	0.0	0.0	92.3	7.7	-	-	0.1	8.2	91.7	0.0	-	-	-
Total %	0.0	4.2	13.4	5.0	-	22.5	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	33.0	2.8	-	35.7	0.0	3.4	38.3	0.0	-	41.7	-
Lights	0	338	1103	414	-	1855	0	0	0	0	-	0	0	0	2723	229	-	2952	2	282	3146	0	-	3430	8237
% Lights	-	96.6	97.8	99.3	-	97.9	-	-	-	0.0	-	0.0	-	-	98.3	98.7	-	98.3	100.0	97.9	97.8	-	-	97.8	98.0

Buses	0	5	4	0	-	9	0	0	0	0	-	0	0	0	32	0	-	32	0	0	46	0	-	46	87
% Buses	-	1.4	0.4	0.0	-	0.5	-	-	-	0.0	-	0.0	-	-	1.2	0.0	-	1.1	0.0	0.0	1.4	-	-	1.3	1.0
Single-Unit Trucks	0	5	8	2	-	15	0	0	0	0	-	0	0	0	8	0	-	8	0	2	17	0	-	19	42
% Single-Unit Trucks	-	1.4	0.7	0.5	-	0.8	-	-	-	0.0	-	0.0	-	-	0.3	0.0	-	0.3	0.0	0.7	0.5	-	-	0.5	0.5
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	-	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	2	13	1	-	16	0	0	0	1	-	1	0	0	8	3	-	11	0	4	7	0	-	11	39
% Bicycles on Road	-	0.6	1.2	0.2	-	0.8	-	-	-	100.0	-	100.0	-	-	0.3	1.3	-	0.4	0.0	1.4	0.2	-	-	0.3	0.5
Pedestrians	-	-	-	-	-	546	-	-	-	-	-	959	-	-	-	-	-	55	-	-	-	-	-	438	-
% Pedestrians	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

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Count Name: Oak Park Avenue with North  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
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### Turning Movement Peak Hour Data (7:15 AM)

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	11	62	5	4	78	0	0	0	0	26	0	0	0	113	7	0	120	0	5	130	0	5	135	333
7:30 AM	0	16	75	11	13	102	0	0	0	0	31	0	0	0	127	5	3	132	0	8	141	0	11	149	383
7:45 AM	0	24	80	12	16	116	0	0	0	0	32	0	0	0	126	10	2	136	0	16	160	0	16	176	428
8:00 AM	0	10	42	17	14	69	0	0	0	0	49	0	0	0	92	11	2	103	0	16	146	0	13	162	334
Total	0	61	259	45	47	365	0	0	0	0	138	0	0	0	458	33	7	491	0	45	577	0	45	622	1478
Approach %	0.0	16.7	71.0	12.3	-	-	NaN	NaN	NaN	NaN	-	-	0.0	0.0	93.3	6.7	-	-	0.0	7.2	92.8	0.0	-	-	-
Total %	0.0	4.1	17.5	3.0	-	24.7	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	31.0	2.2	-	33.2	0.0	3.0	39.0	0.0	-	42.1	-
PHF	0.000	0.635	0.809	0.662	-	0.787	0.000	0.000	0.000	0.000	-	0.000	0.000	0.000	0.902	0.750	-	0.903	0.000	0.703	0.902	0.000	-	0.884	0.863
Lights	0	61	249	43	-	353	0	0	0	0	-	0	0	0	446	32	-	478	0	45	558	0	-	603	1434
% Lights	-	100.0	96.1	95.6	-	96.7	-	-	-	-	-	-	-	-	97.4	97.0	-	97.4	-	100.0	96.7	-	-	96.9	97.0
Buses	0	0	3	0	-	3	0	0	0	0	-	0	0	0	12	0	-	12	0	0	16	0	-	16	31
% Buses	-	0.0	1.2	0.0	-	0.8	-	-	-	-	-	-	-	-	2.6	0.0	-	2.4	-	0.0	2.8	-	-	2.6	2.1
Single-Unit Trucks	0	0	2	2	-	4	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	6
% Single-Unit Trucks	-	0.0	0.8	4.4	-	1.1	-	-	-	-	-	-	-	-	0.0	0.0	-	0.0	-	0.0	0.3	-	-	0.3	0.4
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	-	-	-	-	-	-	-	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	0	5	0	-	5	0	0	0	0	-	0	0	0	0	1	-	1	0	0	1	0	-	1	7
% Bicycles on Road	-	0.0	1.9	0.0	-	1.4	-	-	-	-	-	-	-	-	0.0	3.0	-	0.2	-	0.0	0.2	-	-	0.2	0.5
Pedestrians	-	-	-	-	47	-	-	-	-	-	138	-	-	-	-	-	7	-	-	-	-	-	45	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Oak Park Avenue with North  
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Site Code:  
Start Date: 03/10/2016  
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### Turning Movement Peak Hour Data (5:00 PM)

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
5:00 PM	0	22	57	24	40	103	0	0	0	0	56	0	0	0	126	10	6	136	0	3	135	0	26	138	377
5:15 PM	0	6	64	16	22	86	0	0	0	0	48	0	0	0	135	12	1	147	0	7	140	0	32	147	380
5:30 PM	0	17	81	24	26	122	0	0	0	0	61	0	0	0	121	12	1	133	0	8	139	0	31	147	402
5:45 PM	0	18	48	30	21	96	0	0	0	0	63	0	0	0	106	12	6	118	0	13	149	0	18	162	376
Total	0	63	250	94	109	407	0	0	0	0	228	0	0	0	488	46	14	534	0	31	563	0	107	594	1535
Approach %	0.0	15.5	61.4	23.1	-	-	NaN	NaN	NaN	NaN	-	-	0.0	0.0	91.4	8.6	-	-	0.0	5.2	94.8	0.0	-	-	-
Total %	0.0	4.1	16.3	6.1	-	26.5	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	31.8	3.0	-	34.8	0.0	2.0	36.7	0.0	-	38.7	-
PHF	0.000	0.716	0.772	0.783	-	0.834	0.000	0.000	0.000	0.000	-	0.000	0.000	0.000	0.904	0.958	-	0.908	0.000	0.596	0.945	0.000	-	0.917	0.955
Lights	0	62	246	94	-	402	0	0	0	0	-	0	0	0	480	46	-	526	0	31	554	0	-	585	1513
% Lights	-	98.4	98.4	100.0	-	98.8	-	-	-	-	-	-	-	-	98.4	100.0	-	98.5	-	100.0	98.4	-	-	98.5	98.6
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	3	0	-	3	0	0	6	0	-	6	9
% Buses	-	0.0	0.0	0.0	-	0.0	-	-	-	-	-	-	-	-	0.6	0.0	-	0.6	-	0.0	1.1	-	-	1.0	0.6
Single-Unit Trucks	0	1	0	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	3
% Single-Unit Trucks	-	1.6	0.0	0.0	-	0.2	-	-	-	-	-	-	-	-	0.0	0.0	-	0.0	-	0.0	0.4	-	-	0.3	0.2
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	-	-	-	-	-	-	-	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	0	4	0	-	4	0	0	0	0	-	0	0	0	5	0	-	5	0	0	1	0	-	1	10
% Bicycles on Road	-	0.0	1.6	0.0	-	1.0	-	-	-	-	-	-	-	-	1.0	0.0	-	0.9	-	0.0	0.2	-	-	0.2	0.7
Pedestrians	-	-	-	-	109	-	-	-	-	-	228	-	-	-	-	-	14	-	-	-	-	-	107	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Oak Park Avenue with North  
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Site Code:  
Start Date: 03/10/2016  
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### Turning Movement Peak Hour Data (12:00 PM)

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
12:00 PM	0	17	34	23	33	74	0	0	0	1	39	1	0	0	115	12	0	127	1	11	123	0	16	135	337
12:15 PM	0	16	57	28	32	101	0	0	0	0	40	0	0	0	111	12	1	123	0	17	119	0	40	136	360
12:30 PM	0	16	47	24	27	87	0	0	0	0	54	0	0	0	131	11	8	142	0	15	129	0	27	144	373
12:45 PM	0	13	36	19	32	68	0	0	0	0	40	0	0	0	137	19	5	156	0	11	132	0	22	143	367
Total	0	62	174	94	124	330	0	0	0	1	173	1	0	0	494	54	14	548	1	54	503	0	105	558	1437
Approach %	0.0	18.8	52.7	28.5	-	-	0.0	0.0	0.0	100.0	-	-	0.0	0.0	90.1	9.9	-	-	0.2	9.7	90.1	0.0	-	-	-
Total %	0.0	4.3	12.1	6.5	-	23.0	0.0	0.0	0.0	0.1	-	0.1	0.0	0.0	34.4	3.8	-	38.1	0.1	3.8	35.0	0.0	-	38.8	-
PHF	0.000	0.912	0.763	0.839	-	0.817	0.000	0.000	0.000	0.250	-	0.250	0.000	0.000	0.901	0.711	-	0.878	0.250	0.794	0.953	0.000	-	0.969	0.963
Lights	0	60	169	94	-	323	0	0	0	0	-	0	0	0	489	52	-	541	1	53	492	0	-	546	1410
% Lights	-	96.8	97.1	100.0	-	97.9	-	-	-	0.0	-	0.0	-	-	99.0	96.3	-	98.7	100.0	98.1	97.8	-	-	97.8	98.1
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	0	0	3	0	-	3	5
% Buses	-	0.0	0.0	0.0	-	0.0	-	-	-	0.0	-	0.0	-	-	0.4	0.0	-	0.4	0.0	0.0	0.6	-	-	0.5	0.3
Single-Unit Trucks	0	1	3	0	-	4	0	0	0	0	-	0	0	0	2	0	-	2	0	0	6	0	-	6	12
% Single-Unit Trucks	-	1.6	1.7	0.0	-	1.2	-	-	-	0.0	-	0.0	-	-	0.4	0.0	-	0.4	0.0	0.0	1.2	-	-	1.1	0.8
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	-	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	1	2	0	-	3	0	0	0	1	-	1	0	0	1	2	-	3	0	1	2	0	-	3	10
% Bicycles on Road	-	1.6	1.1	0.0	-	0.9	-	-	-	100.0	-	100.0	-	-	0.2	3.7	-	0.5	0.0	1.9	0.4	-	-	0.5	0.7
Pedestrians	-	-	-	-	124	-	-	-	-	-	173	-	-	-	-	-	14	-	-	-	-	-	105	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Oak Park Avenue with South Boulevard  
 Site Code:  
 Start Date: 03/10/2016  
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### Turning Movement Data

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	0	0	0	10	0	0	13	35	4	27	52	0	3	73	3	6	79	0	4	103	12	19	119	250
7:15 AM	0	0	0	0	13	0	0	13	53	9	27	75	0	5	113	8	8	126	0	2	134	6	15	142	343
7:30 AM	0	0	0	0	19	0	1	13	71	9	36	94	0	1	125	9	15	135	0	6	136	10	19	152	381
7:45 AM	0	0	0	0	9	0	0	19	100	9	43	128	0	7	124	8	12	139	0	6	143	20	20	169	436
Hourly Total	0	0	0	0	51	0	1	58	259	31	133	349	0	16	435	28	41	479	0	18	516	48	73	582	1410
8:00 AM	0	0	1	0	8	1	0	13	73	8	35	94	0	7	94	7	11	108	0	6	137	29	23	172	375
8:15 AM	0	0	0	0	10	0	0	10	58	10	33	78	0	11	100	4	11	115	0	3	127	18	20	148	341
8:30 AM	0	0	0	0	8	0	0	8	49	9	30	66	0	6	105	8	10	119	0	4	112	11	14	127	312
8:45 AM	0	0	0	0	13	0	0	4	52	14	28	70	0	8	104	5	11	117	0	2	119	17	14	138	325
Hourly Total	0	0	1	0	39	1	0	35	232	41	126	308	0	32	403	24	43	459	0	15	495	75	71	585	1353
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	0	0	0	13	0	0	15	94	9	25	118	0	5	112	6	12	123	1	4	140	12	8	157	398
4:15 PM	0	0	0	0	8	0	0	13	81	8	14	102	0	11	109	3	14	123	0	2	126	21	3	149	374
4:30 PM	0	0	0	0	15	0	1	10	70	9	29	90	0	7	118	5	16	130	0	2	143	12	5	157	377
4:45 PM	0	0	0	0	18	0	1	16	77	11	33	105	1	6	115	9	13	131	0	3	151	23	15	177	413
Hourly Total	0	0	0	0	54	0	2	54	322	37	101	415	1	29	454	23	55	507	1	11	560	68	31	640	1562
5:00 PM	0	0	0	0	33	0	0	11	70	13	50	94	0	7	110	5	19	122	0	2	146	22	17	170	386
5:15 PM	0	0	0	0	13	0	0	8	74	15	42	97	0	12	138	11	17	161	0	6	134	11	12	151	409
5:30 PM	0	0	0	0	17	0	0	4	88	11	35	103	0	9	117	6	8	132	0	4	145	17	18	166	401
5:45 PM	0	0	0	0	12	0	0	20	78	10	52	108	0	9	112	11	21	132	0	8	146	22	18	176	416
Hourly Total	0	0	0	0	75	0	0	43	310	49	179	402	0	37	477	33	65	547	0	20	571	72	65	663	1612
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	0	0	0	0	28	0	1	12	47	15	27	75	0	15	115	13	31	143	0	5	118	23	7	146	364
12:15 PM	0	0	0	0	29	0	2	11	52	9	22	74	0	14	116	7	12	137	0	7	120	21	14	148	359
12:30 PM	0	0	0	0	30	0	0	17	58	7	22	82	0	16	133	6	11	155	0	1	122	31	11	154	391
12:45 PM	0	0	0	0	28	0	1	10	53	13	32	77	0	10	140	7	27	157	0	3	124	24	11	151	385
Hourly Total	0	0	0	0	115	0	4	50	210	44	103	308	0	55	504	33	81	592	0	16	484	99	43	599	1499
1:00 PM	0	0	0	0	18	0	0	12	67	7	19	86	0	4	114	6	17	124	0	4	132	19	9	155	365
1:15 PM	0	0	0	0	27	0	0	13	59	8	29	80	0	12	126	7	11	145	0	3	121	26	14	150	375
1:30 PM	0	0	0	0	24	0	0	7	41	13	36	61	0	6	126	5	15	137	0	3	128	19	10	150	348
1:45 PM	0	0	0	0	21	0	2	8	48	11	20	69	0	11	119	3	13	133	0	4	110	17	9	131	333
Hourly Total	0	0	0	0	90	0	2	40	215	39	104	296	0	33	485	21	56	539	0	14	491	81	42	586	1421
Grand Total	0	0	1	0	424	1	9	280	1548	241	746	2078	1	202	2758	162	341	3123	1	94	3117	443	325	3655	8857
Approach %	0.0	0.0	100.0	0.0	-	-	0.4	13.5	74.5	11.6	-	-	0.0	6.5	88.3	5.2	-	-	0.0	2.6	85.3	12.1	-	-	-
Total %	0.0	0.0	0.0	0.0	-	0.0	0.1	3.2	17.5	2.7	-	23.5	0.0	2.3	31.1	1.8	-	35.3	0.0	1.1	35.2	5.0	-	41.3	-
Lights	0	0	0	0	-	0	9	278	1522	240	-	2049	1	193	2718	161	-	3073	1	90	3052	436	-	3579	8701
% Lights	-	-	0.0	-	-	0.0	100.0	99.3	98.3	99.6	-	98.6	100.0	95.5	98.5	99.4	-	98.4	100.0	95.7	97.9	98.4	-	97.9	98.2

Buses	0	0	0	0	-	0	0	1	9	1	-	11	0	3	31	1	-	35	0	0	42	3	-	45	91
% Buses	-	-	0.0	-	-	0.0	0.0	0.4	0.6	0.4	-	0.5	0.0	1.5	1.1	0.6	-	1.1	0.0	0.0	1.3	0.7	-	1.2	1.0
Single-Unit Trucks	0	0	0	0	-	0	0	0	12	0	-	12	0	6	6	0	-	12	0	3	16	2	-	21	45
% Single-Unit Trucks	-	-	0.0	-	-	0.0	0.0	0.0	0.8	0.0	-	0.6	0.0	3.0	0.2	0.0	-	0.4	0.0	3.2	0.5	0.5	-	0.6	0.5
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	-	0.0	-	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	1	0	-	1	0	1	5	0	-	6	0	0	3	0	-	3	0	1	7	2	-	10	20
% Bicycles on Road	-	-	100.0	-	-	100.0	0.0	0.4	0.3	0.0	-	0.3	0.0	0.0	0.1	0.0	-	0.1	0.0	1.1	0.2	0.5	-	0.3	0.2
Pedestrians	-	-	-	-	424	-	-	-	-	-	746	-	-	-	-	-	341	-	-	-	-	-	325	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990

Count Name: Oak Park Avenue with South  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 4

### Turning Movement Peak Hour Data (7:15 AM)

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	0	0	0	13	0	0	13	53	9	27	75	0	5	113	8	8	126	0	2	134	6	15	142	343
7:30 AM	0	0	0	0	19	0	1	13	71	9	36	94	0	1	125	9	15	135	0	6	136	10	19	152	381
7:45 AM	0	0	0	0	9	0	0	19	100	9	43	128	0	7	124	8	12	139	0	6	143	20	20	169	436
8:00 AM	0	0	1	0	8	1	0	13	73	8	35	94	0	7	94	7	11	108	0	6	137	29	23	172	375
Total	0	0	1	0	49	1	1	58	297	35	141	391	0	20	456	32	46	508	0	20	550	65	77	635	1535
Approach %	0.0	0.0	100.0	0.0	-	-	0.3	14.8	76.0	9.0	-	-	0.0	3.9	89.8	6.3	-	-	0.0	3.1	86.6	10.2	-	-	-
Total %	0.0	0.0	0.1	0.0	-	0.1	0.1	3.8	19.3	2.3	-	25.5	0.0	1.3	29.7	2.1	-	33.1	0.0	1.3	35.8	4.2	-	41.4	-
PHF	0.000	0.000	0.250	0.000	-	0.250	0.250	0.763	0.743	0.972	-	0.764	0.000	0.714	0.912	0.889	-	0.914	0.000	0.833	0.962	0.560	-	0.923	0.880
Lights	0	0	0	0	-	0	1	58	295	34	-	388	0	19	445	32	-	496	0	18	534	62	-	614	1498
% Lights	-	-	0.0	-	-	0.0	100.0	100.0	99.3	97.1	-	99.2	-	95.0	97.6	100.0	-	97.6	-	90.0	97.1	95.4	-	96.7	97.6
Buses	0	0	0	0	-	0	0	0	1	1	-	2	0	1	11	0	-	12	0	0	13	3	-	16	30
% Buses	-	-	0.0	-	-	0.0	0.0	0.0	0.3	2.9	-	0.5	-	5.0	2.4	0.0	-	2.4	-	0.0	2.4	4.6	-	2.5	2.0
Single-Unit Trucks	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	0	1	3	0	-	4	5
% Single-Unit Trucks	-	-	0.0	-	-	0.0	0.0	0.0	0.3	0.0	-	0.3	-	0.0	0.0	0.0	-	0.0	-	5.0	0.5	0.0	-	0.6	0.3
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	-	0.0	-	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	1	0	0	-	1	2
% Bicycles on Road	-	-	100.0	-	-	100.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	5.0	0.0	0.0	-	0.2	0.1
Pedestrians	-	-	-	-	49	-	-	-	-	-	141	-	-	-	-	-	46	-	-	-	-	-	77	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-





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Count Name: Oak Park Avenue with South  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 6

### Turning Movement Peak Hour Data (5:00 PM)

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
5:00 PM	0	0	0	0	33	0	0	11	70	13	50	94	0	7	110	5	19	122	0	2	146	22	17	170	386
5:15 PM	0	0	0	0	13	0	0	8	74	15	42	97	0	12	138	11	17	161	0	6	134	11	12	151	409
5:30 PM	0	0	0	0	17	0	0	4	88	11	35	103	0	9	117	6	8	132	0	4	145	17	18	166	401
5:45 PM	0	0	0	0	12	0	0	20	78	10	52	108	0	9	112	11	21	132	0	8	146	22	18	176	416
Total	0	0	0	0	75	0	0	43	310	49	179	402	0	37	477	33	65	547	0	20	571	72	65	663	1612
Approach %	NaN	NaN	NaN	NaN	-	-	0.0	10.7	77.1	12.2	-	-	0.0	6.8	87.2	6.0	-	-	0.0	3.0	86.1	10.9	-	-	-
Total %	0.0	0.0	0.0	0.0	-	0.0	0.0	2.7	19.2	3.0	-	24.9	0.0	2.3	29.6	2.0	-	33.9	0.0	1.2	35.4	4.5	-	41.1	-
PHF	0.000	0.000	0.000	0.000	-	0.000	0.000	0.538	0.881	0.817	-	0.931	0.000	0.771	0.864	0.750	-	0.849	0.000	0.625	0.978	0.818	-	0.942	0.969
Lights	0	0	0	0	-	0	0	43	305	49	-	397	0	37	473	33	-	543	0	20	560	72	-	652	1592
% Lights	-	-	-	-	-	-	-	100.0	98.4	100.0	-	98.8	-	100.0	99.2	100.0	-	99.3	-	100.0	98.1	100.0	-	98.3	98.8
Buses	0	0	0	0	-	0	0	0	3	0	-	3	0	0	3	0	-	3	0	0	6	0	-	6	12
% Buses	-	-	-	-	-	-	-	0.0	1.0	0.0	-	0.7	-	0.0	0.6	0.0	-	0.5	-	0.0	1.1	0.0	-	0.9	0.7
Single-Unit Trucks	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	0	0	3	0	-	3	4
% Single-Unit Trucks	-	-	-	-	-	-	-	0.0	0.3	0.0	-	0.2	-	0.0	0.0	0.0	-	0.0	-	0.0	0.5	0.0	-	0.5	0.2
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	-	-	-	-	-	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	1	0	-	1	0	0	1	0	-	1	0	0	2	0	-	2	4
% Bicycles on Road	-	-	-	-	-	-	-	0.0	0.3	0.0	-	0.2	-	0.0	0.2	0.0	-	0.2	-	0.0	0.4	0.0	-	0.3	0.2
Pedestrians	-	-	-	-	75	-	-	-	-	-	179	-	-	-	-	-	65	-	-	-	-	-	65	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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(847)518-9990

Count Name: Oak Park Avenue with South  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 8

### Turning Movement Peak Hour Data (12:00 PM)

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Oak Park Avenue Northbound						Oak Park Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
12:00 PM	0	0	0	0	28	0	1	12	47	15	27	75	0	15	115	13	31	143	0	5	118	23	7	146	364
12:15 PM	0	0	0	0	29	0	2	11	52	9	22	74	0	14	116	7	12	137	0	7	120	21	14	148	359
12:30 PM	0	0	0	0	30	0	0	17	58	7	22	82	0	16	133	6	11	155	0	1	122	31	11	154	391
12:45 PM	0	0	0	0	28	0	1	10	53	13	32	77	0	10	140	7	27	157	0	3	124	24	11	151	385
Total	0	0	0	0	115	0	4	50	210	44	103	308	0	55	504	33	81	592	0	16	484	99	43	599	1499
Approach %	NaN	NaN	NaN	NaN	-	-	1.3	16.2	68.2	14.3	-	-	0.0	9.3	85.1	5.6	-	-	0.0	2.7	80.8	16.5	-	-	-
Total %	0.0	0.0	0.0	0.0	-	0.0	0.3	3.3	14.0	2.9	-	20.5	0.0	3.7	33.6	2.2	-	39.5	0.0	1.1	32.3	6.6	-	40.0	-
PHF	0.000	0.000	0.000	0.000	-	0.000	0.500	0.735	0.905	0.733	-	0.939	0.000	0.859	0.900	0.635	-	0.943	0.000	0.571	0.976	0.798	-	0.972	0.958
Lights	0	0	0	0	-	0	4	49	206	44	-	303	0	51	500	33	-	584	0	14	476	98	-	588	1475
% Lights	-	-	-	-	-	-	100.0	98.0	98.1	100.0	-	98.4	-	92.7	99.2	100.0	-	98.6	-	87.5	98.3	99.0	-	98.2	98.4
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	2	0	-	2	3
% Buses	-	-	-	-	-	-	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.2	0.0	-	0.2	-	0.0	0.4	0.0	-	0.3	0.2
Single-Unit Trucks	0	0	0	0	-	0	0	0	1	0	-	1	0	4	2	0	-	6	0	2	3	1	-	6	13
% Single-Unit Trucks	-	-	-	-	-	-	0.0	0.0	0.5	0.0	-	0.3	-	7.3	0.4	0.0	-	1.0	-	12.5	0.6	1.0	-	1.0	0.9
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	-	-	-	-	-	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	1	3	0	-	4	0	0	1	0	-	1	0	0	3	0	-	3	8
% Bicycles on Road	-	-	-	-	-	-	0.0	2.0	1.4	0.0	-	1.3	-	0.0	0.2	0.0	-	0.2	-	0.0	0.6	0.0	-	0.5	0.5
Pedestrians	-	-	-	-	115	-	-	-	-	-	103	-	-	-	-	-	81	-	-	-	-	-	43	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.  
 9575 W. Higgins Rd., Suite 400  
 Rosemont, Illinois, United States 60018  
 (847)518-9990

Count Name: Euclid Avenue with Lake Street  
 Site Code:  
 Start Date: 03/10/2016  
 Page No: 1

### Turning Movement Data

Start Time	Lake Street Eastbound						Lake Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	1	76	8	0	85	0	12	76	6	5	94	0	5	11	13	10	29	0	1	10	5	6	16	224
7:15 AM	0	2	109	8	5	119	0	13	78	3	3	94	0	8	23	27	7	58	0	2	15	4	5	21	292
7:30 AM	0	3	117	8	3	128	0	20	89	4	9	113	0	13	45	23	20	81	0	2	25	6	33	33	355
7:45 AM	0	2	111	15	2	128	0	33	116	7	4	156	0	13	57	38	16	108	0	5	38	14	21	57	449
Hourly Total	0	8	413	39	10	460	0	78	359	20	21	457	0	39	136	101	53	276	0	10	88	29	65	127	1320
8:00 AM	0	5	85	9	4	99	0	15	85	2	6	102	0	15	27	13	4	55	0	4	25	9	8	38	294
8:15 AM	0	5	74	6	2	85	0	7	83	4	7	94	0	4	18	14	8	36	0	1	19	7	5	27	242
8:30 AM	0	3	69	8	6	80	0	16	66	2	7	84	0	7	18	16	8	41	0	2	25	6	7	33	238
8:45 AM	0	4	73	10	8	87	0	12	77	5	2	94	0	18	10	19	4	47	0	0	19	6	15	25	253
Hourly Total	0	17	301	33	20	351	0	50	311	13	22	374	0	44	73	62	24	179	0	7	88	28	35	123	1027
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	5	104	11	10	120	0	15	84	6	12	105	0	8	14	16	36	38	0	3	10	3	24	16	279
4:15 PM	0	3	92	16	18	111	0	13	91	2	3	106	0	11	18	6	13	35	0	4	12	5	26	21	273
4:30 PM	0	2	113	12	6	127	0	10	96	5	7	111	0	14	20	10	16	44	0	2	17	4	20	23	305
4:45 PM	0	6	115	9	9	130	0	15	84	8	3	107	0	14	27	14	14	55	0	3	19	7	13	29	321
Hourly Total	0	16	424	48	43	488	0	53	355	21	25	429	0	47	79	46	79	172	0	12	58	19	83	89	1178
5:00 PM	0	3	101	9	3	113	0	11	109	14	8	134	0	12	33	17	17	62	0	5	29	4	10	38	347
5:15 PM	0	3	119	15	18	137	0	22	95	4	10	121	0	10	43	25	12	78	0	2	32	5	17	39	375
5:30 PM	0	10	97	14	12	121	0	15	110	11	6	136	0	7	41	23	13	71	0	5	31	5	13	41	369
5:45 PM	0	8	87	17	12	112	0	18	111	13	6	142	0	18	27	15	15	60	0	1	20	7	15	28	342
Hourly Total	0	24	404	55	45	483	0	66	425	42	30	533	0	47	144	80	57	271	0	13	112	21	55	146	1433
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	0	3	81	14	18	98	0	18	74	3	2	95	0	12	24	15	10	51	0	2	10	2	16	14	258
12:15 PM	0	4	92	15	10	111	0	16	73	3	4	92	0	16	26	17	17	59	0	4	11	6	15	21	283
12:30 PM	0	8	87	15	14	110	0	11	102	6	8	119	0	17	14	14	27	45	0	6	6	3	8	15	289
12:45 PM	1	5	88	12	7	106	0	4	84	6	10	94	0	12	25	15	16	52	0	1	14	11	20	26	278
Hourly Total	1	20	348	56	49	425	0	49	333	18	24	400	0	57	89	61	70	207	0	13	41	22	59	76	1108
1:00 PM	0	10	76	11	17	97	0	9	88	5	12	102	0	16	21	12	33	49	0	1	5	3	15	9	257
1:15 PM	0	6	89	18	17	113	0	14	88	1	5	103	0	11	16	11	24	38	0	2	11	5	20	18	272
1:30 PM	0	3	83	14	9	100	0	7	83	2	2	92	0	10	13	8	23	31	0	4	9	6	10	19	242
1:45 PM	0	5	81	11	11	97	0	5	74	3	1	82	0	17	13	9	13	39	0	3	13	11	9	27	245
Hourly Total	0	24	329	54	54	407	0	35	333	11	20	379	0	54	63	40	93	157	0	10	38	25	54	73	1016
Grand Total	1	109	2219	285	221	2614	0	331	2116	125	142	2572	0	288	584	390	376	1262	0	65	425	144	351	634	7082
Approach %	0.0	4.2	84.9	10.9	-	-	0.0	12.9	82.3	4.9	-	-	0.0	22.8	46.3	30.9	-	-	0.0	10.3	67.0	22.7	-	-	-
Total %	0.0	1.5	31.3	4.0	-	36.9	0.0	4.7	29.9	1.8	-	36.3	0.0	4.1	8.2	5.5	-	17.8	0.0	0.9	6.0	2.0	-	9.0	-
Lights	1	107	2148	277	-	2533	0	324	2042	124	-	2490	0	275	572	383	-	1230	0	65	418	142	-	625	6878
% Lights	100.0	98.2	96.8	97.2	-	96.9	-	97.9	96.5	99.2	-	96.8	-	95.5	97.9	98.2	-	97.5	-	100.0	98.4	98.6	-	98.6	97.1

Buses	0	0	28	2	-	30	0	3	29	1	-	33	0	1	3	2	-	6	0	0	2	1	-	3	72
% Buses	0.0	0.0	1.3	0.7	-	1.1	-	0.9	1.4	0.8	-	1.3	-	0.3	0.5	0.5	-	0.5	-	0.0	0.5	0.7	-	0.5	1.0
Single-Unit Trucks	0	2	29	3	-	34	0	2	31	0	-	33	0	10	1	3	-	14	0	0	3	0	-	3	84
% Single-Unit Trucks	0.0	1.8	1.3	1.1	-	1.3	-	0.6	1.5	0.0	-	1.3	-	3.5	0.2	0.8	-	1.1	-	0.0	0.7	0.0	-	0.5	1.2
Articulated Trucks	0	0	1	0	-	1	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	2
% Articulated Trucks	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	13	3	-	16	0	2	13	0	-	15	0	2	8	2	-	12	0	0	2	1	-	3	46
% Bicycles on Road	0.0	0.0	0.6	1.1	-	0.6	-	0.6	0.6	0.0	-	0.6	-	0.7	1.4	0.5	-	1.0	-	0.0	0.5	0.7	-	0.5	0.6
Pedestrians	-	-	-	-	221	-	-	-	-	-	142	-	-	-	-	-	376	-	-	-	-	-	351	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.  
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Count Name: Euclid Avenue with Lake Street  
Site Code:  
Start Date: 03/10/2016  
Page No: 4

### Turning Movement Peak Hour Data (7:15 AM)

Start Time	Lake Street Eastbound						Lake Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	2	109	8	5	119	0	13	78	3	3	94	0	8	23	27	7	58	0	2	15	4	5	21	292
7:30 AM	0	3	117	8	3	128	0	20	89	4	9	113	0	13	45	23	20	81	0	2	25	6	33	33	355
7:45 AM	0	2	111	15	2	128	0	33	116	7	4	156	0	13	57	38	16	108	0	5	38	14	21	57	449
8:00 AM	0	5	85	9	4	99	0	15	85	2	6	102	0	15	27	13	4	55	0	4	25	9	8	38	294
Total	0	12	422	40	14	474	0	81	368	16	22	465	0	49	152	101	47	302	0	13	103	33	67	149	1390
Approach %	0.0	2.5	89.0	8.4	-	-	0.0	17.4	79.1	3.4	-	-	0.0	16.2	50.3	33.4	-	-	0.0	8.7	69.1	22.1	-	-	-
Total %	0.0	0.9	30.4	2.9	-	34.1	0.0	5.8	26.5	1.2	-	33.5	0.0	3.5	10.9	7.3	-	21.7	0.0	0.9	7.4	2.4	-	10.7	-
PHF	0.000	0.600	0.902	0.667	-	0.926	0.000	0.614	0.793	0.571	-	0.745	0.000	0.817	0.667	0.664	-	0.699	0.000	0.650	0.678	0.589	-	0.654	0.774
Lights	0	12	404	40	-	456	0	80	353	16	-	449	0	45	149	99	-	293	0	13	101	32	-	146	1344
% Lights	-	100.0	95.7	100.0	-	96.2	-	98.8	95.9	100.0	-	96.6	-	91.8	98.0	98.0	-	97.0	-	100.0	98.1	97.0	-	98.0	96.7
Buses	0	0	5	0	-	5	0	1	9	0	-	10	0	1	2	0	-	3	0	0	0	1	-	1	19
% Buses	-	0.0	1.2	0.0	-	1.1	-	1.2	2.4	0.0	-	2.2	-	2.0	1.3	0.0	-	1.0	-	0.0	0.0	3.0	-	0.7	1.4
Single-Unit Trucks	0	0	8	0	-	8	0	0	6	0	-	6	0	3	0	0	-	3	0	0	1	0	-	1	18
% Single-Unit Trucks	-	0.0	1.9	0.0	-	1.7	-	0.0	1.6	0.0	-	1.3	-	6.1	0.0	0.0	-	1.0	-	0.0	1.0	0.0	-	0.7	1.3
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	5	0	-	5	0	0	0	0	-	0	0	0	1	2	-	3	0	0	1	0	-	1	9
% Bicycles on Road	-	0.0	1.2	0.0	-	1.1	-	0.0	0.0	0.0	-	0.0	-	0.0	0.7	2.0	-	1.0	-	0.0	1.0	0.0	-	0.7	0.6
Pedestrians	-	-	-	-	14	-	-	-	-	-	22	-	-	-	-	-	47	-	-	-	-	-	67	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Euclid Avenue with Lake Street  
Site Code:  
Start Date: 03/10/2016  
Page No: 6

### Turning Movement Peak Hour Data (5:00 PM)

Start Time	Lake Street Eastbound						Lake Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
5:00 PM	0	3	101	9	3	113	0	11	109	14	8	134	0	12	33	17	17	62	0	5	29	4	10	38	347
5:15 PM	0	3	119	15	18	137	0	22	95	4	10	121	0	10	43	25	12	78	0	2	32	5	17	39	375
5:30 PM	0	10	97	14	12	121	0	15	110	11	6	136	0	7	41	23	13	71	0	5	31	5	13	41	369
5:45 PM	0	8	87	17	12	112	0	18	111	13	6	142	0	18	27	15	15	60	0	1	20	7	15	28	342
<b>Total</b>	<b>0</b>	<b>24</b>	<b>404</b>	<b>55</b>	<b>45</b>	<b>483</b>	<b>0</b>	<b>66</b>	<b>425</b>	<b>42</b>	<b>30</b>	<b>533</b>	<b>0</b>	<b>47</b>	<b>144</b>	<b>80</b>	<b>57</b>	<b>271</b>	<b>0</b>	<b>13</b>	<b>112</b>	<b>21</b>	<b>55</b>	<b>146</b>	<b>1433</b>
Approach %	0.0	5.0	83.6	11.4	-	-	0.0	12.4	79.7	7.9	-	-	0.0	17.3	53.1	29.5	-	-	0.0	8.9	76.7	14.4	-	-	-
Total %	0.0	1.7	28.2	3.8	-	33.7	0.0	4.6	29.7	2.9	-	37.2	0.0	3.3	10.0	5.6	-	18.9	0.0	0.9	7.8	1.5	-	10.2	-
PHF	0.000	0.600	0.849	0.809	-	0.881	0.000	0.750	0.957	0.750	-	0.938	0.000	0.653	0.837	0.800	-	0.869	0.000	0.650	0.875	0.750	-	0.890	0.955
Lights	0	24	396	54	-	474	0	65	415	42	-	522	0	47	143	80	-	270	0	13	112	21	-	146	1412
% Lights	-	100.0	98.0	98.2	-	98.1	-	98.5	97.6	100.0	-	97.9	-	100.0	99.3	100.0	-	99.6	-	100.0	100.0	100.0	-	100.0	98.5
Buses	0	0	5	1	-	6	0	0	4	0	-	4	0	0	0	0	-	0	0	0	0	0	-	0	10
% Buses	-	0.0	1.2	1.8	-	1.2	-	0.0	0.9	0.0	-	0.8	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.7
Single-Unit Trucks	0	0	2	0	-	2	0	1	4	0	-	5	0	0	0	0	-	0	0	0	0	0	-	0	7
% Single-Unit Trucks	-	0.0	0.5	0.0	-	0.4	-	1.5	0.9	0.0	-	0.9	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.5
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	1	0	-	1	0	0	2	0	-	2	0	0	1	0	-	1	0	0	0	0	-	0	4
% Bicycles on Road	-	0.0	0.2	0.0	-	0.2	-	0.0	0.5	0.0	-	0.4	-	0.0	0.7	0.0	-	0.4	-	0.0	0.0	0.0	-	0.0	0.3
Pedestrians	-	-	-	-	45	-	-	-	-	-	30	-	-	-	-	-	57	-	-	-	-	-	55	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Euclid Avenue with Lake Street  
Site Code:  
Start Date: 03/10/2016  
Page No: 8

### Turning Movement Peak Hour Data (12:00 PM)

Start Time	Lake Street Eastbound						Lake Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
12:00 PM	0	3	81	14	18	98	0	18	74	3	2	95	0	12	24	15	10	51	0	2	10	2	16	14	258
12:15 PM	0	4	92	15	10	111	0	16	73	3	4	92	0	16	26	17	17	59	0	4	11	6	15	21	283
12:30 PM	0	8	87	15	14	110	0	11	102	6	8	119	0	17	14	14	27	45	0	6	6	3	8	15	289
12:45 PM	1	5	88	12	7	106	0	4	84	6	10	94	0	12	25	15	16	52	0	1	14	11	20	26	278
<b>Total</b>	<b>1</b>	<b>20</b>	<b>348</b>	<b>56</b>	<b>49</b>	<b>425</b>	<b>0</b>	<b>49</b>	<b>333</b>	<b>18</b>	<b>24</b>	<b>400</b>	<b>0</b>	<b>57</b>	<b>89</b>	<b>61</b>	<b>70</b>	<b>207</b>	<b>0</b>	<b>13</b>	<b>41</b>	<b>22</b>	<b>59</b>	<b>76</b>	<b>1108</b>
Approach %	0.2	4.7	81.9	13.2	-	-	0.0	12.3	83.3	4.5	-	-	0.0	27.5	43.0	29.5	-	-	0.0	17.1	53.9	28.9	-	-	-
Total %	0.1	1.8	31.4	5.1	-	38.4	0.0	4.4	30.1	1.6	-	36.1	0.0	5.1	8.0	5.5	-	18.7	0.0	1.2	3.7	2.0	-	6.9	-
PHF	0.250	0.625	0.946	0.933	-	0.957	0.000	0.681	0.816	0.750	-	0.840	0.000	0.838	0.856	0.897	-	0.877	0.000	0.542	0.732	0.500	-	0.731	0.958
Lights	1	20	340	52	-	413	0	48	323	18	-	389	0	55	88	61	-	204	0	13	39	21	-	73	1079
% Lights	100.0	100.0	97.7	92.9	-	97.2	-	98.0	97.0	100.0	-	97.3	-	96.5	98.9	100.0	-	98.6	-	100.0	95.1	95.5	-	96.1	97.4
Buses	0	0	3	0	-	3	0	0	2	0	-	2	0	0	0	0	-	0	0	0	0	0	-	0	5
% Buses	0.0	0.0	0.9	0.0	-	0.7	-	0.0	0.6	0.0	-	0.5	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.5
Single-Unit Trucks	0	0	4	3	-	7	0	0	6	0	-	6	0	2	1	0	-	3	0	0	1	0	-	1	17
% Single-Unit Trucks	0.0	0.0	1.1	5.4	-	1.6	-	0.0	1.8	0.0	-	1.5	-	3.5	1.1	0.0	-	1.4	-	0.0	2.4	0.0	-	1.3	1.5
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	1	1	-	2	0	1	2	0	-	3	0	0	0	0	-	0	0	0	1	1	-	2	7
% Bicycles on Road	0.0	0.0	0.3	1.8	-	0.5	-	2.0	0.6	0.0	-	0.8	-	0.0	0.0	0.0	-	0.0	-	0.0	2.4	4.5	-	2.6	0.6
Pedestrians	-	-	-	-	49	-	-	-	-	-	24	-	-	-	-	-	70	-	-	-	-	-	59	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Euclid Avenue with North  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
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### Turning Movement Data

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	16	16	10	3	42	0	3	0	0	2	3	0	0	17	0	1	17	0	0	29	0	2	29	91
7:15 AM	0	29	29	16	2	74	0	2	0	3	8	5	0	0	28	2	1	30	0	2	36	0	1	38	147
7:30 AM	0	38	33	22	6	93	0	1	0	0	8	1	0	0	43	3	3	46	0	3	52	0	7	55	195
7:45 AM	0	49	30	20	7	99	0	5	0	8	4	13	0	0	57	2	1	59	0	4	83	0	7	87	258
Hourly Total	0	132	108	68	18	308	0	11	0	11	22	22	0	0	145	7	6	152	0	9	200	0	17	209	691
8:00 AM	0	14	21	18	4	53	0	0	0	1	11	1	0	0	35	2	1	37	0	0	50	0	7	50	141
8:15 AM	0	14	36	18	4	68	0	0	0	1	4	1	1	0	21	2	0	24	0	0	37	0	4	37	130
8:30 AM	0	23	16	20	3	59	0	1	0	3	6	4	0	0	25	0	0	25	0	0	47	0	3	47	135
8:45 AM	0	19	19	7	3	45	0	4	0	9	4	13	0	0	18	1	0	19	0	0	35	0	3	35	112
Hourly Total	0	70	92	63	14	225	0	5	0	14	25	19	1	0	99	5	1	105	0	0	169	0	17	169	518
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	15	24	27	8	66	0	3	0	5	3	8	0	0	20	0	0	20	0	1	31	0	4	32	126
4:15 PM	0	17	24	26	7	67	0	4	0	2	14	6	0	0	24	3	3	27	0	2	45	0	0	47	147
4:30 PM	0	20	23	18	8	61	0	0	0	2	5	2	0	0	22	0	2	22	0	2	32	0	2	34	119
4:45 PM	0	33	28	21	6	82	0	2	0	0	3	2	0	0	29	0	0	29	0	3	36	0	0	39	152
Hourly Total	0	85	99	92	29	276	0	9	0	9	25	18	0	0	95	3	5	98	0	8	144	0	6	152	544
5:00 PM	0	33	39	28	9	100	0	2	0	4	10	6	0	0	33	2	1	35	0	3	50	0	2	53	194
5:15 PM	0	35	29	32	8	96	0	5	0	6	7	11	0	0	40	1	0	41	0	6	56	0	2	62	210
5:30 PM	0	43	45	36	9	124	0	5	0	1	9	6	0	0	36	0	1	36	0	4	59	0	3	63	229
5:45 PM	0	36	38	22	9	96	0	2	0	1	11	3	0	0	30	2	0	32	0	5	54	0	1	59	190
Hourly Total	0	147	151	118	35	416	0	14	0	12	37	26	0	0	139	5	2	144	0	18	219	0	8	237	823
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	0	15	31	17	2	63	0	2	0	10	4	12	0	1	28	0	0	29	0	7	35	0	0	42	146
12:15 PM	0	32	32	26	9	90	0	5	0	10	3	15	0	0	18	2	1	20	0	5	35	0	1	40	165
12:30 PM	0	28	21	21	6	70	0	7	0	8	5	15	0	0	11	2	1	13	0	2	28	0	1	30	128
12:45 PM	0	29	28	25	5	82	0	1	0	4	5	5	0	0	22	1	1	23	0	2	30	0	1	32	142
Hourly Total	0	104	112	89	22	305	0	15	0	32	17	47	0	1	79	5	3	85	0	16	128	0	3	144	581
1:00 PM	0	30	22	23	7	75	0	1	0	2	5	3	0	0	24	0	0	24	0	1	22	0	1	23	125
1:15 PM	0	22	22	16	3	60	0	2	0	3	6	5	0	0	18	0	1	18	0	2	36	0	5	38	121
1:30 PM	0	18	12	19	2	49	0	2	0	1	1	3	0	0	14	0	0	14	0	0	30	0	2	30	96
1:45 PM	0	22	16	14	12	52	0	3	0	3	4	6	0	0	17	0	1	17	0	0	27	0	0	27	102
Hourly Total	0	92	72	72	24	236	0	8	0	9	16	17	0	0	73	0	2	73	0	3	115	0	8	118	444
Grand Total	0	630	634	502	142	1766	0	62	0	87	142	149	1	1	630	25	19	657	0	54	975	0	59	1029	3601
Approach %	0.0	35.7	35.9	28.4	-	-	0.0	41.6	0.0	58.4	-	-	0.2	0.2	95.9	3.8	-	-	0.0	5.2	94.8	0.0	-	-	-
Total %	0.0	17.5	17.6	13.9	-	49.0	0.0	1.7	0.0	2.4	-	4.1	0.0	0.0	17.5	0.7	-	18.2	0.0	1.5	27.1	0.0	-	28.6	-
Lights	0	617	615	493	-	1725	0	60	0	82	-	142	1	0	603	24	-	628	0	51	951	0	-	1002	3497
% Lights	-	97.9	97.0	98.2	-	97.7	-	96.8	-	94.3	-	95.3	100.0	0.0	95.7	96.0	-	95.6	-	94.4	97.5	-	-	97.4	97.1



Buses	0	1	0	1	-	2	0	0	0	0	-	0	0	0	3	0	-	3	0	0	7	0	-	7	12
% Buses	-	0.2	0.0	0.2	-	0.1	-	0.0	-	0.0	-	0.0	0.0	0.0	0.5	0.0	-	0.5	-	0.0	0.7	-	-	0.7	0.3
Single-Unit Trucks	0	10	4	3	-	17	0	1	0	3	-	4	0	0	12	1	-	13	0	2	10	0	-	12	46
% Single-Unit Trucks	-	1.6	0.6	0.6	-	1.0	-	1.6	-	3.4	-	2.7	0.0	0.0	1.9	4.0	-	2.0	-	3.7	1.0	-	-	1.2	1.3
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	2	15	5	-	22	0	1	0	2	-	3	0	1	12	0	-	13	0	1	7	0	-	8	46
% Bicycles on Road	-	0.3	2.4	1.0	-	1.2	-	1.6	-	2.3	-	2.0	0.0	100.0	1.9	0.0	-	2.0	-	1.9	0.7	-	-	0.8	1.3
Pedestrians	-	-	-	-	-	142	-	-	-	-	-	142	-	-	-	-	-	19	-	-	-	-	-	59	-
% Pedestrians	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

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(847)518-9990

Count Name: Euclid Avenue with North  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 4

### Turning Movement Peak Hour Data (7:15 AM)

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	29	29	16	2	74	0	2	0	3	8	5	0	0	28	2	1	30	0	2	36	0	1	38	147
7:30 AM	0	38	33	22	6	93	0	1	0	0	8	1	0	0	43	3	3	46	0	3	52	0	7	55	195
7:45 AM	0	49	30	20	7	99	0	5	0	8	4	13	0	0	57	2	1	59	0	4	83	0	7	87	258
8:00 AM	0	14	21	18	4	53	0	0	0	1	11	1	0	0	35	2	1	37	0	0	50	0	7	50	141
Total	0	130	113	76	19	319	0	8	0	12	31	20	0	0	163	9	6	172	0	9	221	0	22	230	741
Approach %	0.0	40.8	35.4	23.8	-	-	0.0	40.0	0.0	60.0	-	-	0.0	0.0	94.8	5.2	-	-	0.0	3.9	96.1	0.0	-	-	-
Total %	0.0	17.5	15.2	10.3	-	43.0	0.0	1.1	0.0	1.6	-	2.7	0.0	0.0	22.0	1.2	-	23.2	0.0	1.2	29.8	0.0	-	31.0	-
PHF	0.000	0.663	0.856	0.864	-	0.806	0.000	0.400	0.000	0.375	-	0.385	0.000	0.000	0.715	0.750	-	0.729	0.000	0.563	0.666	0.000	-	0.661	0.718
Lights	0	127	108	73	-	308	0	8	0	11	-	19	0	0	158	9	-	167	0	9	218	0	-	227	721
% Lights	-	97.7	95.6	96.1	-	96.6	-	100.0	-	91.7	-	95.0	-	-	96.9	100.0	-	97.1	-	100.0	98.6	-	-	98.7	97.3
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	2	0	-	2	3
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.6	0.0	-	0.6	-	0.0	0.9	-	-	0.9	0.4
Single-Unit Trucks	0	2	1	3	-	6	0	0	0	1	-	1	0	0	3	0	-	3	0	0	0	0	-	0	10
% Single-Unit Trucks	-	1.5	0.9	3.9	-	1.9	-	0.0	-	8.3	-	5.0	-	-	1.8	0.0	-	1.7	-	0.0	0.0	-	-	0.0	1.3
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	1	4	0	-	5	0	0	0	0	-	0	0	0	1	0	-	1	0	0	1	0	-	1	7
% Bicycles on Road	-	0.8	3.5	0.0	-	1.6	-	0.0	-	0.0	-	0.0	-	-	0.6	0.0	-	0.6	-	0.0	0.5	-	-	0.4	0.9
Pedestrians	-	-	-	-	19	-	-	-	-	-	31	-	-	-	-	-	6	-	-	-	-	-	22	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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9575 W. Higgins Rd., Suite 400

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Count Name: Euclid Avenue with North  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 6

### Turning Movement Peak Hour Data (5:00 PM)

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
5:00 PM	0	33	39	28	9	100	0	2	0	4	10	6	0	0	33	2	1	35	0	3	50	0	2	53	194
5:15 PM	0	35	29	32	8	96	0	5	0	6	7	11	0	0	40	1	0	41	0	6	56	0	2	62	210
5:30 PM	0	43	45	36	9	124	0	5	0	1	9	6	0	0	36	0	1	36	0	4	59	0	3	63	229
5:45 PM	0	36	38	22	9	96	0	2	0	1	11	3	0	0	30	2	0	32	0	5	54	0	1	59	190
Total	0	147	151	118	35	416	0	14	0	12	37	26	0	0	139	5	2	144	0	18	219	0	8	237	823
Approach %	0.0	35.3	36.3	28.4	-	-	0.0	53.8	0.0	46.2	-	-	0.0	0.0	96.5	3.5	-	-	0.0	7.6	92.4	0.0	-	-	-
Total %	0.0	17.9	18.3	14.3	-	50.5	0.0	1.7	0.0	1.5	-	3.2	0.0	0.0	16.9	0.6	-	17.5	0.0	2.2	26.6	0.0	-	28.8	-
PHF	0.000	0.855	0.839	0.819	-	0.839	0.000	0.700	0.000	0.500	-	0.591	0.000	0.000	0.869	0.625	-	0.878	0.000	0.750	0.928	0.000	-	0.940	0.898
Lights	0	145	149	116	-	410	0	12	0	12	-	24	0	0	133	5	-	138	0	16	215	0	-	231	803
% Lights	-	98.6	98.7	98.3	-	98.6	-	85.7	-	100.0	-	92.3	-	-	95.7	100.0	-	95.8	-	88.9	98.2	-	-	97.5	97.6
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0
Single-Unit Trucks	0	1	0	0	-	1	0	1	0	0	-	1	0	0	4	0	-	4	0	2	4	0	-	6	12
% Single-Unit Trucks	-	0.7	0.0	0.0	-	0.2	-	7.1	-	0.0	-	3.8	-	-	2.9	0.0	-	2.8	-	11.1	1.8	-	-	2.5	1.5
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	1	2	2	-	5	0	1	0	0	-	1	0	0	2	0	-	2	0	0	0	0	-	0	8
% Bicycles on Road	-	0.7	1.3	1.7	-	1.2	-	7.1	-	0.0	-	3.8	-	-	1.4	0.0	-	1.4	-	0.0	0.0	-	-	0.0	1.0
Pedestrians	-	-	-	-	35	-	-	-	-	-	37	-	-	-	-	-	2	-	-	-	-	-	8	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Euclid Avenue with North  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 8

### Turning Movement Peak Hour Data (12:00 PM)

Start Time	North Boulevard Eastbound						North Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
12:00 PM	0	15	31	17	2	63	0	2	0	10	4	12	0	1	28	0	0	29	0	7	35	0	0	42	146
12:15 PM	0	32	32	26	9	90	0	5	0	10	3	15	0	0	18	2	1	20	0	5	35	0	1	40	165
12:30 PM	0	28	21	21	6	70	0	7	0	8	5	15	0	0	11	2	1	13	0	2	28	0	1	30	128
12:45 PM	0	29	28	25	5	82	0	1	0	4	5	5	0	0	22	1	1	23	0	2	30	0	1	32	142
Total	0	104	112	89	22	305	0	15	0	32	17	47	0	1	79	5	3	85	0	16	128	0	3	144	581
Approach %	0.0	34.1	36.7	29.2	-	-	0.0	31.9	0.0	68.1	-	-	0.0	1.2	92.9	5.9	-	-	0.0	11.1	88.9	0.0	-	-	-
Total %	0.0	17.9	19.3	15.3	-	52.5	0.0	2.6	0.0	5.5	-	8.1	0.0	0.2	13.6	0.9	-	14.6	0.0	2.8	22.0	0.0	-	24.8	-
PHF	0.000	0.813	0.875	0.856	-	0.847	0.000	0.536	0.000	0.800	-	0.783	0.000	0.250	0.705	0.625	-	0.733	0.000	0.571	0.914	0.000	-	0.857	0.880
Lights	0	101	108	87	-	296	0	15	0	32	-	47	0	0	78	5	-	83	0	15	123	0	-	138	564
% Lights	-	97.1	96.4	97.8	-	97.0	-	100.0	-	100.0	-	100.0	-	0.0	98.7	100.0	-	97.6	-	93.8	96.1	-	-	95.8	97.1
Buses	0	0	0	1	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	1
% Buses	-	0.0	0.0	1.1	-	0.3	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.2
Single-Unit Trucks	0	3	1	0	-	4	0	0	0	0	-	0	0	0	1	0	-	1	0	0	2	0	-	2	7
% Single-Unit Trucks	-	2.9	0.9	0.0	-	1.3	-	0.0	-	0.0	-	0.0	-	0.0	1.3	0.0	-	1.2	-	0.0	1.6	-	-	1.4	1.2
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0
Bicycles on Road	0	0	3	1	-	4	0	0	0	0	-	0	0	1	0	0	-	1	0	1	3	0	-	4	9
% Bicycles on Road	-	0.0	2.7	1.1	-	1.3	-	0.0	-	0.0	-	0.0	-	100.0	0.0	0.0	-	1.2	-	6.3	2.3	-	-	2.8	1.5
Pedestrians	-	-	-	-	22	-	-	-	-	-	17	-	-	-	-	-	3	-	-	-	-	-	3	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.  
 9575 W. Higgins Rd., Suite 400  
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Count Name: Euclid Avenue with South  
 Boulevard  
 Site Code:  
 Start Date: 03/10/2016  
 Page No: 1

### Turning Movement Data

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	2	4	3	3	9	0	4	29	4	0	37	0	6	13	5	11	24	0	7	17	16	1	40	110
7:15 AM	0	0	7	3	1	10	0	5	57	6	6	68	0	3	25	10	3	38	0	7	26	20	0	53	169
7:30 AM	0	1	13	2	3	16	0	8	65	8	16	81	0	10	39	12	11	61	0	14	33	29	4	76	234
7:45 AM	0	1	11	2	9	14	0	8	77	5	2	90	0	9	34	12	2	55	0	15	41	43	0	99	258
Hourly Total	0	4	35	10	16	49	0	25	228	23	24	276	0	28	111	39	27	178	0	43	117	108	5	268	771
8:00 AM	0	1	9	0	6	10	0	3	56	9	10	68	1	11	24	2	12	38	0	15	38	20	8	73	189
8:15 AM	0	0	7	1	6	8	0	3	48	5	3	56	0	7	19	2	9	28	1	12	23	16	2	52	144
8:30 AM	0	2	10	1	3	13	0	1	52	6	9	59	0	3	16	5	8	24	0	11	38	16	3	65	161
8:45 AM	0	0	3	2	1	5	0	6	43	0	2	49	0	14	19	3	6	36	0	3	25	16	1	44	134
Hourly Total	0	3	29	4	16	36	0	13	199	20	24	232	1	35	78	12	35	126	1	41	124	68	14	234	628
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	2	5	0	3	7	0	3	88	5	7	96	0	5	14	6	7	25	0	8	35	18	4	61	189
4:15 PM	0	0	4	2	7	6	0	5	79	8	18	92	0	4	20	5	15	29	0	9	37	27	3	73	200
4:30 PM	0	2	5	2	4	9	0	8	64	6	8	78	0	3	14	4	15	21	0	5	28	15	4	48	156
4:45 PM	0	3	6	4	9	13	0	6	82	10	7	98	0	3	12	5	7	20	0	12	30	15	8	57	188
Hourly Total	0	7	20	8	23	35	0	22	313	29	40	364	0	15	60	20	44	95	0	34	130	75	19	239	733
5:00 PM	0	1	3	4	5	8	0	4	77	12	12	93	0	4	20	5	22	29	0	8	50	23	2	81	211
5:15 PM	0	2	11	4	3	17	0	5	74	13	6	92	0	5	23	5	9	33	0	14	60	22	1	96	238
5:30 PM	0	2	7	1	11	10	0	2	67	4	8	73	0	4	27	2	16	33	0	19	50	30	2	99	215
5:45 PM	0	3	6	2	9	11	0	5	71	10	12	86	0	2	18	3	15	23	0	9	48	21	4	78	198
Hourly Total	0	8	27	11	28	46	0	16	289	39	38	344	0	15	88	15	62	118	0	50	208	96	9	354	862
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	0	5	9	4	15	18	0	9	50	3	4	62	0	6	20	2	29	28	0	5	32	19	2	56	164
12:15 PM	0	2	8	2	6	12	0	4	48	3	4	55	0	6	16	6	15	28	0	13	30	20	4	63	158
12:30 PM	0	2	6	2	7	10	0	2	65	0	8	67	0	6	8	6	4	20	0	10	29	18	0	57	154
12:45 PM	0	0	8	1	8	9	0	2	47	5	7	54	0	8	22	1	9	31	0	7	29	16	1	52	146
Hourly Total	0	9	31	9	36	49	0	17	210	11	23	238	0	26	66	15	57	107	0	35	120	73	7	228	622
1:00 PM	0	0	6	2	9	8	0	4	68	3	2	75	0	1	17	7	12	25	0	6	22	16	2	44	152
1:15 PM	0	3	8	1	11	12	0	3	60	3	6	66	0	3	14	4	20	21	0	7	25	20	1	52	151
1:30 PM	0	0	5	4	1	9	0	7	34	3	0	44	0	1	10	3	21	14	0	13	19	18	2	50	117
1:45 PM	0	0	5	2	7	7	0	1	40	6	8	47	0	7	9	4	17	20	0	10	13	18	5	41	115
Hourly Total	0	3	24	9	28	36	0	15	202	15	16	232	0	12	50	18	70	80	0	36	79	72	10	187	535
Grand Total	0	34	166	51	147	251	0	108	1441	137	165	1686	1	131	453	119	295	704	1	239	778	492	64	1510	4151
Approach %	0.0	13.5	66.1	20.3	-	-	0.0	6.4	85.5	8.1	-	-	0.1	18.6	64.3	16.9	-	-	0.1	15.8	51.5	32.6	-	-	-
Total %	0.0	0.8	4.0	1.2	-	6.0	0.0	2.6	34.7	3.3	-	40.6	0.0	3.2	10.9	2.9	-	17.0	0.0	5.8	18.7	11.9	-	36.4	-
Lights	0	33	161	49	-	243	0	106	1420	135	-	1661	1	126	429	117	-	673	1	235	756	488	-	1480	4057
% Lights	-	97.1	97.0	96.1	-	96.8	-	98.1	98.5	98.5	-	98.5	100.0	96.2	94.7	98.3	-	95.6	100.0	98.3	97.2	99.2	-	98.0	97.7

Buses	0	0	1	0	-	1	0	0	9	0	-	9	0	2	4	0	-	6	0	1	7	1	-	9	25
% Buses	-	0.0	0.6	0.0	-	0.4	-	0.0	0.6	0.0	-	0.5	0.0	1.5	0.9	0.0	-	0.9	0.0	0.4	0.9	0.2	-	0.6	0.6
Single-Unit Trucks	0	1	1	0	-	2	0	0	5	1	-	6	0	1	9	0	-	10	0	1	9	2	-	12	30
% Single-Unit Trucks	-	2.9	0.6	0.0	-	0.8	-	0.0	0.3	0.7	-	0.4	0.0	0.8	2.0	0.0	-	1.4	0.0	0.4	1.2	0.4	-	0.8	0.7
Articulated Trucks	0	0	0	1	-	1	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	2
% Articulated Trucks	-	0.0	0.0	2.0	-	0.4	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.2	0.0	-	0.1	0.0	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	3	1	-	4	0	2	7	1	-	10	0	2	10	2	-	14	0	2	6	1	-	9	37
% Bicycles on Road	-	0.0	1.8	2.0	-	1.6	-	1.9	0.5	0.7	-	0.6	0.0	1.5	2.2	1.7	-	2.0	0.0	0.8	0.8	0.2	-	0.6	0.9
Pedestrians	-	-	-	-	-	147	-	-	-	-	-	165	-	-	-	-	-	295	-	-	-	-	-	64	-
% Pedestrians	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990

Count Name: Euclid Avenue with South  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
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### Turning Movement Peak Hour Data (7:15 AM)

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	0	7	3	1	10	0	5	57	6	6	68	0	3	25	10	3	38	0	7	26	20	0	53	169
7:30 AM	0	1	13	2	3	16	0	8	65	8	16	81	0	10	39	12	11	61	0	14	33	29	4	76	234
7:45 AM	0	1	11	2	9	14	0	8	77	5	2	90	0	9	34	12	2	55	0	15	41	43	0	99	258
8:00 AM	0	1	9	0	6	10	0	3	56	9	10	68	1	11	24	2	12	38	0	15	38	20	8	73	189
Total	0	3	40	7	19	50	0	24	255	28	34	307	1	33	122	36	28	192	0	51	138	112	12	301	850
Approach %	0.0	6.0	80.0	14.0	-	-	0.0	7.8	83.1	9.1	-	-	0.5	17.2	63.5	18.8	-	-	0.0	16.9	45.8	37.2	-	-	-
Total %	0.0	0.4	4.7	0.8	-	5.9	0.0	2.8	30.0	3.3	-	36.1	0.1	3.9	14.4	4.2	-	22.6	0.0	6.0	16.2	13.2	-	35.4	-
PHF	0.000	0.750	0.769	0.583	-	0.781	0.000	0.750	0.828	0.778	-	0.853	0.250	0.750	0.782	0.750	-	0.787	0.000	0.850	0.841	0.651	-	0.760	0.824
Lights	0	3	39	6	-	48	0	23	253	28	-	304	1	31	116	35	-	183	0	50	135	111	-	296	831
% Lights	-	100.0	97.5	85.7	-	96.0	-	95.8	99.2	100.0	-	99.0	100.0	93.9	95.1	97.2	-	95.3	-	98.0	97.8	99.1	-	98.3	97.8
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	2	3	0	-	5	0	1	3	0	-	4	9
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	6.1	2.5	0.0	-	2.6	-	2.0	2.2	0.0	-	1.3	1.1
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	1	-	1	2
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.8	0.0	-	0.5	-	0.0	0.0	0.9	-	0.3	0.2
Articulated Trucks	0	0	0	1	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	1
% Articulated Trucks	-	0.0	0.0	14.3	-	2.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.1
Bicycles on Road	0	0	1	0	-	1	0	1	2	0	-	3	0	0	2	1	-	3	0	0	0	0	-	0	7
% Bicycles on Road	-	0.0	2.5	0.0	-	2.0	-	4.2	0.8	0.0	-	1.0	0.0	0.0	1.6	2.8	-	1.6	-	0.0	0.0	0.0	-	0.0	0.8
Pedestrians	-	-	-	-	19	-	-	-	-	-	34	-	-	-	-	-	28	-	-	-	-	-	12	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.  
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Count Name: Euclid Avenue with South  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
Page No: 6

### Turning Movement Peak Hour Data (5:00 PM)

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
5:00 PM	0	1	3	4	5	8	0	4	77	12	12	93	0	4	20	5	22	29	0	8	50	23	2	81	211
5:15 PM	0	2	11	4	3	17	0	5	74	13	6	92	0	5	23	5	9	33	0	14	60	22	1	96	238
5:30 PM	0	2	7	1	11	10	0	2	67	4	8	73	0	4	27	2	16	33	0	19	50	30	2	99	215
5:45 PM	0	3	6	2	9	11	0	5	71	10	12	86	0	2	18	3	15	23	0	9	48	21	4	78	198
Total	0	8	27	11	28	46	0	16	289	39	38	344	0	15	88	15	62	118	0	50	208	96	9	354	862
Approach %	0.0	17.4	58.7	23.9	-	-	0.0	4.7	84.0	11.3	-	-	0.0	12.7	74.6	12.7	-	-	0.0	14.1	58.8	27.1	-	-	-
Total %	0.0	0.9	3.1	1.3	-	5.3	0.0	1.9	33.5	4.5	-	39.9	0.0	1.7	10.2	1.7	-	13.7	0.0	5.8	24.1	11.1	-	41.1	-
PHF	0.000	0.667	0.614	0.688	-	0.676	0.000	0.800	0.938	0.750	-	0.925	0.000	0.750	0.815	0.750	-	0.894	0.000	0.658	0.867	0.800	-	0.894	0.905
Lights	0	8	26	11	-	45	0	15	285	37	-	337	0	15	84	15	-	114	0	49	202	96	-	347	843
% Lights	-	100.0	96.3	100.0	-	97.8	-	93.8	98.6	94.9	-	98.0	-	100.0	95.5	100.0	-	96.6	-	98.0	97.1	100.0	-	98.0	97.8
Buses	0	0	0	0	-	0	0	0	3	0	-	3	0	0	0	0	-	0	0	0	0	0	-	0	3
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	1.0	0.0	-	0.9	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.3
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	1	-	1	0	0	3	0	-	3	0	0	4	0	-	4	8
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	2.6	-	0.3	-	0.0	3.4	0.0	-	2.5	-	0.0	1.9	0.0	-	1.1	0.9
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	1	0	-	1	0	1	1	1	-	3	0	0	1	0	-	1	0	1	2	0	-	3	8
% Bicycles on Road	-	0.0	3.7	0.0	-	2.2	-	6.3	0.3	2.6	-	0.9	-	0.0	1.1	0.0	-	0.8	-	2.0	1.0	0.0	-	0.8	0.9
Pedestrians	-	-	-	-	28	-	-	-	-	-	38	-	-	-	-	-	62	-	-	-	-	-	9	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-





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Count Name: Euclid Avenue with South  
Boulevard  
Site Code:  
Start Date: 03/10/2016  
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### Turning Movement Peak Hour Data (12:00 PM)

Start Time	South Boulevard Eastbound						South Boulevard Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
12:00 PM	0	5	9	4	15	18	0	9	50	3	4	62	0	6	20	2	29	28	0	5	32	19	2	56	164
12:15 PM	0	2	8	2	6	12	0	4	48	3	4	55	0	6	16	6	15	28	0	13	30	20	4	63	158
12:30 PM	0	2	6	2	7	10	0	2	65	0	8	67	0	6	8	6	4	20	0	10	29	18	0	57	154
12:45 PM	0	0	8	1	8	9	0	2	47	5	7	54	0	8	22	1	9	31	0	7	29	16	1	52	146
Total	0	9	31	9	36	49	0	17	210	11	23	238	0	26	66	15	57	107	0	35	120	73	7	228	622
Approach %	0.0	18.4	63.3	18.4	-	-	0.0	7.1	88.2	4.6	-	-	0.0	24.3	61.7	14.0	-	-	0.0	15.4	52.6	32.0	-	-	-
Total %	0.0	1.4	5.0	1.4	-	7.9	0.0	2.7	33.8	1.8	-	38.3	0.0	4.2	10.6	2.4	-	17.2	0.0	5.6	19.3	11.7	-	36.7	-
PHF	0.000	0.450	0.861	0.563	-	0.681	0.000	0.472	0.808	0.550	-	0.888	0.000	0.813	0.750	0.625	-	0.863	0.000	0.673	0.938	0.913	-	0.905	0.948
Lights	0	8	30	9	-	47	0	17	206	11	-	234	0	26	66	15	-	107	0	34	115	72	-	221	609
% Lights	-	88.9	96.8	100.0	-	95.9	-	100.0	98.1	100.0	-	98.3	-	100.0	100.0	100.0	-	100.0	-	97.1	95.8	98.6	-	96.9	97.9
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Single-Unit Trucks	0	1	1	0	-	2	0	0	1	0	-	1	0	0	0	0	-	0	0	1	2	0	-	3	6
% Single-Unit Trucks	-	11.1	3.2	0.0	-	4.1	-	0.0	0.5	0.0	-	0.4	-	0.0	0.0	0.0	-	0.0	-	2.9	1.7	0.0	-	1.3	1.0
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	3	0	-	3	0	0	0	0	-	0	0	0	3	1	-	4	7
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	1.4	0.0	-	1.3	-	0.0	0.0	0.0	-	0.0	-	0.0	2.5	1.4	-	1.8	1.1
Pedestrians	-	-	-	-	36	-	-	-	-	-	23	-	-	-	-	-	57	-	-	-	-	-	7	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

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Count Name: Euclid Avenue with Ontario Street  
Site Code:  
Start Date: 03/10/2016  
Page No: 1

### Turning Movement Data

Start Time	Ontario Street Eastbound						Ontario Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	1	4	1	0	6	0	1	2	0	1	3	0	2	16	0	0	18	0	2	13	1	1	16	43
7:15 AM	0	1	1	3	2	5	0	2	1	0	1	3	0	4	23	1	3	28	0	1	15	1	3	17	53
7:30 AM	0	2	6	3	1	11	0	0	2	0	7	2	0	5	45	5	5	55	0	0	30	1	2	31	99
7:45 AM	0	0	16	4	2	20	0	3	8	2	0	13	0	14	47	6	5	67	0	2	53	9	5	64	164
Hourly Total	0	4	27	11	5	42	0	6	13	2	9	21	0	25	131	12	13	168	0	5	111	12	11	128	359
8:00 AM	0	0	4	8	2	12	0	1	3	1	5	5	0	8	26	0	2	34	0	1	28	4	0	33	84
8:15 AM	0	2	2	1	2	5	0	0	0	0	5	0	0	9	17	0	0	26	0	0	28	0	2	28	59
8:30 AM	0	0	1	3	3	4	0	2	2	0	4	4	0	5	16	2	1	23	0	1	26	2	1	29	60
8:45 AM	0	0	3	1	4	4	0	3	3	2	2	8	0	9	8	1	1	18	0	0	18	0	0	18	48
Hourly Total	0	2	10	13	11	25	0	6	8	3	16	17	0	31	67	3	4	101	0	2	100	6	3	108	251
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	0	1	4	1	5	0	0	2	0	9	2	0	2	24	0	0	26	0	1	13	1	2	15	48
4:15 PM	0	0	2	3	9	5	0	0	1	0	3	1	0	4	20	0	4	24	0	0	16	0	6	16	46
4:30 PM	0	0	6	3	0	9	0	0	5	0	5	5	0	5	22	0	1	27	0	2	19	1	1	22	63
4:45 PM	0	3	4	5	6	12	0	0	2	1	5	3	0	3	35	2	1	40	0	5	20	1	8	26	81
Hourly Total	0	3	13	15	16	31	0	0	10	1	22	11	0	14	101	2	6	117	0	8	68	3	17	79	238
5:00 PM	0	5	1	10	3	16	0	1	1	3	4	5	0	9	42	2	9	53	0	0	30	1	2	31	105
5:15 PM	0	2	5	10	9	17	0	0	4	3	10	7	0	7	37	6	10	50	0	3	32	2	6	37	111
5:30 PM	0	1	3	5	4	9	0	3	3	2	7	8	0	15	43	8	1	66	1	0	33	3	1	37	120
5:45 PM	0	1	6	7	5	14	0	3	5	2	17	10	0	11	32	3	3	46	0	0	16	0	4	16	86
Hourly Total	0	9	15	32	21	56	0	7	13	10	38	30	0	42	154	19	23	215	1	3	111	6	13	121	422
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	0	1	2	2	9	5	0	0	3	0	6	3	1	9	20	1	5	31	0	1	9	5	1	15	54
12:15 PM	0	2	3	6	5	11	0	1	0	0	5	1	0	2	30	3	3	35	0	0	14	3	2	17	64
12:30 PM	0	3	2	4	5	9	0	1	3	0	2	4	1	9	17	2	2	29	0	2	6	3	3	11	53
12:45 PM	0	1	1	9	1	11	0	0	0	0	3	0	1	4	24	4	1	33	0	0	18	5	1	23	67
Hourly Total	0	7	8	21	20	36	0	2	6	0	16	8	3	24	91	10	11	128	0	3	47	16	7	66	238
1:00 PM	0	0	2	3	2	5	0	1	1	0	6	2	0	6	23	5	4	34	0	0	5	2	2	7	48
1:15 PM	2	0	3	5	0	10	0	0	0	0	3	0	0	7	16	2	1	25	0	1	14	2	2	17	52
1:30 PM	0	2	5	1	3	8	0	1	0	0	6	1	0	4	11	1	1	16	0	1	12	6	1	19	44
1:45 PM	0	3	2	4	10	9	0	4	1	0	4	5	0	4	16	1	2	21	0	1	14	4	5	19	54
Hourly Total	2	5	12	13	15	32	0	6	2	0	19	8	0	21	66	9	8	96	0	3	45	14	10	62	198
Grand Total	2	30	85	105	88	222	0	27	52	16	120	95	3	157	610	55	65	825	1	24	482	57	61	564	1706
Approach %	0.9	13.5	38.3	47.3	-	-	0.0	28.4	54.7	16.8	-	-	0.4	19.0	73.9	6.7	-	-	0.2	4.3	85.5	10.1	-	-	-
Total %	0.1	1.8	5.0	6.2	-	13.0	0.0	1.6	3.0	0.9	-	5.6	0.2	9.2	35.8	3.2	-	48.4	0.1	1.4	28.3	3.3	-	33.1	-
Lights	2	30	72	103	-	207	0	27	47	15	-	89	3	154	596	54	-	807	1	24	475	53	-	553	1656
% Lights	100.0	100.0	84.7	98.1	-	93.2	-	100.0	90.4	93.8	-	93.7	100.0	98.1	97.7	98.2	-	97.8	100.0	100.0	98.5	93.0	-	98.0	97.1

Buses	0	0	0	1	-	1	0	0	0	0	-	0	0	0	4	0	-	4	0	0	3	0	-	3	8
% Buses	0.0	0.0	0.0	1.0	-	0.5	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.7	0.0	-	0.5	0.0	0.0	0.6	0.0	-	0.5	0.5
Single-Unit Trucks	0	0	0	0	-	0	0	0	1	1	-	2	0	1	1	1	-	3	0	0	1	0	-	1	6
% Single-Unit Trucks	0.0	0.0	0.0	0.0	-	0.0	-	0.0	1.9	6.3	-	2.1	0.0	0.6	0.2	1.8	-	0.4	0.0	0.0	0.2	0.0	-	0.2	0.4
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	13	1	-	14	0	0	4	0	-	4	0	2	9	0	-	11	0	0	3	4	-	7	36
% Bicycles on Road	0.0	0.0	15.3	1.0	-	6.3	-	0.0	7.7	0.0	-	4.2	0.0	1.3	1.5	0.0	-	1.3	0.0	0.0	0.6	7.0	-	1.2	2.1
Pedestrians	-	-	-	-	88	-	-	-	-	-	120	-	-	-	-	-	65	-	-	-	-	-	61	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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### Turning Movement Peak Hour Data (7:15 AM)

Start Time	Ontario Street Eastbound						Ontario Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	1	1	3	2	5	0	2	1	0	1	3	0	4	23	1	3	28	0	1	15	1	3	17	53
7:30 AM	0	2	6	3	1	11	0	0	2	0	7	2	0	5	45	5	5	55	0	0	30	1	2	31	99
7:45 AM	0	0	16	4	2	20	0	3	8	2	0	13	0	14	47	6	5	67	0	2	53	9	5	64	164
8:00 AM	0	0	4	8	2	12	0	1	3	1	5	5	0	8	26	0	2	34	0	1	28	4	0	33	84
Total	0	3	27	18	7	48	0	6	14	3	13	23	0	31	141	12	15	184	0	4	126	15	10	145	400
Approach %	0.0	6.3	56.3	37.5	-	-	0.0	26.1	60.9	13.0	-	-	0.0	16.8	76.6	6.5	-	-	0.0	2.8	86.9	10.3	-	-	-
Total %	0.0	0.8	6.8	4.5	-	12.0	0.0	1.5	3.5	0.8	-	5.8	0.0	7.8	35.3	3.0	-	46.0	0.0	1.0	31.5	3.8	-	36.3	-
PHF	0.000	0.375	0.422	0.563	-	0.600	0.000	0.500	0.438	0.375	-	0.442	0.000	0.554	0.750	0.500	-	0.687	0.000	0.500	0.594	0.417	-	0.566	0.610
Lights	0	3	22	17	-	42	0	6	14	3	-	23	0	30	136	12	-	178	0	4	123	15	-	142	385
% Lights	-	100.0	81.5	94.4	-	87.5	-	100.0	100.0	100.0	-	100.0	-	96.8	96.5	100.0	-	96.7	-	100.0	97.6	100.0	-	97.9	96.3
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	0	0	2	0	-	2	4
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	1.4	0.0	-	1.1	-	0.0	1.6	0.0	-	1.4	1.0
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	5	1	-	6	0	0	0	0	-	0	0	1	3	0	-	4	0	0	1	0	-	1	11
% Bicycles on Road	-	0.0	18.5	5.6	-	12.5	-	0.0	0.0	0.0	-	0.0	-	3.2	2.1	0.0	-	2.2	-	0.0	0.8	0.0	-	0.7	2.8
Pedestrians	-	-	-	-	7	-	-	-	-	-	13	-	-	-	-	-	15	-	-	-	-	-	10	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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### Turning Movement Peak Hour Data (5:00 PM)

Start Time	Ontario Street Eastbound						Ontario Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
5:00 PM	0	5	1	10	3	16	0	1	1	3	4	5	0	9	42	2	9	53	0	0	30	1	2	31	105
5:15 PM	0	2	5	10	9	17	0	0	4	3	10	7	0	7	37	6	10	50	0	3	32	2	6	37	111
5:30 PM	0	1	3	5	4	9	0	3	3	2	7	8	0	15	43	8	1	66	1	0	33	3	1	37	120
5:45 PM	0	1	6	7	5	14	0	3	5	2	17	10	0	11	32	3	3	46	0	0	16	0	4	16	86
<b>Total</b>	<b>0</b>	<b>9</b>	<b>15</b>	<b>32</b>	<b>21</b>	<b>56</b>	<b>0</b>	<b>7</b>	<b>13</b>	<b>10</b>	<b>38</b>	<b>30</b>	<b>0</b>	<b>42</b>	<b>154</b>	<b>19</b>	<b>23</b>	<b>215</b>	<b>1</b>	<b>3</b>	<b>111</b>	<b>6</b>	<b>13</b>	<b>121</b>	<b>422</b>
Approach %	0.0	16.1	26.8	57.1	-	-	0.0	23.3	43.3	33.3	-	-	0.0	19.5	71.6	8.8	-	-	0.8	2.5	91.7	5.0	-	-	-
Total %	0.0	2.1	3.6	7.6	-	13.3	0.0	1.7	3.1	2.4	-	7.1	0.0	10.0	36.5	4.5	-	50.9	0.2	0.7	26.3	1.4	-	28.7	-
PHF	0.000	0.450	0.625	0.800	-	0.824	0.000	0.583	0.650	0.833	-	0.750	0.000	0.700	0.895	0.594	-	0.814	0.250	0.250	0.841	0.500	-	0.818	0.879
Lights	0	9	14	32	-	55	0	7	10	10	-	27	0	42	153	19	-	214	1	3	111	6	-	121	417
% Lights	-	100.0	93.3	100.0	-	98.2	-	100.0	76.9	100.0	-	90.0	-	100.0	99.4	100.0	-	99.5	100.0	100.0	100.0	100.0	-	100.0	98.8
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	1	0	-	1	0	0	3	0	-	3	0	0	1	0	-	1	0	0	0	0	-	0	5
% Bicycles on Road	-	0.0	6.7	0.0	-	1.8	-	0.0	23.1	0.0	-	10.0	-	0.0	0.6	0.0	-	0.5	0.0	0.0	0.0	0.0	-	0.0	1.2
Pedestrians	-	-	-	-	21	-	-	-	-	-	38	-	-	-	-	-	23	-	-	-	-	-	13	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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### Turning Movement Peak Hour Data (12:00 PM)

Start Time	Ontario Street Eastbound						Ontario Street Westbound						Euclid Avenue Northbound						Euclid Avenue Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
12:00 PM	0	1	2	2	9	5	0	0	3	0	6	3	1	9	20	1	5	31	0	1	9	5	1	15	54
12:15 PM	0	2	3	6	5	11	0	1	0	0	5	1	0	2	30	3	3	35	0	0	14	3	2	17	64
12:30 PM	0	3	2	4	5	9	0	1	3	0	2	4	1	9	17	2	2	29	0	2	6	3	3	11	53
12:45 PM	0	1	1	9	1	11	0	0	0	0	3	0	1	4	24	4	1	33	0	0	18	5	1	23	67
<b>Total</b>	<b>0</b>	<b>7</b>	<b>8</b>	<b>21</b>	<b>20</b>	<b>36</b>	<b>0</b>	<b>2</b>	<b>6</b>	<b>0</b>	<b>16</b>	<b>8</b>	<b>3</b>	<b>24</b>	<b>91</b>	<b>10</b>	<b>11</b>	<b>128</b>	<b>0</b>	<b>3</b>	<b>47</b>	<b>16</b>	<b>7</b>	<b>66</b>	<b>238</b>
Approach %	0.0	19.4	22.2	58.3	-	-	0.0	25.0	75.0	0.0	-	-	2.3	18.8	71.1	7.8	-	-	0.0	4.5	71.2	24.2	-	-	-
Total %	0.0	2.9	3.4	8.8	-	15.1	0.0	0.8	2.5	0.0	-	3.4	1.3	10.1	38.2	4.2	-	53.8	0.0	1.3	19.7	6.7	-	27.7	-
PHF	0.000	0.583	0.667	0.583	-	0.818	0.000	0.500	0.500	0.000	-	0.500	0.750	0.667	0.758	0.625	-	0.914	0.000	0.375	0.653	0.800	-	0.717	0.888
Lights	0	7	6	20	-	33	0	2	5	0	-	7	3	24	90	10	-	127	0	3	45	14	-	62	229
% Lights	-	100.0	75.0	95.2	-	91.7	-	100.0	83.3	-	-	87.5	100.0	100.0	98.9	100.0	-	99.2	-	100.0	95.7	87.5	-	93.9	96.2
Buses	0	0	0	1	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	1
% Buses	-	0.0	0.0	4.8	-	2.8	-	0.0	0.0	-	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.4
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	1
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0	0.0	1.1	0.0	-	0.8	-	0.0	0.0	0.0	-	0.0	0.4
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	2	0	-	2	0	0	1	0	-	1	0	0	0	0	-	0	0	0	2	2	-	4	7
% Bicycles on Road	-	0.0	25.0	0.0	-	5.6	-	0.0	16.7	-	-	12.5	0.0	0.0	0.0	0.0	-	0.0	-	0.0	4.3	12.5	-	6.1	2.9
Pedestrians	-	-	-	-	20	-	-	-	-	-	16	-	-	-	-	-	11	-	-	-	-	-	7	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-

# **Level of Service Criteria**

**LEVEL OF SERVICE CRITERIA**

**Signalized Intersections**

Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	>10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	>20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	>35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	>55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor and the cycle length is long. Most cycles fail to clear the queue.	>80.0

**Unsignalized Intersections**

Level of Service	Average Total Delay (SEC/VEH)
A	0 - 10
B	> 10 - 15
C	> 15 - 25
D	> 25 - 35
E	> 35 - 50
F	> 50

Source: *Highway Capacity Manual*, 2010.



# **Capacity Analysis Summary Sheets**

Lanes, Volumes, Timings  
1: Oak Park Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	49	314	59	103	272	65	46	405	64	81	467	45
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	10	12	12	10	12	12	10	12	12	10
Storage Length (ft)	85		25	125		25	105		25	85		55
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	75			55			80			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.96		0.92	0.97		0.91	0.97		0.84	0.94		0.89
Frt			0.850			0.850			0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1770	1546	1436	1736	1526	1478	1805	1570	1478	1805	1613	1507
Flt Permitted	0.442			0.355			0.247			0.274		
Satd. Flow (perm)	788	1546	1320	630	1526	1347	456	1570	1238	491	1613	1343
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		726			497			486			254	
Travel Time (s)		19.8			13.6			13.3			6.9	
Confl. Peds. (#/hr)	72		32	32		72	52		84	84		52
Confl. Bikes (#/hr)			3									1
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Heavy Vehicles (%)	2%	4%	5%	4%	6%	2%	0%	3%	2%	0%	2%	0%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	4	0	0	4	0
Parking (#/hr)		8			7			7			4	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	55	353	66	116	306	73	52	455	72	91	525	51
Turn Type	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm
Protected Phases	5	2		1	6		3	8		7	4	
Permitted Phases	2		2	6		6	8		8	4		4
Detector Phase	5	2	2	1	6	6	3	8	8	7	4	4
Switch Phase												
Minimum Initial (s)	3.0	5.0	5.0	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0
Minimum Split (s)	11.0	31.0	31.0	11.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (s)	11.0	31.0	31.0	11.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (%)	12.2%	34.4%	34.4%	12.2%	34.4%	34.4%	12.2%	41.1%	41.1%	12.2%	41.1%	41.1%
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Recall Mode	None	Max	Max	None	Max	Max	None	C-Min	C-Min	None	C-Min	C-Min
Act Effect Green (s)	36.1	27.2	27.2	37.1	27.7	27.7	42.1	33.4	33.4	43.5	35.8	35.8
Actuated g/C Ratio	0.40	0.30	0.30	0.41	0.31	0.31	0.47	0.37	0.37	0.48	0.40	0.40
v/c Ratio	0.14	0.76	0.17	0.33	0.65	0.18	0.17	0.78	0.16	0.26	0.82	0.10
Control Delay	16.0	41.8	26.2	17.1	32.3	24.2	5.2	22.6	10.4	14.0	38.7	20.0
Queue Delay	0.0	0.6	0.1	0.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	16.0	42.4	26.3	17.3	32.3	24.2	5.2	22.6	10.4	14.0	38.7	20.0

Lanes, Volumes, Timings  
 1: Oak Park Avenue & Lake Street

4/29/2016

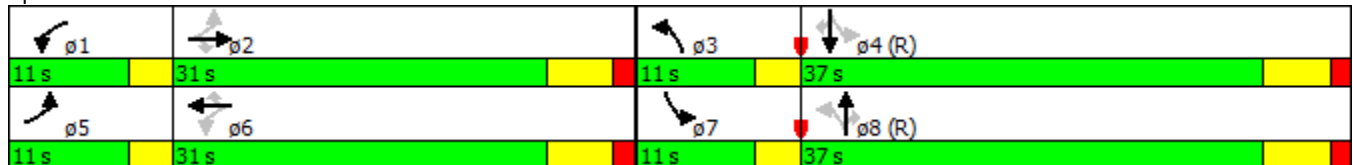


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS	B	D	C	B	C	C	A	C	B	B	D	B
Approach Delay		37.1			27.6			19.5			33.9	
Approach LOS		D			C			B			C	
Queue Length 50th (ft)	18	187	28	27	150	20	4	67	8	26	280	19
Queue Length 95th (ft)	39	#327	61	71	#224	m55	m8	#381	m16	51	#480	45
Internal Link Dist (ft)		646			417			406			174	
Turn Bay Length (ft)	85		25	125		25	105		25	85		55
Base Capacity (vph)	407	467	399	358	470	415	336	583	460	354	640	533
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	15	57	34	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.14	0.78	0.19	0.36	0.65	0.18	0.15	0.78	0.16	0.26	0.82	0.10

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 60 (67%), Referenced to phase 4:SBTL and 8:NBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.82  
 Intersection Signal Delay: 29.4 Intersection LOS: C  
 Intersection Capacity Utilization 71.1% ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 1: Oak Park Avenue & Lake Street



Lanes, Volumes, Timings  
2: Oak Park Avenue & North Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↗					↑	↗	↘	↑	
Volume (vph)	61	259	45	0	0	0	0	458	33	45	577	0
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	11	11	11	12	12	12
Storage Length (ft)	50		0	0		0	0		0	60		0
Storage Lanes	1		1	0		0	0		1	1		0
Taper Length (ft)	75			25			25			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.98	0.96						0.70	0.92		
Frt			0.850						0.850			
Flt Protected		0.991								0.950		
Satd. Flow (prot)	0	1853	1250	0	0	0	0	1755	1561	1805	1570	0
Flt Permitted		0.991								0.288		
Satd. Flow (perm)	0	1820	1201	0	0	0	0	1755	1097	506	1570	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			73						73			
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		703			491			173			486	
Travel Time (s)		19.2			13.4			4.7			13.3	
Confl. Peds. (#/hr)	45		7	7		45	47		138	138		47
Confl. Bikes (#/hr)			5						1			1
Peak Hour Factor	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86
Heavy Vehicles (%)	0%	2%	4%	0%	0%	0%	0%	3%	0%	0%	3%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	4	0	0	4	0
Parking (#/hr)			19								7	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	372	52	0	0	0	0	533	38	52	671	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	6	
Permitted Phases	4		4						2	6		
Detector Phase	4	4	4					2	2	1	6	
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0					15.0	15.0	2.0	15.0	
Minimum Split (s)	38.0	38.0	38.0					43.0	43.0	9.0	52.0	
Total Split (s)	38.0	38.0	38.0					43.0	43.0	9.0	52.0	
Total Split (%)	42.2%	42.2%	42.2%					47.8%	47.8%	10.0%	57.8%	
Yellow Time (s)	4.5	4.5	4.5					4.5	4.5	3.0	4.5	
All-Red Time (s)	1.5	1.5	1.5					1.5	1.5	0.0	1.5	
Lost Time Adjust (s)		0.0	0.0					0.0	0.0	0.0	0.0	
Total Lost Time (s)		6.0	6.0					6.0	6.0	3.0	6.0	
Lead/Lag								Lag	Lag	Lead		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					C-Min	C-Min	None	C-Min	
Act Effect Green (s)		29.4	29.4					43.2	43.2	51.6	48.6	
Actuated g/C Ratio		0.33	0.33					0.48	0.48	0.57	0.54	
v/c Ratio		0.63	0.12					0.63	0.07	0.14	0.79	
Control Delay		30.4	3.4					9.1	0.4	15.7	30.2	
Queue Delay		0.0	0.0					1.2	0.4	0.0	0.2	
Total Delay		30.4	3.5					10.3	0.8	15.7	30.4	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

Lane Group	ø8
Lane Configurations	
Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Ped Bike Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Confl. Peds. (#/hr)	
Confl. Bikes (#/hr)	
Peak Hour Factor	
Heavy Vehicles (%)	
Bus Blockages (#/hr)	
Parking (#/hr)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Turn Type	
Protected Phases	8
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	38.0
Total Split (s)	38.0
Total Split (%)	42%
Yellow Time (s)	4.5
All-Red Time (s)	1.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Recall Mode	None
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	

# Lanes, Volumes, Timings

## 2: Oak Park Avenue & North Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS		C	A					B	A	B	C	
Approach Delay		27.1						9.6			29.4	
Approach LOS		C						A			C	
Queue Length 50th (ft)		169	0					45	0	16	315	
Queue Length 95th (ft)		244	13					84	m0	m26	#407	
Internal Link Dist (ft)		623			411			93			406	
Turn Bay Length (ft)										60		
Base Capacity (vph)		647	474					842	564	377	847	
Starvation Cap Reductn		0	0					135	329	0	10	
Spillback Cap Reductn		0	30					0	0	0	13	
Storage Cap Reductn		0	0					0	0	0	0	
Reduced v/c Ratio		0.57	0.12					0.75	0.16	0.14	0.80	

### Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 45 (50%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.86  
 Intersection Signal Delay: 22.2  
 Intersection LOS: C  
 Intersection Capacity Utilization 64.4%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

### Splits and Phases: 2: Oak Park Avenue & North Boulevard



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Lane Group	ø8
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

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Lanes, Volumes, Timings  
3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations					↔		↗	↘		↗	↘	
Volume (vph)	0	0	0	58	297	35	20	456	32	20	550	65
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	11	11	11
Storage Length (ft)	0		0	0		0	25		0	25		0
Storage Lanes	0		0	0		0	1		0	1		0
Taper Length (ft)	25			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor					0.98		0.97	0.98			0.99	
Fr <sub>t</sub>					0.988			0.990			0.984	
Fl <sub>t</sub> Protected					0.993		0.950			0.950		
Satd. Flow (prot)	0	0	0	0	1590	0	1719	1541	0	1662	1701	0
Fl <sub>t</sub> Permitted					0.993		0.269			0.251		
Satd. Flow (perm)	0	0	0	0	1568	0	474	1541	0	439	1701	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)					6			5			10	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		692			452			558			173	
Travel Time (s)		18.9			12.3			15.2			4.7	
Confl. Peds. (#/hr)	77		46	46		77	49		141	141		49
Confl. Bikes (#/hr)			1									1
Peak Hour Factor	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88
Heavy Vehicles (%)	0%	0%	0%	0%	1%	3%	5%	2%	0%	5%	3%	5%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	4	0	0	4	0
Parking (#/hr)					6			7				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	0	444	0	23	554	0	23	699	0
Turn Type				Perm	NA		Perm	NA		Perm	NA	
Protected Phases					8			2			6	
Permitted Phases				8			2			6		
Detector Phase				8	8		2	2		6	6	
Switch Phase												
Minimum Initial (s)				15.0	15.0		15.0	15.0		15.0	15.0	
Minimum Split (s)				38.0	38.0		43.0	43.0		52.0	52.0	
Total Split (s)				38.0	38.0		43.0	43.0		52.0	52.0	
Total Split (%)				42.2%	42.2%		47.8%	47.8%		57.8%	57.8%	
Yellow Time (s)				4.5	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)				1.5	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)					0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)					6.0		6.0	6.0		6.0	6.0	
Lead/Lag							Lag	Lag				
Lead-Lag Optimize?							Yes	Yes				
Recall Mode				None	None		C-Min	C-Min		C-Min	C-Min	
Act Effect Green (s)					29.4		43.2	43.2		48.6	48.6	
Actuated g/C Ratio					0.33		0.48	0.48		0.54	0.54	
v/c Ratio					0.86		0.10	0.75		0.10	0.76	
Control Delay					45.4		17.8	29.3		5.8	9.5	
Queue Delay					1.7		0.0	0.1		0.0	1.1	
Total Delay					47.0		17.8	29.3		5.8	10.6	



Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

Lane Group	ø1	ø4
Lane Configurations		
Volume (vph)		
Ideal Flow (vphpl)		
Lane Width (ft)		
Storage Length (ft)		
Storage Lanes		
Taper Length (ft)		
Lane Util. Factor		
Ped Bike Factor		
Frt		
Flt Protected		
Satd. Flow (prot)		
Flt Permitted		
Satd. Flow (perm)		
Right Turn on Red		
Satd. Flow (RTOR)		
Link Speed (mph)		
Link Distance (ft)		
Travel Time (s)		
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor		
Heavy Vehicles (%)		
Bus Blockages (#/hr)		
Parking (#/hr)		
Shared Lane Traffic (%)		
Lane Group Flow (vph)		
Turn Type		
Protected Phases	1	4
Permitted Phases		
Detector Phase		
Switch Phase		
Minimum Initial (s)	2.0	15.0
Minimum Split (s)	9.0	38.0
Total Split (s)	9.0	38.0
Total Split (%)	10%	42%
Yellow Time (s)	3.0	4.5
All-Red Time (s)	0.0	1.5
Lost Time Adjust (s)		
Total Lost Time (s)		
Lead/Lag	Lead	
Lead-Lag Optimize?	Yes	
Recall Mode	None	None
Act Effect Green (s)		
Actuated g/C Ratio		
v/c Ratio		
Control Delay		
Queue Delay		
Total Delay		

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS					D		B	C		A	B	
Approach Delay					47.0			28.9			10.4	
Approach LOS					D			C			B	
Queue Length 50th (ft)					220		8	280		2	60	
Queue Length 95th (ft)					#360		24	#460		m3	73	
Internal Link Dist (ft)		612			372			478			93	
Turn Bay Length (ft)							25			25		
Base Capacity (vph)					561		227	742		237	923	
Starvation Cap Reductn					0		0	0		0	76	
Spillback Cap Reductn					35		0	4		0	0	
Storage Cap Reductn					0		0	0		0	0	
Reduced v/c Ratio					0.84		0.10	0.75		0.10	0.83	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 45 (50%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.86  
 Intersection Signal Delay: 25.9 Intersection LOS: C  
 Intersection Capacity Utilization 71.4% ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 3: Oak Park Avenue & South Boulevard



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Lane Group	ø1	ø4
LOS		
Approach Delay		
Approach LOS		
Queue Length 50th (ft)		
Queue Length 95th (ft)		
Internal Link Dist (ft)		
Turn Bay Length (ft)		
Base Capacity (vph)		
Starvation Cap Reductn		
Spillback Cap Reductn		
Storage Cap Reductn		
Reduced v/c Ratio		
Intersection Summary		

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Lanes, Volumes, Timings  
4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	12	422	40	81	368	16	49	152	101	13	103	33
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	80		25	100		0	25		0	25		0
Storage Lanes	1		1	1		0	1		0	1		0
Taper Length (ft)	100			100			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.95		0.87	0.97	0.99		0.98	0.97		0.98	0.99	
Frt			0.850		0.994			0.940			0.964	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1543	1615	1787	1537	0	1671	1724	0	1805	1541	0
Flt Permitted	0.446			0.317			0.600			0.315		
Satd. Flow (perm)	805	1543	1409	579	1537	0	1030	1724	0	584	1541	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			73		3			37			18	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		497			862			124			117	
Travel Time (s)		13.6			23.5			3.4			3.2	
Confl. Peds. (#/hr)	67		47	47		67	14		22	22		14
Confl. Bikes (#/hr)			5						3			1
Peak Hour Factor	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77
Heavy Vehicles (%)	0%	3%	0%	1%	4%	0%	8%	1%	0%	0%	1%	3%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		10			7							7
Shared Lane Traffic (%)												
Lane Group Flow (vph)	16	548	52	105	499	0	64	328	0	17	177	0
Turn Type	pm+pt	NA	Perm	pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases	5	2		1	6			8			4	
Permitted Phases	2		2	6			8			4		
Detector Phase	5	2	2	1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	3.0	12.0	12.0	3.0	12.0		8.0	8.0		8.0	8.0	
Minimum Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (%)	13.3%	51.1%	51.1%	13.3%	51.1%		35.6%	35.6%		35.6%	35.6%	
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0		6.0	6.0		6.0	6.0	
Lead/Lag	Lead	Lag	Lag	Lead	Lag							
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes							
Recall Mode	None	C-Min	C-Min	None	C-Min		None	None		None	None	
Act Effect Green (s)	55.9	48.2	48.2	59.8	55.0		21.2	21.2		21.2	21.2	
Actuated g/C Ratio	0.62	0.54	0.54	0.66	0.61		0.24	0.24		0.24	0.24	
v/c Ratio	0.03	0.66	0.07	0.22	0.53		0.26	0.76		0.12	0.47	
Control Delay	4.8	15.7	1.3	7.5	14.7		29.2	39.4		27.0	29.7	
Queue Delay	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	4.8	15.7	1.3	7.5	14.7		29.2	39.4		27.0	29.7	
LOS	A	B	A	A	B		C	D		C	C	

Lanes, Volumes, Timings  
 4: Euclid Avenue & Lake Street

4/29/2016

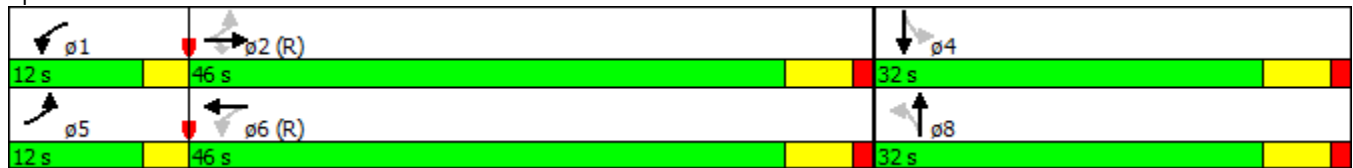


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach Delay		14.2			13.4			37.7				29.5
Approach LOS		B			B			D				C
Queue Length 50th (ft)	2	126	0	20	144		29	152		8		76
Queue Length 95th (ft)	m5	164	m0	36	254		51	186		20		107
Internal Link Dist (ft)		417			782			44				37
Turn Bay Length (ft)	80		25	100			25			25		
Base Capacity (vph)	622	825	788	505	939		297	524		168		457
Starvation Cap Reductn	0	6	0	0	0		0	0		0		0
Spillback Cap Reductn	0	0	0	0	0		0	0		0		0
Storage Cap Reductn	0	0	0	0	0		0	0		0		0
Reduced v/c Ratio	0.03	0.67	0.07	0.21	0.53		0.22	0.63		0.10		0.39

Intersection Summary


















Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 14 (16%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.76  
 Intersection Signal Delay: 20.7  
 Intersection LOS: C  
 Intersection Capacity Utilization 67.6%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 4: Euclid Avenue & Lake Street



Lanes, Volumes, Timings  
8: East Avenue & Lake Street

4/29/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	4	367	111	150	405	0	113	3	113	0	2	3
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	110		0	0		0	0		0
Storage Lanes	0		0	1		0	0		0	0		0
Taper Length (ft)	25			90			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.98		0.99				0.67			0.73	
Frt		0.969						0.933			0.910	
Flt Protected				0.950				0.976				
Satd. Flow (prot)	0	1477	0	1770	1549	0	0	1143	0	0	1232	0
Flt Permitted		0.996		0.281				0.841				
Satd. Flow (perm)	0	1471	0	518	1549	0	0	794	0	0	1232	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		26						73			4	
Link Speed (mph)		25			20			20			25	
Link Distance (ft)		862			446			406			182	
Travel Time (s)		23.5			15.2			13.8			5.0	
Confl. Peds. (#/hr)	18		25	25		18	250		178	178		250
Confl. Bikes (#/hr)			13			4			63			
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		11			11			17				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	603	0	188	506	0	0	286	0	0	6	0
Turn Type	Perm	NA		pm+pt	NA		Perm	NA			NA	
Protected Phases		2		1	6			8			4	
Permitted Phases	2			6			8		4			
Detector Phase	2	2		1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	15.0	15.0		3.0	15.0		8.0	8.0		5.0	5.0	
Minimum Split (s)	34.0	34.0		8.0	42.0		28.0	28.0		28.0	28.0	
Total Split (s)	34.0	34.0		8.0	42.0		28.0	28.0		28.0	28.0	
Total Split (%)	48.6%	48.6%		11.4%	60.0%		40.0%	40.0%		40.0%	40.0%	
Yellow Time (s)	4.5	4.5		3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	1.5	1.5		0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)		0.0		0.0	0.0			0.0			0.0	
Total Lost Time (s)		6.0		3.0	6.0			6.0			6.0	
Lead/Lag	Lag	Lag		Lead								
Lead-Lag Optimize?	Yes	Yes		Yes								
Recall Mode	C-Min	C-Min		None	C-Min		None	None		None	None	
Act Effect Green (s)		28.0		39.0	36.0			22.0			22.0	
Actuated g/C Ratio		0.40		0.56	0.51			0.31			0.31	
v/c Ratio		1.00		0.50	0.63			0.96			0.02	
Control Delay		59.6		12.7	16.8			64.4			12.8	
Queue Delay		0.0		0.0	0.0			0.0			0.0	
Total Delay		59.6		12.7	16.8			64.4			12.8	
LOS		E		B	B			E			B	
Approach Delay		59.6			15.7			64.4			12.8	

Lanes, Volumes, Timings  
 8: East Avenue & Lake Street

4/29/2016

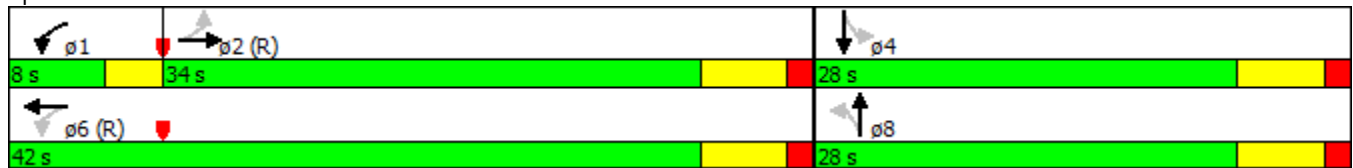


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach LOS		E			B			E			B	
Queue Length 50th (ft)		243		36	146			93			1	
Queue Length 95th (ft)		#373		58	200			#198			7	
Internal Link Dist (ft)		782			366			326			102	
Turn Bay Length (ft)				110								
Base Capacity (vph)		604		379	797			299			389	
Starvation Cap Reductn		0		0	0			0			0	
Spillback Cap Reductn		0		0	0			0			0	
Storage Cap Reductn		0		0	0			0			0	
Reduced v/c Ratio		1.00		0.50	0.63			0.96			0.02	

Intersection Summary

Area Type: Other  
 Cycle Length: 70  
 Actuated Cycle Length: 70  
 Offset: 21 (30%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 1.00  
 Intersection Signal Delay: 41.1  
 Intersection LOS: D  
 Intersection Capacity Utilization 86.9%  
 ICU Level of Service E  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 8: East Avenue & Lake Street



# HCM Unsignalized Intersection Capacity Analysis

## 5: Euclid Avenue & North Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔			↔			↔	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	130	113	76	8	0	12	0	163	9	9	221	0
Peak Hour Factor	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72
Hourly flow rate (vph)	181	157	106	11	0	17	0	226	12	12	307	0

Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	443	28	239	319
Volume Left (vph)	181	11	0	13
Volume Right (vph)	106	17	13	0
Hadj (s)	-0.03	-0.20	0.00	0.02
Departure Headway (s)	5.5	6.3	5.9	5.8
Degree Utilization, x	0.68	0.05	0.39	0.51
Capacity (veh/h)	623	459	559	587
Control Delay (s)	19.6	9.6	12.6	14.6
Approach Delay (s)	19.6	9.6	12.6	14.6
Approach LOS	C	A	B	B

Intersection Summary			
Delay		16.1	
Level of Service		C	
Intersection Capacity Utilization	48.9%		ICU Level of Service A
Analysis Period (min)		15	



# HCM Unsignalized Intersection Capacity Analysis

## 6: Euclid Avenue & South Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	3	40	7	24	255	28	33	122	36	51	138	112
Peak Hour Factor	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82
Hourly flow rate (vph)	4	49	9	29	311	34	40	149	44	62	168	137

















Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	61	374	233	367
Volume Left (vph)	4	29	40	62
Volume Right (vph)	9	34	44	137
Hadj (s)	-0.04	-0.04	-0.03	-0.15
Departure Headway (s)	6.4	5.7	5.8	5.5
Degree Utilization, x	0.11	0.59	0.38	0.56
Capacity (veh/h)	458	597	560	619
Control Delay (s)	10.1	16.5	12.3	15.2
Approach Delay (s)	10.1	16.5	12.3	15.2
Approach LOS	B	C	B	C

Intersection Summary			
Delay		14.7	
Level of Service		B	
Intersection Capacity Utilization		52.7%	ICU Level of Service A
Analysis Period (min)		15	

# HCM Unsignalized Intersection Capacity Analysis

















## 7: Euclid Avenue & Ontario Street

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	3	27	18	6	14	3	31	141	12	4	126	15
Peak Hour Factor	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61
Hourly flow rate (vph)	5	44	30	10	23	5	51	231	20	7	207	25
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	79	38	302	238								
Volume Left (vph)	5	10	51	7								
Volume Right (vph)	30	5	20	25								
Hadj (s)	-0.21	-0.03	0.01	-0.03								
Departure Headway (s)	5.0	5.2	4.5	4.5								
Degree Utilization, x	0.11	0.05	0.38	0.30								
Capacity (veh/h)	646	608	777	762								
Control Delay (s)	8.6	8.5	10.2	9.4								
Approach Delay (s)	8.6	8.5	10.2	9.4								
Approach LOS	A	A	B	A								
Intersection Summary												
Delay			9.6									
Level of Service			A									
Intersection Capacity Utilization			37.4%	ICU Level of Service								A
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis  
 9: East Avenue & South Boulevard

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	29	113	18	27	238	13	24	211	43	65	168	49
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
Hourly flow rate (vph)	36	141	22	34	298	16	30	264	54	81	210	61
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	200	348	348	353								
Volume Left (vph)	36	34	30	81								
Volume Right (vph)	23	16	54	61								
Hadj (s)	0.00	0.03	-0.04	-0.02								
Departure Headway (s)	7.4	6.9	6.8	6.8								
Degree Utilization, x	0.41	0.67	0.66	0.67								
Capacity (veh/h)	413	480	484	491								
Control Delay (s)	15.4	22.8	21.8	22.3								
Approach Delay (s)	15.4	22.8	21.8	22.3								
Approach LOS	C	C	C	C								
Intersection Summary												
Delay			21.2									
Level of Service			C									
Intersection Capacity Utilization			55.3%	ICU Level of Service	B							
Analysis Period (min)			15									

Lanes, Volumes, Timings  
1: Oak Park Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	79	368	94	69	322	94	91	403	54	69	431	61
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	10	12	12	10	12	12	10	12	12	10
Storage Length (ft)	85		25	125		25	105		25	85		55
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	75			55			80			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.93		0.75	0.89		0.86	0.91		0.78	0.91		0.76
Frt			0.850			0.850			0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1576	1507	1805	1585	1507	1787	1608	1507	1805	1705	1507
Flt Permitted	0.424			0.366			0.285			0.327		
Satd. Flow (perm)	748	1576	1132	620	1585	1289	486	1608	1182	567	1705	1145
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		726			497			486			254	
Travel Time (s)		19.8			13.6			13.3			6.9	
Confl. Peds. (#/hr)	125		130	130		125	130		113	113		130
Confl. Bikes (#/hr)						1			5			
Peak Hour Factor	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99
Heavy Vehicles (%)	0%	2%	0%	0%	2%	0%	1%	1%	0%	0%	2%	0%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	3	0	0	3	0
Parking (#/hr)		8			7			7			4	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	80	372	95	70	325	95	92	407	55	70	435	62
Turn Type	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm
Protected Phases	5	2		1	6		3	8		7	4	
Permitted Phases	2		2	6		6	8		8	4		4
Detector Phase	5	2	2	1	6	6	3	8	8	7	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0
Minimum Split (s)	11.0	31.0	31.0	11.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (s)	11.0	31.0	31.0	11.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (%)	12.2%	34.4%	34.4%	12.2%	34.4%	34.4%	12.2%	41.1%	41.1%	12.2%	41.1%	41.1%
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Recall Mode	None	Max	Max	None	Max	Max	None	C-Min	C-Min	None	C-Min	C-Min
Act Effect Green (s)	39.0	29.8	29.8	38.8	29.7	29.7	40.6	31.4	31.4	40.1	31.1	31.1
Actuated g/C Ratio	0.43	0.33	0.33	0.43	0.33	0.33	0.45	0.35	0.35	0.45	0.35	0.35
v/c Ratio	0.20	0.71	0.25	0.19	0.62	0.22	0.28	0.73	0.13	0.20	0.74	0.16
Control Delay	16.3	38.1	27.2	15.4	30.4	23.9	12.7	27.0	19.0	13.4	34.9	22.0
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	16.3	38.1	27.2	15.4	30.4	23.9	12.7	27.0	19.0	13.4	34.9	22.0

Lanes, Volumes, Timings  
 1: Oak Park Avenue & Lake Street

4/29/2016

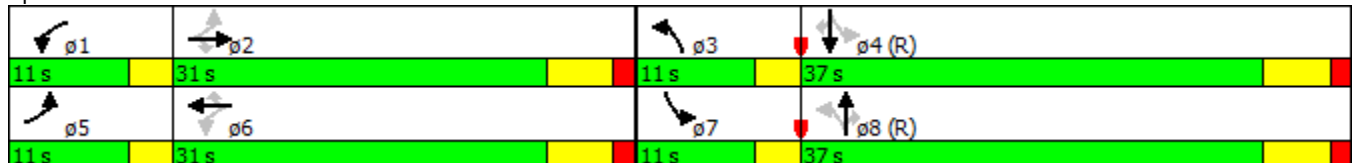


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS	B	D	C	B	C	C	B	C	B	B	C	C
Approach Delay		33.0			27.0			23.8			30.9	
Approach LOS		C			C			C			C	
Queue Length 50th (ft)	26	198	42	21	173	44	16	94	13	20	215	24
Queue Length 95th (ft)	53	#355	85	43	#277	62	m37	#151	m26	42	330	54
Internal Link Dist (ft)		646			417			406			174	
Turn Bay Length (ft)	85		25	125		25	105		25	85		55
Base Capacity (vph)	420	522	375	375	523	425	335	562	413	365	594	399
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.19	0.71	0.25	0.19	0.62	0.22	0.27	0.72	0.13	0.19	0.73	0.16

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 42 (47%), Referenced to phase 4:SBTL and 8:NBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.74  
 Intersection Signal Delay: 28.7 Intersection LOS: C  
 Intersection Capacity Utilization 68.6% ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 1: Oak Park Avenue & Lake Street



# Lanes, Volumes, Timings

## 2: Oak Park Avenue & North Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↖	↗					↑	↗	↖	↑	
Volume (vph)	63	250	94	0	0	0	0	488	46	31	563	0
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	12	12	12	12	11	11	11	12	12	12
Storage Length (ft)	50		0	0		0	0		0	60		0
Storage Lanes	1		1	0		0	0		1	1		0
Taper Length (ft)	75			25			25			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.96	0.95						0.52	0.86		
Frt			0.850						0.850			
Flt Protected		0.990								0.950		
Satd. Flow (prot)	0	1873	1300	0	0	0	0	1797	1561	1805	1692	0
Flt Permitted		0.990								0.324		
Satd. Flow (perm)	0	1790	1232	0	0	0	0	1797	813	529	1692	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			98						73			
Link Speed (mph)		25			25			25				25
Link Distance (ft)		703			491			173				486
Travel Time (s)		19.2			13.4			4.7				13.3
Confl. Peds. (#/hr)	107		14	14		107	109		228	228		109
Confl. Bikes (#/hr)			4						5			1
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	2%	0%	0%	0%	0%	0%	0%	1%	0%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	3	0	0	3	0
Parking (#/hr)			19									7
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	326	98	0	0	0	0	508	48	32	586	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	6	
Permitted Phases	4		4						2	6		
Detector Phase	4	4	4					2	2	1	6	
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0					15.0	15.0	2.0	15.0	
Minimum Split (s)	36.0	36.0	36.0					45.0	45.0	9.0	54.0	
Total Split (s)	36.0	36.0	36.0					45.0	45.0	9.0	54.0	
Total Split (%)	40.0%	40.0%	40.0%					50.0%	50.0%	10.0%	60.0%	
Yellow Time (s)	4.5	4.5	4.5					4.5	4.5	3.0	4.5	
All-Red Time (s)	1.5	1.5	1.5					1.5	1.5	0.0	1.5	
Lost Time Adjust (s)		0.0	0.0					0.0	0.0	0.0	0.0	
Total Lost Time (s)		6.0	6.0					6.0	6.0	3.0	6.0	
Lead/Lag								Lag	Lag	Lead		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					C-Min	C-Min	None	C-Min	
Act Effect Green (s)		27.4	27.4					45.2	45.2	53.6	50.6	
Actuated g/C Ratio		0.30	0.30					0.50	0.50	0.60	0.56	
v/c Ratio		0.60	0.22					0.56	0.11	0.08	0.62	
Control Delay		31.1	6.0					7.7	0.6	8.1	14.0	
Queue Delay		0.0	0.3					0.8	0.5	0.0	0.1	
Total Delay		31.1	6.4					8.6	1.1	8.1	14.1	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

Lane Group	ø8
Lane Configurations	
Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Ped Bike Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Confl. Peds. (#/hr)	
Confl. Bikes (#/hr)	
Peak Hour Factor	
Heavy Vehicles (%)	
Bus Blockages (#/hr)	
Parking (#/hr)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Turn Type	
Protected Phases	8
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	36.0
Total Split (s)	36.0
Total Split (%)	40%
Yellow Time (s)	4.5
All-Red Time (s)	1.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Recall Mode	None
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	

Lanes, Volumes, Timings  
2: Oak Park Avenue & North Boulevard

4/29/2016

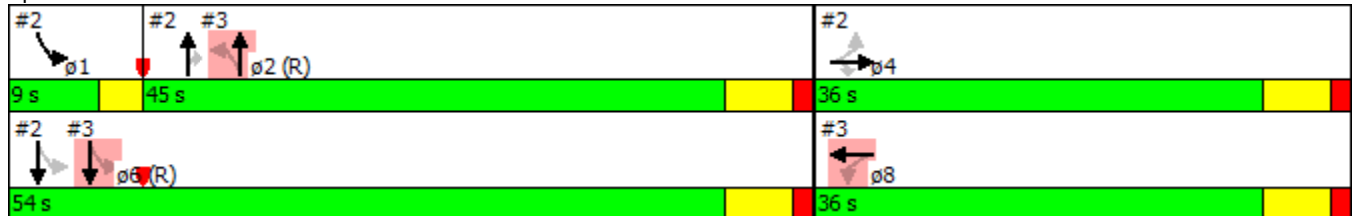


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS		C	A					A	A	A	B	
Approach Delay		25.4						7.9			13.8	
Approach LOS		C						A			B	
Queue Length 50th (ft)		150	0					49	0	6	132	
Queue Length 95th (ft)		234	33					m89	m0	m12	256	
Internal Link Dist (ft)		623			411			93			406	
Turn Bay Length (ft)										60		
Base Capacity (vph)		596	476					901	444	399	950	
Starvation Cap Reductn		0	0					165	219	0	12	
Spillback Cap Reductn		0	130					0	0	0	28	
Storage Cap Reductn		0	0					0	0	0	0	
Reduced v/c Ratio		0.55	0.28					0.69	0.21	0.08	0.64	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 36 (40%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.86  
 Intersection Signal Delay: 14.8  
 Intersection LOS: B  
 Intersection Capacity Utilization 61.5%  
 ICU Level of Service B  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: Oak Park Avenue & North Boulevard





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Lane Group	ø8
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

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Lanes, Volumes, Timings  
3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations					↔		↗	↘		↗	↘	
Volume (vph)	0	0	0	43	310	49	37	477	33	20	572	72
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	11	11	11
Storage Length (ft)	0		0	0		0	25		0	25		0
Storage Lanes	0		0	0		0	1		0	1		0
Taper Length (ft)	25			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor					0.97		0.95	0.98			0.98	
Fr <sub>t</sub>					0.983			0.990			0.983	
Fl <sub>t</sub> Protected					0.995		0.950			0.950		
Satd. Flow (prot)	0	0	0	0	1587	0	1805	1554	0	1745	1734	0
Fl <sub>t</sub> Permitted					0.995		0.315			0.287		
Satd. Flow (perm)	0	0	0	0	1564	0	570	1554	0	527	1734	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)					8			5			11	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		692			452			518			173	
Travel Time (s)		18.9			12.3			14.1			4.7	
Confl. Peds. (#/hr)	65		65	65		65	75		179	179		75
Confl. Bikes (#/hr)						1			1			2
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Heavy Vehicles (%)	0%	0%	0%	0%	1%	0%	0%	1%	0%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	3	0	0	3	0
Parking (#/hr)					6			7				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	0	415	0	38	526	0	21	664	0
Turn Type				Perm	NA		Perm	NA		Perm	NA	
Protected Phases					8			2			6	
Permitted Phases				8			2			6		
Detector Phase				8	8		2	2		6	6	
Switch Phase												
Minimum Initial (s)				15.0	15.0		15.0	15.0		15.0	15.0	
Minimum Split (s)				36.0	36.0		45.0	45.0		54.0	54.0	
Total Split (s)				36.0	36.0		45.0	45.0		54.0	54.0	
Total Split (%)				40.0%	40.0%		50.0%	50.0%		60.0%	60.0%	
Yellow Time (s)				4.5	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)				1.5	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)					0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)					6.0		6.0	6.0		6.0	6.0	
Lead/Lag							Lag	Lag				
Lead-Lag Optimize?							Yes	Yes				
Recall Mode				None	None		C-Min	C-Min		C-Min	C-Min	
Act Effect Green (s)					27.4		45.2	45.2		50.6	50.6	
Actuated g/C Ratio					0.30		0.50	0.50		0.56	0.56	
v/c Ratio					0.86		0.13	0.67		0.07	0.68	
Control Delay					47.3		16.7	24.5		6.6	9.5	
Queue Delay					1.5		0.0	0.0		0.0	0.2	
Total Delay					48.8		16.7	24.5		6.6	9.7	

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

Lane Group	ø1	ø4
Lane Configurations		
Volume (vph)		
Ideal Flow (vphpl)		
Lane Width (ft)		
Storage Length (ft)		
Storage Lanes		
Taper Length (ft)		
Lane Util. Factor		
Ped Bike Factor		
Frt		
Flt Protected		
Satd. Flow (prot)		
Flt Permitted		
Satd. Flow (perm)		
Right Turn on Red		
Satd. Flow (RTOR)		
Link Speed (mph)		
Link Distance (ft)		
Travel Time (s)		
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor		
Heavy Vehicles (%)		
Bus Blockages (#/hr)		
Parking (#/hr)		
Shared Lane Traffic (%)		
Lane Group Flow (vph)		
Turn Type		
Protected Phases	1	4
Permitted Phases		
Detector Phase		
Switch Phase		
Minimum Initial (s)	2.0	15.0
Minimum Split (s)	9.0	36.0
Total Split (s)	9.0	36.0
Total Split (%)	10%	40%
Yellow Time (s)	3.0	4.5
All-Red Time (s)	0.0	1.5
Lost Time Adjust (s)		
Total Lost Time (s)		
Lead/Lag	Lead	
Lead-Lag Optimize?	Yes	
Recall Mode	None	None
Act Effct Green (s)		
Actuated g/C Ratio		
v/c Ratio		
Control Delay		
Queue Delay		
Total Delay		

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

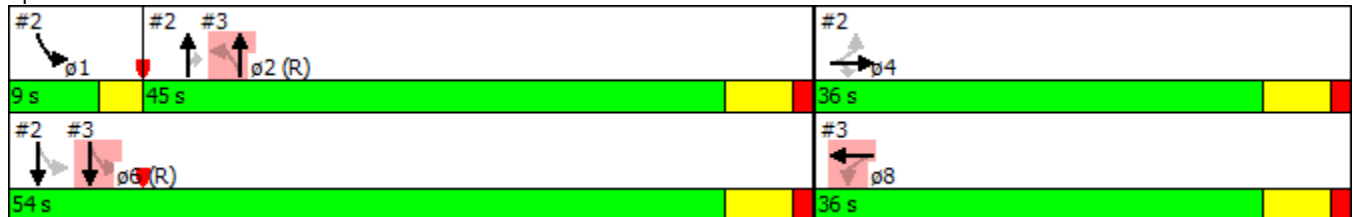


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS					D		B	C		A	A	
Approach Delay					48.8			24.0			9.6	
Approach LOS					D			C			A	
Queue Length 50th (ft)					207		13	246		2	77	
Queue Length 95th (ft)					#357		34	#398		m4	100	
Internal Link Dist (ft)		612			372			438			93	
Turn Bay Length (ft)							25			25		
Base Capacity (vph)					526		286	782		296	978	
Starvation Cap Reductn					0		0	0		0	30	
Spillback Cap Reductn					30		0	3		0	0	
Storage Cap Reductn					0		0	0		0	0	
Reduced v/c Ratio					0.84		0.13	0.68		0.07	0.70	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 36 (40%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.86  
 Intersection Signal Delay: 24.2 Intersection LOS: C  
 Intersection Capacity Utilization 74.0% ICU Level of Service D  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 3: Oak Park Avenue & South Boulevard



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Lane Group	ø1	ø4
LOS		
Approach Delay		
Approach LOS		
Queue Length 50th (ft)		
Queue Length 95th (ft)		
Internal Link Dist (ft)		
Turn Bay Length (ft)		
Base Capacity (vph)		
Starvation Cap Reductn		
Spillback Cap Reductn		
Storage Cap Reductn		
Reduced v/c Ratio		
Intersection Summary		

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Lanes, Volumes, Timings  
4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	24	404	55	66	425	42	47	144	80	13	112	21
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	80		25	100		0	25		0	25		0
Storage Lanes	1		1	1		0	1		0	1		0
Taper Length (ft)	100			100			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.96		0.85	0.95	0.99		0.92	0.97		0.96	0.98	
Frt			0.850		0.986			0.947			0.976	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1558	1583	1770	1546	0	1805	1743	0	1805	1574	0
Flt Permitted	0.451			0.438			0.664			0.437		
Satd. Flow (perm)	820	1558	1352	771	1546	0	1156	1743	0	793	1574	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			73		7			31			11	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		497			862			124			117	
Travel Time (s)		13.6			23.5			3.4			3.2	
Confl. Peds. (#/hr)	55		57	57		55	45		30	30		45
Confl. Bikes (#/hr)			1			2			1			
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	0%	2%	2%	2%	2%	0%	0%	0%	0%	0%	0%	0%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		10			7							7
Shared Lane Traffic (%)												
Lane Group Flow (vph)	25	421	57	69	487	0	49	233	0	14	139	0
Turn Type	pm+pt	NA	Perm	pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases	5	2		1	6			8				4
Permitted Phases	2		2	6			8			4		
Detector Phase	5	2	2	1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	3.0	12.0	12.0	3.0	12.0		8.0	8.0		8.0	8.0	
Minimum Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (%)	13.3%	51.1%	51.1%	13.3%	51.1%		35.6%	35.6%		35.6%	35.6%	
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0		6.0	6.0		6.0	6.0	
Lead/Lag	Lead	Lag	Lag	Lead	Lag							
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes							
Recall Mode	None	C-Min	C-Min	None	C-Min		None	None		None	None	
Act Effect Green (s)	61.0	53.1	53.1	63.4	57.3		16.9	16.9		16.9	16.9	
Actuated g/C Ratio	0.68	0.59	0.59	0.70	0.64		0.19	0.19		0.19	0.19	
v/c Ratio	0.04	0.46	0.07	0.11	0.49		0.23	0.66		0.09	0.46	
Control Delay	4.1	13.6	1.9	5.4	13.0		31.4	37.7		28.8	33.5	
Queue Delay	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	4.1	13.6	1.9	5.4	13.0		31.4	37.7		28.8	33.5	
LOS	A	B	A	A	B		C	D		C	C	

Lanes, Volumes, Timings  
 4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach Delay		11.8			12.1			36.6			33.0	
Approach LOS		B			B			D			C	
Queue Length 50th (ft)	5	142	3	10	111		24	107		7	65	
Queue Length 95th (ft)	m5	118	m0	28	300		51	167		21	110	
Internal Link Dist (ft)		417			782			44			37	
Turn Bay Length (ft)	80		25	100			25			25		
Base Capacity (vph)	675	919	828	647	987		333	525		229	462	
Starvation Cap Reductn	0	0	0	0	0		0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0		0	0		0	0	
Storage Cap Reductn	0	0	0	0	0		0	0		0	0	
Reduced v/c Ratio	0.04	0.46	0.07	0.11	0.49		0.15	0.44		0.06	0.30	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 86 (96%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.66  
 Intersection Signal Delay: 18.8  
 Intersection LOS: B  
 Intersection Capacity Utilization 69.1%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 4: Euclid Avenue & Lake Street



Lanes, Volumes, Timings  
8: East Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↗		↖	↗			↕			↕	
Volume (vph)	0	393	88	128	476	0	113	1	122	1	3	3
Ideal Flow (vphpl)	1900	1900	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	110		0	0		0	0		0
Storage Lanes	0		0	1		0	0		0	0		0
Taper Length (ft)	25			90			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.98		0.98				0.91			0.95	
Frt		0.975						0.930			0.942	
Flt Protected				0.950				0.977			0.993	
Satd. Flow (prot)	0	1487	0	1770	1630	0	0	1292	0	0	1673	0
Flt Permitted				0.328				0.844			0.957	
Satd. Flow (perm)	0	1487	0	599	1630	0	0	1083	0	0	1598	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		19						80			3	
Link Speed (mph)		25			20			20			25	
Link Distance (ft)		862			446			406			182	
Travel Time (s)		23.5			15.2			13.8			5.0	
Confl. Peds. (#/hr)	71		37	37		71	39		61	61		39
Confl. Bikes (#/hr)			9			12			7			11
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		11			11			17				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	507	0	135	501	0	0	248	0	0	7	0
Turn Type		NA		pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases		2		1	6			8			4	
Permitted Phases				6			8			4		
Detector Phase		2		1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)		4.0		3.0	15.0		8.0	8.0		8.0	8.0	
Minimum Split (s)		34.0		8.0	42.0		28.0	28.0		28.0	28.0	
Total Split (s)		34.0		8.0	42.0		28.0	28.0		28.0	28.0	
Total Split (%)		48.6%		11.4%	60.0%		40.0%	40.0%		40.0%	40.0%	
Yellow Time (s)		4.5		3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)		1.5		0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)		0.0		0.0	0.0			0.0			0.0	
Total Lost Time (s)		6.0		3.0	6.0			6.0			6.0	
Lead/Lag		Lag		Lead								
Lead-Lag Optimize?		Yes		Yes								
Recall Mode		C-Min		None	C-Min		Min	Min		Min	Min	
Act Effct Green (s)		34.0		44.4	41.4			16.6			16.6	
Actuated g/C Ratio		0.49		0.63	0.59			0.24			0.24	
v/c Ratio		0.69		0.28	0.52			0.78			0.02	
Control Delay		23.1		8.0	12.3			33.2			14.3	
Queue Delay		0.0		0.0	0.0			0.0			0.0	
Total Delay		23.1		8.0	12.3			33.2			14.3	
LOS		C		A	B			C			B	
Approach Delay		23.1			11.4			33.2			14.3	



Lanes, Volumes, Timings  
 8: East Avenue & Lake Street

4/29/2016

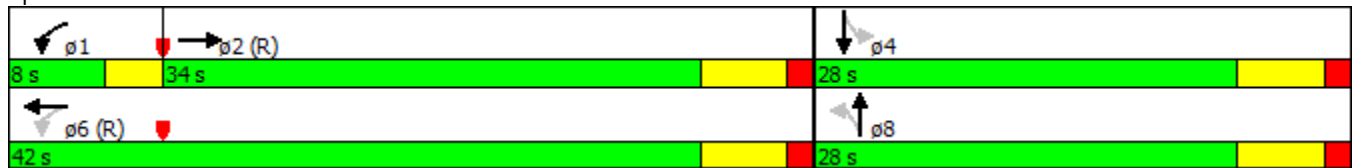


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach LOS		C			B			C			B	
Queue Length 50th (ft)		176		21	119			66				1
Queue Length 95th (ft)		#357		49	232			137				9
Internal Link Dist (ft)		782			366			326				102
Turn Bay Length (ft)				110								
Base Capacity (vph)		732		482	964			395				504
Starvation Cap Reductn		0		0	0			0				0
Spillback Cap Reductn		0		0	0			0				0
Storage Cap Reductn		0		0	0			0				0
Reduced v/c Ratio		0.69		0.28	0.52			0.63				0.01

Intersection Summary

Area Type: Other  
 Cycle Length: 70  
 Actuated Cycle Length: 70  
 Offset: 21 (30%), Referenced to phase 2:EBT and 6:WBTL, Start of Green  
 Natural Cycle: 70  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.78  
 Intersection Signal Delay: 19.5  
 Intersection LOS: B  
 Intersection Capacity Utilization 69.8%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 8: East Avenue & Lake Street



# HCM Unsignalized Intersection Capacity Analysis

## 5: Euclid Avenue & North Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔			↔			↔	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	147	151	118	14	0	12	0	137	5	18	219	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Hourly flow rate (vph)	163	168	131	16	0	13	0	152	6	20	243	0

Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	462	29	158	263
Volume Left (vph)	163	16	0	20
Volume Right (vph)	131	13	6	0
Hadj (s)	-0.09	-0.11	0.03	0.06
Departure Headway (s)	5.1	5.8	5.7	5.6
Degree Utilization, x	0.65	0.05	0.25	0.41
Capacity (veh/h)	684	522	565	601
Control Delay (s)	17.0	9.1	10.6	12.4
Approach Delay (s)	17.0	9.1	10.6	12.4
Approach LOS	C	A	B	B

Intersection Summary			
Delay		14.3	
Level of Service		B	
Intersection Capacity Utilization	58.7%		ICU Level of Service B
Analysis Period (min)		15	

# HCM Unsignalized Intersection Capacity Analysis

## 6: Euclid Avenue & South Boulevard

4/29/2016



















Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	8	27	11	16	289	39	15	88	15	50	208	96
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Hourly flow rate (vph)	9	30	12	18	318	43	16	97	16	55	229	105

Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	51	378	130	389
Volume Left (vph)	9	18	16	55
Volume Right (vph)	12	43	16	105
Hadj (s)	-0.11	-0.04	-0.01	-0.11
Departure Headway (s)	5.9	5.4	5.8	5.2
Degree Utilization, x	0.08	0.56	0.21	0.57
Capacity (veh/h)	506	633	555	653
Control Delay (s)	9.5	15.1	10.3	14.8
Approach Delay (s)	9.5	15.1	10.3	14.8
Approach LOS	A	C	B	B

Intersection Summary			
Delay		14.0	
Level of Service		B	
Intersection Capacity Utilization	53.5%	ICU Level of Service	A
Analysis Period (min)		15	

HCM Unsignalized Intersection Capacity Analysis  
 7: Euclid Avenue & Ontario Street

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	9	15	32	7	13	10	42	154	19	3	111	6
Peak Hour Factor	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88
Hourly flow rate (vph)	10	17	36	8	15	11	48	175	22	3	126	7
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	64	34	244	136								
Volume Left (vph)	10	8	48	3								
Volume Right (vph)	36	11	22	7								
Hadj (s)	-0.31	-0.15	-0.01	-0.02								
Departure Headway (s)	4.5	4.7	4.3	4.4								
Degree Utilization, x	0.08	0.04	0.29	0.17								
Capacity (veh/h)	731	698	819	788								
Control Delay (s)	7.9	7.9	9.0	8.2								
Approach Delay (s)	7.9	7.9	9.0	8.2								
Approach LOS	A	A	A	A								
Intersection Summary												
Delay			8.5									
Level of Service			A									
Intersection Capacity Utilization			34.7%	ICU Level of Service	A							
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 9: East Avenue & South Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	15	93	18	29	311	23	23	182	28	60	151	44
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	16	98	19	31	327	24	24	192	29	63	159	46

Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	133	382	245	268
Volume Left (vph)	16	31	24	63
Volume Right (vph)	19	24	29	46
Hadj (s)	-0.03	0.01	-0.02	-0.02
Departure Headway (s)	6.2	5.8	6.0	6.0
Degree Utilization, x	0.23	0.61	0.41	0.44
Capacity (veh/h)	490	593	544	556
Control Delay (s)	11.1	17.4	13.1	13.6
Approach Delay (s)	11.1	17.4	13.1	13.6
Approach LOS	B	C	B	B

Intersection Summary			
Delay		14.6	
Level of Service		B	
Intersection Capacity Utilization	57.0%		ICU Level of Service B
Analysis Period (min)		15	

Lanes, Volumes, Timings  
1: Oak Park Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	87	294	110	77	345	76	107	368	72	67	361	93
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	10	12	12	10	12	12	10	12	12	10
Storage Length (ft)	85		25	125		25	105		25	85		55
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	75			55			80			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.89		0.67	0.82		0.76	0.86		0.60	0.82		0.67
Frt			0.850			0.850			0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1574	1478	1752	1598	1492	1805	1614	1492	1770	1712	1492
Flt Permitted	0.416			0.483			0.351			0.341		
Satd. Flow (perm)	701	1574	991	731	1598	1136	571	1614	889	522	1712	1006
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		726			497			486			254	
Travel Time (s)		19.8			13.6			13.3			6.9	
Confl. Peds. (#/hr)	183		150	150		183	147		186	186		147
Confl. Bikes (#/hr)						1			1			3
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Heavy Vehicles (%)	0%	3%	2%	3%	2%	1%	0%	1%	1%	2%	2%	1%
Bus Blockages (#/hr)	0	2	0	0	2	0	0	2	0	0	2	0
Parking (#/hr)		8			7			7			4	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	90	303	113	79	356	78	110	379	74	69	372	96
Turn Type	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm
Protected Phases	5	2		1	6		3	8		7	4	
Permitted Phases	2		2	6		6	8		8	4		4
Detector Phase	5	2	2	1	6	6	3	8	8	7	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0
Minimum Split (s)	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0
Total Split (s)	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0
Total Split (%)	11.3%	38.8%	38.8%	11.3%	38.8%	38.8%	11.3%	38.8%	38.8%	11.3%	38.8%	38.8%
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Recall Mode	None	Max	Max	None	Max	Max	None	C-Min	C-Min	None	C-Min	C-Min
Act Effect Green (s)	35.9	28.1	28.1	35.9	28.1	28.1	33.3	25.5	25.5	33.3	25.5	25.5
Actuated g/C Ratio	0.45	0.35	0.35	0.45	0.35	0.35	0.42	0.32	0.32	0.42	0.32	0.32
v/c Ratio	0.23	0.55	0.32	0.20	0.63	0.20	0.33	0.74	0.26	0.22	0.68	0.30
Control Delay	13.7	27.0	24.4	12.0	26.2	19.9	7.1	21.6	12.2	14.0	31.6	24.1
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	13.7	27.0	24.4	12.0	26.2	19.9	7.1	21.6	12.2	14.0	31.6	24.1

Lanes, Volumes, Timings  
 1: Oak Park Avenue & Lake Street

4/29/2016

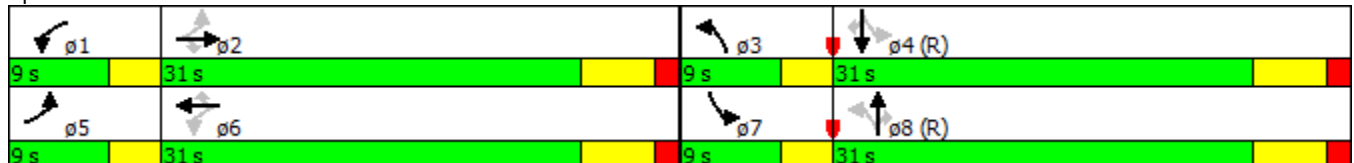


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS	B	C	C	B	C	B	A	C	B	B	C	C
Approach Delay		24.1			23.0			17.5			28.0	
Approach LOS		C			C			B			C	
Queue Length 50th (ft)	24	128	43	16	165	31	8	83	11	18	162	36
Queue Length 95th (ft)	50	212	89	38	#172	46	m16	#176	m17	41	259	77
Internal Link Dist (ft)		646			417			406			174	
Turn Bay Length (ft)	85		25	125		25	105		25	85		55
Base Capacity (vph)	397	553	348	405	562	399	330	513	282	310	545	320
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.23	0.55	0.32	0.20	0.63	0.20	0.33	0.74	0.26	0.22	0.68	0.30

Intersection Summary

Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 39 (49%), Referenced to phase 4:SBTL and 8:NBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.74  
 Intersection Signal Delay: 23.1 Intersection LOS: C  
 Intersection Capacity Utilization 63.6% ICU Level of Service B  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 1: Oak Park Avenue & Lake Street



# Lanes, Volumes, Timings

## 2: Oak Park Avenue & North Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↗					↑	↗	↘	↑	
Volume (vph)	62	174	94	0	0	0	0	494	54	64	503	0
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	12	12	12	12	11	11	11	12	12	12
Storage Length (ft)	50		0	0		0	0		0	60		0
Storage Lanes	1		1	0		0	0		1	1		0
Taper Length (ft)	75			25			25			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.95	0.95						0.67	0.91		
Frt			0.850						0.850			
Flt Protected		0.987								0.950		
Satd. Flow (prot)	0	1865	1300	0	0	0	0	1804	1561	1805	1699	0
Flt Permitted		0.987								0.309		
Satd. Flow (perm)	0	1771	1238	0	0	0	0	1804	1045	533	1699	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			98						82			
Link Speed (mph)		25			25			25				25
Link Distance (ft)		703			491			173				486
Travel Time (s)		19.2			13.4			4.7				13.3
Confl. Peds. (#/hr)	105		14	14		105	124		173	173		124
Confl. Bikes (#/hr)			3			1			3			3
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	2%	0%	0%	0%	0%	0%	0%	1%	0%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	2	0	0	2	0
Parking (#/hr)			19								7	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	246	98	0	0	0	0	515	56	67	524	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	6	
Permitted Phases	4		4						2	6		
Detector Phase	4	4	4					2	2	1	6	
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0					15.0	15.0	2.0	15.0	
Minimum Split (s)	36.0	36.0	36.0					35.0	35.0	9.0	44.0	
Total Split (s)	36.0	36.0	36.0					35.0	35.0	9.0	44.0	
Total Split (%)	45.0%	45.0%	45.0%					43.8%	43.8%	11.3%	55.0%	
Yellow Time (s)	4.5	4.5	4.5					4.5	4.5	3.0	4.5	
All-Red Time (s)	1.5	1.5	1.5					1.5	1.5	0.0	1.5	
Lost Time Adjust (s)		0.0	0.0					0.0	0.0	0.0	0.0	
Total Lost Time (s)		6.0	6.0					6.0	6.0	3.0	6.0	
Lead/Lag								Lag	Lag	Lead		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					C-Min	C-Min	None	C-Min	
Act Effect Green (s)		22.2	22.2					38.1	38.1	48.8	45.8	
Actuated g/C Ratio		0.28	0.28					0.48	0.48	0.61	0.57	
v/c Ratio		0.50	0.24					0.60	0.10	0.16	0.54	
Control Delay		26.8	5.7					10.3	0.8	14.6	24.0	
Queue Delay		0.0	0.0					1.2	0.5	0.0	0.5	
Total Delay		26.8	5.7					11.5	1.3	14.6	24.5	



Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

Lane Group	ø8
Lane Configurations	
Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Ped Bike Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Confl. Peds. (#/hr)	
Confl. Bikes (#/hr)	
Peak Hour Factor	
Heavy Vehicles (%)	
Bus Blockages (#/hr)	
Parking (#/hr)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Turn Type	
Protected Phases	8
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	36.0
Total Split (s)	36.0
Total Split (%)	45%
Yellow Time (s)	4.5
All-Red Time (s)	1.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Recall Mode	None
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

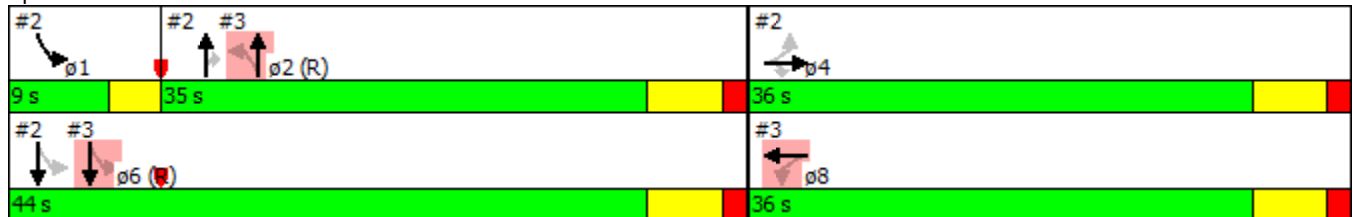


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS		C	A					B	A	B	C	
Approach Delay		20.8						10.5				23.4
Approach LOS		C						B			C	
Queue Length 50th (ft)		103	0					40	0	18	241	
Queue Length 95th (ft)		148	29					#108	m0	m37	359	
Internal Link Dist (ft)		623			411			93				406
Turn Bay Length (ft)										60		
Base Capacity (vph)		664	525					860	541	427	972	
Starvation Cap Reductn		0	0					159	293	0	151	
Spillback Cap Reductn		0	2					0	0	0	12	
Storage Cap Reductn		0	0					0	0	0	0	
Reduced v/c Ratio		0.37	0.19					0.73	0.23	0.16	0.64	

Intersection Summary

Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 26 (33%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.73  
 Intersection Signal Delay: 17.9  
 Intersection LOS: B  
 Intersection Capacity Utilization 62.1%  
 ICU Level of Service B  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: Oak Park Avenue & North Boulevard



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Lane Group	ø8
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

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Lanes, Volumes, Timings  
3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations					↔		↗	↘		↗	↘	
Volume (vph)	0	0	0	50	210	44	26	504	33	16	484	99
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	11	11	11
Storage Length (ft)	0		0	0		0	25		0	25		0
Storage Lanes	0		0	0		0	1		0	1		0
Taper Length (ft)	25			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor					0.97		0.92	0.99				0.96
Fr <sub>t</sub>					0.981			0.991				0.975
Fl <sub>t</sub> Protected					0.992		0.950			0.950		
Satd. Flow (prot)	0	0	0	0	1584	0	1805	1581	0	1745	1680	0
Fl <sub>t</sub> Permitted					0.992		0.404			0.245		
Satd. Flow (perm)	0	0	0	0	1545	0	708	1581	0	450	1680	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)					12			5				18
Link Speed (mph)		25			25			25				25
Link Distance (ft)		692			452			535				173
Travel Time (s)		18.9			12.3			14.6				4.7
Confl. Peds. (#/hr)	43		81	81		43	115		103	103		115
Confl. Bikes (#/hr)						4			1			3
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Heavy Vehicles (%)	0%	0%	0%	0%	1%	0%	0%	1%	0%	0%	2%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	2	0	0	2	0
Parking (#/hr)					6			7				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	0	313	0	27	554	0	16	601	0
Turn Type				Perm	NA		Perm	NA		Perm	NA	
Protected Phases					8			2				6
Permitted Phases				8			2			6		
Detector Phase				8	8		2	2		6	6	
Switch Phase												
Minimum Initial (s)				15.0	15.0		15.0	15.0		15.0	15.0	
Minimum Split (s)				36.0	36.0		35.0	35.0		44.0	44.0	
Total Split (s)				36.0	36.0		35.0	35.0		44.0	44.0	
Total Split (%)				45.0%	45.0%		43.8%	43.8%		55.0%	55.0%	
Yellow Time (s)				4.5	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)				1.5	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)					0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)					6.0		6.0	6.0		6.0	6.0	
Lead/Lag							Lag	Lag				
Lead-Lag Optimize?							Yes	Yes				
Recall Mode				None	None		C-Min	C-Min		C-Min	C-Min	
Act Effect Green (s)					22.2		38.1	38.1		45.8	45.8	
Actuated g/C Ratio					0.28		0.48	0.48		0.57	0.57	
v/c Ratio					0.72		0.08	0.73		0.06	0.62	
Control Delay					33.8		16.3	27.6		5.2	7.5	
Queue Delay					0.4		0.0	0.0		0.0	0.0	
Total Delay					34.2		16.3	27.6		5.2	7.5	

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

Lane Group	ø1	ø4
Lane Configurations		
Volume (vph)		
Ideal Flow (vphpl)		
Lane Width (ft)		
Storage Length (ft)		
Storage Lanes		
Taper Length (ft)		
Lane Util. Factor		
Ped Bike Factor		
Frt		
Flt Protected		
Satd. Flow (prot)		
Flt Permitted		
Satd. Flow (perm)		
Right Turn on Red		
Satd. Flow (RTOR)		
Link Speed (mph)		
Link Distance (ft)		
Travel Time (s)		
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor		
Heavy Vehicles (%)		
Bus Blockages (#/hr)		
Parking (#/hr)		
Shared Lane Traffic (%)		
Lane Group Flow (vph)		
Turn Type		
Protected Phases	1	4
Permitted Phases		
Detector Phase		
Switch Phase		
Minimum Initial (s)	2.0	15.0
Minimum Split (s)	9.0	36.0
Total Split (s)	9.0	36.0
Total Split (%)	11%	45%
Yellow Time (s)	3.0	4.5
All-Red Time (s)	0.0	1.5
Lost Time Adjust (s)		
Total Lost Time (s)		
Lead/Lag	Lead	
Lead-Lag Optimize?	Yes	
Recall Mode	None	None
Act Effct Green (s)		
Actuated g/C Ratio		
v/c Ratio		
Control Delay		
Queue Delay		
Total Delay		

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

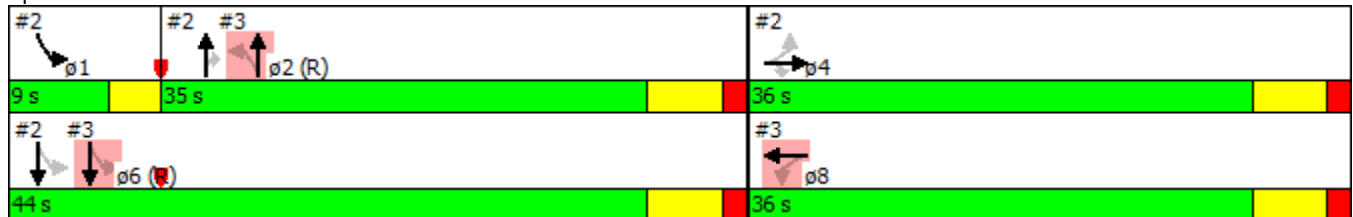


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS					C		B	C		A	A	
Approach Delay					34.2			27.1			7.5	
Approach LOS					C			C			A	
Queue Length 50th (ft)					136		7	220		1	45	
Queue Length 95th (ft)					194		27	#472		m3	72	
Internal Link Dist (ft)		612			372			455			93	
Turn Bay Length (ft)							25			25		
Base Capacity (vph)					586		337	756		257	969	
Starvation Cap Reductn					0		0	0		0	5	
Spillback Cap Reductn					57		0	4		0	0	
Storage Cap Reductn					0		0	0		0	0	
Reduced v/c Ratio					0.59		0.08	0.74		0.06	0.62	

Intersection Summary

Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 26 (33%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.73  
 Intersection Signal Delay: 20.6 Intersection LOS: C  
 Intersection Capacity Utilization 66.2% ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 3: Oak Park Avenue & South Boulevard



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Lane Group	ø1	ø4
LOS		
Approach Delay		
Approach LOS		
Queue Length 50th (ft)		
Queue Length 95th (ft)		
Internal Link Dist (ft)		
Turn Bay Length (ft)		
Base Capacity (vph)		
Starvation Cap Reductn		
Spillback Cap Reductn		
Storage Cap Reductn		
Reduced v/c Ratio		
Intersection Summary		

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Lanes, Volumes, Timings  
4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	20	348	56	49	403	18	57	89	61	13	41	22
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	80		25	100		0	25		0	25		0
Storage Lanes	1		1	1		0	1		0	1		0
Taper Length (ft)	100			100			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.95		0.84	0.93	0.99		0.91	0.97		0.96	0.96	
Frt			0.850		0.994			0.939			0.948	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1583	1538	1805	1593	0	1736	1711	0	1805	1438	0
Flt Permitted	0.486			0.511			0.714			0.633		
Satd. Flow (perm)	879	1583	1294	902	1593	0	1188	1711	0	1156	1438	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			82		3			46			23	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		497			862			122			117	
Travel Time (s)		13.6			23.5			3.3			3.2	
Confl. Peds. (#/hr)	59		70	70		59	49		24	24		49
Confl. Bikes (#/hr)			2			3						2
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	0%	2%	5%	0%	2%	0%	4%	1%	0%	0%	2%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	2	0	0	2	0
Parking (#/hr)		10			7						10	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	21	362	58	51	439	0	59	157	0	14	66	0
Turn Type	pm+pt	NA	Perm	pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases	5	2		1	6			8			4	
Permitted Phases	2		2	6			8			4		
Detector Phase	5	2	2	1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	3.0	12.0	12.0	3.0	12.0		8.0	8.0		8.0	8.0	
Minimum Split (s)	12.0	36.0	36.0	12.0	36.0		32.0	32.0		32.0	32.0	
Total Split (s)	12.0	36.0	36.0	12.0	36.0		32.0	32.0		32.0	32.0	
Total Split (%)	15.0%	45.0%	45.0%	15.0%	45.0%		40.0%	40.0%		40.0%	40.0%	
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5		1.5	1.5		0.5	0.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0		6.0	6.0		5.0	5.0	
Lead/Lag	Lead	Lag	Lag	Lead	Lag							
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes							
Recall Mode	None	C-Min	C-Min	None	C-Min		None	None		None	None	
Act Effect Green (s)	56.8	50.2	50.2	58.0	52.3		12.1	12.1		13.1	13.1	
Actuated g/C Ratio	0.71	0.63	0.63	0.72	0.65		0.15	0.15		0.16	0.16	
v/c Ratio	0.03	0.36	0.07	0.07	0.42		0.33	0.53		0.07	0.26	
Control Delay	2.4	6.6	0.9	3.9	10.1		34.0	27.7		26.9	22.3	
Queue Delay	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	2.4	6.6	0.9	3.9	10.1		34.0	27.7		26.9	22.3	
LOS	A	A	A	A	B		C	C		C	C	



Lanes, Volumes, Timings  
 4: Euclid Avenue & Lake Street

4/29/2016

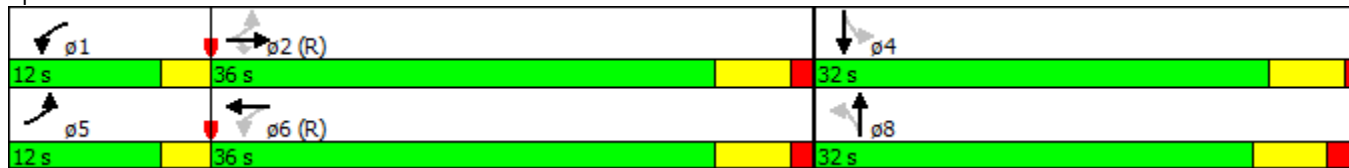


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach Delay		5.7			9.4			29.4			23.1	
Approach LOS		A			A			C			C	
Queue Length 50th (ft)	1	59	0	5	73		27	51		6	19	
Queue Length 95th (ft)	m5	103	m0	18	221		57	100		20	49	
Internal Link Dist (ft)		417			782			42			37	
Turn Bay Length (ft)	80		25	100			25			25		
Base Capacity (vph)	748	993	843	765	1041		386	587		390	500	
Starvation Cap Reductn	0	0	0	0	0		0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0		0	0		0	0	
Storage Cap Reductn	0	0	0	0	0		0	0		0	0	
Reduced v/c Ratio	0.03	0.36	0.07	0.07	0.42		0.15	0.27		0.04	0.13	

Intersection Summary


















Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 4 (5%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.53  
 Intersection Signal Delay: 12.5 Intersection LOS: B  
 Intersection Capacity Utilization 53.8% ICU Level of Service A  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 4: Euclid Avenue & Lake Street



Lanes, Volumes, Timings  
8: East Avenue & Lake Street

4/29/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	0	350	70	115	472	0	79	2	87	0	2	3
Ideal Flow (vphpl)	1900	1900	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	110		0	0		0	0		0
Storage Lanes	0		0	1		0	0		0	0		0
Taper Length (ft)	25			90			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.96		0.91				0.85			0.92	
Frt		0.977						0.930			0.919	
Flt Protected				0.950				0.977				
Satd. Flow (prot)	0	1467	0	1770	1644	0	0	1239	0	0	1568	0
Flt Permitted				0.384				0.848				
Satd. Flow (perm)	0	1467	0	652	1644	0	0	1021	0	0	1568	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		20						92				3
Link Speed (mph)		25			20			20				25
Link Distance (ft)		862			446			406				182
Travel Time (s)		23.5			15.2			13.8				5.0
Confl. Peds. (#/hr)	203		157	157		203	65		99	99		65
Confl. Bikes (#/hr)			12			18			14			13
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Bus Blockages (#/hr)	0	2	0	0	2	0	0	0	0	0	0	0
Parking (#/hr)		11			11			17				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	442	0	121	497	0	0	177	0	0	5	0
Turn Type		NA		pm+pt	NA		Perm	NA			NA	
Protected Phases		2		1	6			8			4	
Permitted Phases				6			8			4		
Detector Phase		2		1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)		15.0		3.0	15.0		8.0	8.0		8.0	8.0	
Minimum Split (s)		29.0		7.0	36.0		24.0	24.0		24.0	24.0	
Total Split (s)		29.0		7.0	36.0		24.0	24.0		24.0	24.0	
Total Split (%)		48.3%		11.7%	60.0%		40.0%	40.0%		40.0%	40.0%	
Yellow Time (s)		4.5		3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)		1.5		0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)		0.0		0.0	0.0			0.0			0.0	
Total Lost Time (s)		6.0		3.0	6.0			6.0			6.0	
Lead/Lag		Lag		Lead								
Lead-Lag Optimize?		Yes		Yes								
Recall Mode		C-Min		None	C-Min		None	None		None	None	
Act Effect Green (s)		28.6		38.8	35.8			12.2			12.2	
Actuated g/C Ratio		0.48		0.65	0.60			0.20			0.20	
v/c Ratio		0.62		0.23	0.51			0.63			0.02	
Control Delay		19.2		6.2	10.4			21.1			12.8	
Queue Delay		0.0		0.0	0.0			0.0			0.0	
Total Delay		19.2		6.2	10.4			21.1			12.8	
LOS		B		A	B			C			B	
Approach Delay		19.2			9.6			21.1			12.8	

Lanes, Volumes, Timings  
 8: East Avenue & Lake Street

4/29/2016

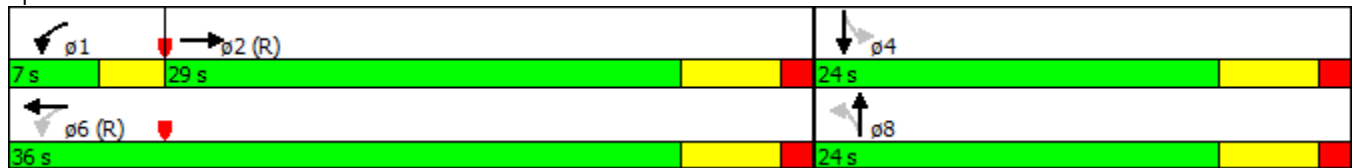


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach LOS		B			A			C			B	
Queue Length 50th (ft)		115		13	87			27			1	
Queue Length 95th (ft)		#270		40	205			74			7	
Internal Link Dist (ft)		782			366			326			102	
Turn Bay Length (ft)				110								
Base Capacity (vph)		709		533	982			370			472	
Starvation Cap Reductn		0		0	0			0			0	
Spillback Cap Reductn		0		0	0			0			0	
Storage Cap Reductn		0		0	0			0			0	
Reduced v/c Ratio		0.62		0.23	0.51			0.48			0.01	

Intersection Summary

Area Type: Other  
 Cycle Length: 60  
 Actuated Cycle Length: 60  
 Offset: 18 (30%), Referenced to phase 2:EBT and 6:WBTL, Start of Green  
 Natural Cycle: 60  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.63  
 Intersection Signal Delay: 14.7  
 Intersection LOS: B  
 Intersection Capacity Utilization 63.1%  
 ICU Level of Service B  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 8: East Avenue & Lake Street



# HCM Unsignalized Intersection Capacity Analysis

## 5: Euclid Avenue & North Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔			↔			↔	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	104	112	89	15	0	32	0	79	5	16	128	0
Peak Hour Factor	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88
Hourly flow rate (vph)	118	127	101	17	0	36	0	90	6	18	145	0

















Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	347	53	95	164
Volume Left (vph)	118	17	0	18
Volume Right (vph)	101	36	6	0
Hadj (s)	-0.08	-0.34	-0.02	0.05
Departure Headway (s)	4.6	4.7	5.1	5.1
Degree Utilization, x	0.44	0.07	0.13	0.23
Capacity (veh/h)	750	699	645	656
Control Delay (s)	11.1	8.0	8.9	9.6
Approach Delay (s)	11.1	8.0	8.9	9.6
Approach LOS	B	A	A	A

Intersection Summary			
Delay		10.1	
Level of Service		B	
Intersection Capacity Utilization	44.1%		ICU Level of Service A
Analysis Period (min)		15	

# HCM Unsignalized Intersection Capacity Analysis

## 6: Euclid Avenue & South Boulevard

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	9	31	9	17	210	11	26	66	15	35	120	73
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	9	33	9	18	221	12	27	69	16	37	126	77
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	52	251	113	240								
Volume Left (vph)	9	18	27	37								
Volume Right (vph)	9	12	16	77								
Hadj (s)	-0.01	0.00	-0.04	-0.14								
Departure Headway (s)	5.1	4.8	5.0	4.7								
Degree Utilization, x	0.07	0.34	0.15	0.31								
Capacity (veh/h)	632	696	670	720								
Control Delay (s)	8.5	10.3	8.9	9.8								
Approach Delay (s)	8.5	10.3	8.9	9.8								
Approach LOS	A	B	A	A								
Intersection Summary												
Delay			9.7									
Level of Service			A									
Intersection Capacity Utilization			36.8%	ICU Level of Service	A							
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 7: Euclid Avenue & Ontario Street

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	7	8	21	2	6	0	24	91	10	3	47	16
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Hourly flow rate (vph)	8	9	24	2	7	0	27	102	11	3	53	18

















Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	40	9	140	74
Volume Left (vph)	8	2	27	3
Volume Right (vph)	24	0	11	18
Hadj (s)	-0.26	0.05	0.00	-0.14
Departure Headway (s)	4.1	4.5	4.1	4.0
Degree Utilization, x	0.05	0.01	0.16	0.08
Capacity (veh/h)	830	755	860	878
Control Delay (s)	7.3	7.5	7.9	7.4
Approach Delay (s)	7.3	7.5	7.9	7.4
Approach LOS	A	A	A	A

Intersection Summary			
Delay		7.6	
Level of Service		A	
Intersection Capacity Utilization	26.6%		ICU Level of Service A
Analysis Period (min)		15	

# HCM Unsignalized Intersection Capacity Analysis

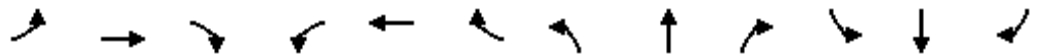
## 9: East Avenue & South Boulevard

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	8	82	21	20	224	36	24	108	26	64	134	44
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	8	86	22	21	236	38	25	114	27	67	141	46
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	117	295	166	255								
Volume Left (vph)	8	21	25	67								
Volume Right (vph)	22	38	27	46								
Hadj (s)	-0.07	-0.03	-0.03	-0.02								
Departure Headway (s)	5.5	5.2	5.4	5.3								
Degree Utilization, x	0.18	0.43	0.25	0.37								
Capacity (veh/h)	584	644	598	633								
Control Delay (s)	9.7	12.1	10.2	11.4								
Approach Delay (s)	9.7	12.1	10.2	11.4								
Approach LOS	A	B	B	B								
Intersection Summary												
Delay			11.2									
Level of Service			B									
Intersection Capacity Utilization			49.0%	ICU Level of Service								A
Analysis Period (min)			15									

Lanes, Volumes, Timings  
1: Oak Park Avenue & Lake Street

5/2/2016

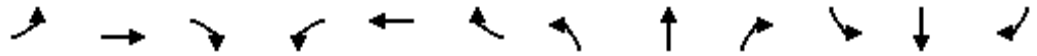


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	59	351	70	110	303	71	54	425	68	86	490	52
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	10	12	12	10	12	12	10	12	12	10
Storage Length (ft)	85		25	125		25	105		25	85		55
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	75			55			80			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.96		0.91	0.97		0.90	0.97		0.82	0.94		0.88
Frt			0.850			0.850			0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1770	1546	1436	1736	1526	1478	1805	1570	1478	1805	1613	1507
Flt Permitted	0.384			0.309			0.189			0.260		
Satd. Flow (perm)	684	1546	1308	547	1526	1330	348	1570	1205	464	1613	1322
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		726			497			486			254	
Travel Time (s)		19.8			13.6			13.3			6.9	
Confl. Peds. (#/hr)	83		37	37		83	60		97	97		60
Confl. Bikes (#/hr)			3									1
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Heavy Vehicles (%)	2%	4%	5%	4%	6%	2%	0%	3%	2%	0%	2%	0%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	4	0	0	4	0
Parking (#/hr)		8			7			7			4	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	66	394	79	124	340	80	61	478	76	97	551	58
Turn Type	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm
Protected Phases	5	2		1	6		3	8		7	4	
Permitted Phases	2		2	6		6	8		8	4		4
Detector Phase	5	2	2	1	6	6	3	8	8	7	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0	15.0	1.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0
Minimum Split (s)	11.0	31.0	31.0	4.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (s)	11.0	33.0	33.0	9.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (%)	12.2%	36.7%	36.7%	10.0%	34.4%	34.4%	12.2%	41.1%	41.1%	12.2%	41.1%	41.1%
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Recall Mode	None	Max	Max	None	Max	Max	None	C-Min	C-Min	None	C-Min	C-Min
Act Effect Green (s)	37.1	27.0	27.0	35.4	27.6	27.6	42.2	33.4	33.4	43.0	33.8	33.8
Actuated g/C Ratio	0.41	0.30	0.30	0.39	0.31	0.31	0.47	0.37	0.37	0.48	0.38	0.38
v/c Ratio	0.18	0.85	0.20	0.42	0.73	0.20	0.22	0.82	0.17	0.29	0.91	0.12
Control Delay	16.4	48.7	25.2	20.9	37.5	27.4	5.6	23.6	10.4	14.4	49.9	20.9
Queue Delay	0.0	4.6	0.3	0.8	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	16.4	53.3	25.6	21.8	37.5	27.4	5.6	23.6	10.4	14.4	49.9	20.9



Lanes, Volumes, Timings  
 1: Oak Park Avenue & Lake Street

5/2/2016

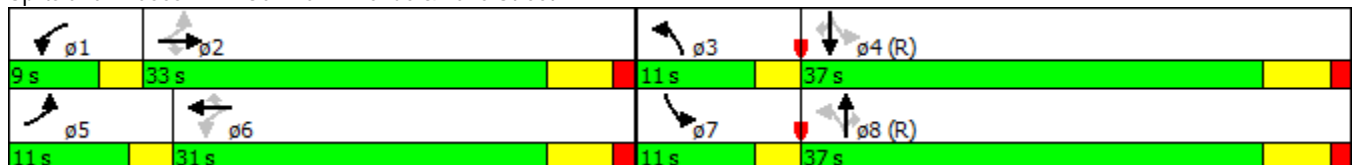


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS	B	D	C	C	D	C	A	C	B	B	D	C
Approach Delay		44.7			32.4			20.2			42.6	
Approach LOS		D			C			C			D	
Queue Length 50th (ft)	21	209	33	29	163	22	6	113	10	28	302	22
Queue Length 95th (ft)	45	#362	68	m77	#305	m56	m8	#409	m15	53	#514	49
Internal Link Dist (ft)		646			417			406			174	
Turn Bay Length (ft)	85		25	125		25	105		25	85		55
Base Capacity (vph)	385	463	392	294	467	408	294	582	447	341	605	496
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	33	99	47	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.17	0.92	0.27	0.50	0.73	0.20	0.21	0.82	0.17	0.28	0.91	0.12

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 60 (67%), Referenced to phase 4:SBTL and 8:NBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.91  
 Intersection Signal Delay: 35.0 Intersection LOS: D  
 Intersection Capacity Utilization 72.7% ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 1: Oak Park Avenue & Lake Street



# Lanes, Volumes, Timings

## 2: Oak Park Avenue & North Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↖	↗					↑	↗	↖	↑	
Volume (vph)	66	276	47	0	0	0	0	487	35	47	616	0
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	11	11	11	12	12	12
Storage Length (ft)	50		0	0		0	0		0	60		0
Storage Lanes	1		1	0		0	0		1	1		0
Taper Length (ft)	75			25			25			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.90	0.82						0.66	0.92		
Frt			0.850						0.850			
Flt Protected		0.990								0.950		
Satd. Flow (prot)	0	1851	1250	0	0	0	0	1755	1561	1805	1570	0
Flt Permitted		0.990								0.243		
Satd. Flow (perm)	0	1661	1028	0	0	0	0	1755	1031	426	1570	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			73						73			
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		703			491			173			486	
Travel Time (s)		19.2			13.4			4.7			13.3	
Confl. Peds. (#/hr)	317		76	76		317	54		159	159		54
Confl. Bikes (#/hr)			6						1			1
Peak Hour Factor	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86
Heavy Vehicles (%)	0%	2%	4%	0%	0%	0%	0%	3%	0%	0%	3%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	4	0	0	4	0
Parking (#/hr)			19								7	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	398	55	0	0	0	0	566	41	55	716	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	6	
Permitted Phases	4		4						2	6		
Detector Phase	4	4	4					2	2	1	6	
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0					15.0	15.0	2.0	15.0	
Minimum Split (s)	38.0	38.0	38.0					43.0	43.0	9.0	52.0	
Total Split (s)	38.0	38.0	38.0					43.0	43.0	9.0	52.0	
Total Split (%)	42.2%	42.2%	42.2%					47.8%	47.8%	10.0%	57.8%	
Yellow Time (s)	4.5	4.5	4.5					4.5	4.5	3.0	4.5	
All-Red Time (s)	1.5	1.5	1.5					1.5	1.5	0.0	1.5	
Lost Time Adjust (s)		0.0	0.0					0.0	0.0	0.0	0.0	
Total Lost Time (s)		6.0	6.0					6.0	6.0	3.0	6.0	
Lead/Lag								Lag	Lag	Lead		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					C-Min	C-Min	None	C-Min	
Act Effect Green (s)		30.1	30.1					40.7	40.7	50.9	47.9	
Actuated g/C Ratio		0.33	0.33					0.45	0.45	0.57	0.53	
v/c Ratio		0.72	0.14					0.71	0.08	0.17	0.86	
Control Delay		34.2	4.1					10.7	0.5	16.6	35.5	
Queue Delay		0.0	0.1					3.0	0.6	0.0	0.8	
Total Delay		34.2	4.3					13.7	1.0	16.6	36.4	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

Lane Group	ø8
Lane Configurations	
Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Ped Bike Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Confl. Peds. (#/hr)	
Confl. Bikes (#/hr)	
Peak Hour Factor	
Heavy Vehicles (%)	
Bus Blockages (#/hr)	
Parking (#/hr)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Turn Type	
Protected Phases	8
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	38.0
Total Split (s)	38.0
Total Split (%)	42%
Yellow Time (s)	4.5
All-Red Time (s)	1.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Recall Mode	None
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

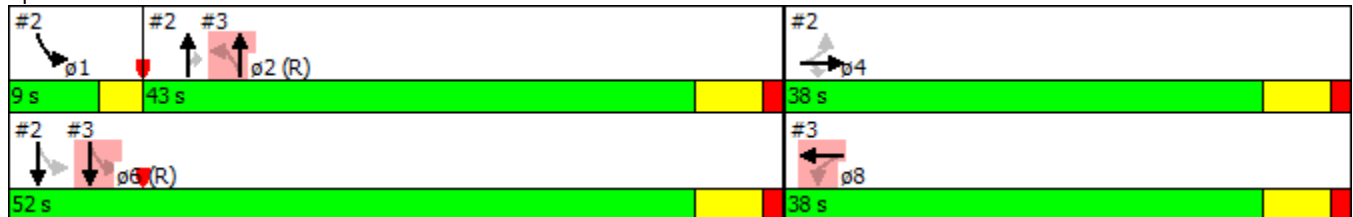


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS		C	A					B	A	B	D	
Approach Delay		30.5						12.9			35.0	
Approach LOS		C						B			C	
Queue Length 50th (ft)		189	0					49	0	17	345	
Queue Length 95th (ft)		274	16					m84	m0	m27	m#406	
Internal Link Dist (ft)		623			411			93			406	
Turn Bay Length (ft)										60		
Base Capacity (vph)		590	412					794	506	333	836	
Starvation Cap Reductn		0	0					136	302	0	10	
Spillback Cap Reductn		0	91					0	0	0	22	
Storage Cap Reductn		0	0					0	0	0	0	
Reduced v/c Ratio		0.67	0.17					0.86	0.20	0.17	0.88	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 45 (50%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.89  
 Intersection Signal Delay: 26.5  
 Intersection LOS: C  
 Intersection Capacity Utilization 67.3%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: Oak Park Avenue & North Boulevard



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Lane Group	ø8
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

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Lanes, Volumes, Timings  
3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations					↔		↗	↘		↗	↘	
Volume (vph)	0	0	0	61	316	37	21	485	34	21	602	71
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	11	11	11
Storage Length (ft)	0		0	0		0	25		0	25		0
Storage Lanes	0		0	0		0	1		0	1		0
Taper Length (ft)	25			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor					0.98		0.98	0.98			0.99	
Fr <sub>t</sub>					0.988			0.990			0.984	
Fl <sub>t</sub> Protected					0.993		0.950			0.950		
Satd. Flow (prot)	0	0	0	0	1593	0	1719	1536	0	1662	1699	0
Fl <sub>t</sub> Permitted					0.993		0.213			0.201		
Satd. Flow (perm)	0	0	0	0	1568	0	376	1536	0	352	1699	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)					6			5			10	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		692			452			558			173	
Travel Time (s)		18.9			12.3			15.2			4.7	
Confl. Peds. (#/hr)	59		53	53		59	56		162	162		56
Confl. Bikes (#/hr)			1									1
Peak Hour Factor	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88
Heavy Vehicles (%)	0%	0%	0%	0%	1%	3%	5%	2%	0%	5%	3%	5%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	4	0	0	4	0
Parking (#/hr)					6			7				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	0	470	0	24	590	0	24	765	0
Turn Type				Perm	NA		Perm	NA		Perm	NA	
Protected Phases					8			2			6	
Permitted Phases				8			2			6		
Detector Phase				8	8		2	2		6	6	
Switch Phase												
Minimum Initial (s)				15.0	15.0		15.0	15.0		15.0	15.0	
Minimum Split (s)				38.0	38.0		43.0	43.0		52.0	52.0	
Total Split (s)				38.0	38.0		43.0	43.0		52.0	52.0	
Total Split (%)				42.2%	42.2%		47.8%	47.8%		57.8%	57.8%	
Yellow Time (s)				4.5	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)				1.5	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)					0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)					6.0		6.0	6.0		6.0	6.0	
Lead/Lag							Lag	Lag				
Lead-Lag Optimize?							Yes	Yes				
Recall Mode				None	None		C-Min	C-Min		C-Min	C-Min	
Act Effect Green (s)					30.1		40.7	40.7		47.9	47.9	
Actuated g/C Ratio					0.33		0.45	0.45		0.53	0.53	
v/c Ratio					0.89		0.14	0.85		0.13	0.84	
Control Delay					48.7		19.5	37.3		6.2	12.8	
Queue Delay					4.1		0.0	0.2		0.0	2.4	
Total Delay					52.8		19.5	37.4		6.2	15.2	

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

Lane Group	ø1	ø4
Lane Configurations		
Volume (vph)		
Ideal Flow (vphpl)		
Lane Width (ft)		
Storage Length (ft)		
Storage Lanes		
Taper Length (ft)		
Lane Util. Factor		
Ped Bike Factor		
Frt		
Flt Protected		
Satd. Flow (prot)		
Flt Permitted		
Satd. Flow (perm)		
Right Turn on Red		
Satd. Flow (RTOR)		
Link Speed (mph)		
Link Distance (ft)		
Travel Time (s)		
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor		
Heavy Vehicles (%)		
Bus Blockages (#/hr)		
Parking (#/hr)		
Shared Lane Traffic (%)		
Lane Group Flow (vph)		
Turn Type		
Protected Phases	1	4
Permitted Phases		
Detector Phase		
Switch Phase		
Minimum Initial (s)	2.0	15.0
Minimum Split (s)	9.0	38.0
Total Split (s)	9.0	38.0
Total Split (%)	10%	42%
Yellow Time (s)	3.0	4.5
All-Red Time (s)	0.0	1.5
Lost Time Adjust (s)		
Total Lost Time (s)		
Lead/Lag	Lead	
Lead-Lag Optimize?	Yes	
Recall Mode	None	None
Act Effct Green (s)		
Actuated g/C Ratio		
v/c Ratio		
Control Delay		
Queue Delay		
Total Delay		

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

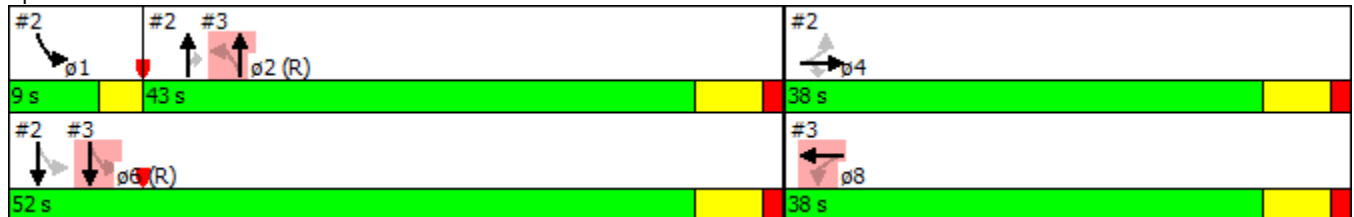


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS					D		B	D		A	B	
Approach Delay					52.8			36.7			14.9	
Approach LOS					D			D			B	
Queue Length 50th (ft)					239		8	310		2	66	
Queue Length 95th (ft)					#395		26	#509		m3	m#97	
Internal Link Dist (ft)		612			372			478				93
Turn Bay Length (ft)							25			25		
Base Capacity (vph)					561		170	697		187	909	
Starvation Cap Reductn					0		0	0		0	64	
Spillback Cap Reductn					45		0	4		0	0	
Storage Cap Reductn					0		0	0		0	0	
Reduced v/c Ratio					0.91		0.14	0.85		0.13	0.91	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 45 (50%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.89  
 Intersection Signal Delay: 31.6 Intersection LOS: C  
 Intersection Capacity Utilization 75.8% ICU Level of Service D  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 3: Oak Park Avenue & South Boulevard





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Lane Group	ø1	ø4
LOS		
Approach Delay		
Approach LOS		
Queue Length 50th (ft)		
Queue Length 95th (ft)		
Internal Link Dist (ft)		
Turn Bay Length (ft)		
Base Capacity (vph)		
Starvation Cap Reductn		
Spillback Cap Reductn		
Storage Cap Reductn		
Reduced v/c Ratio		
Intersection Summary		

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Lanes, Volumes, Timings  
4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	17	462	42	85	399	19	51	161	106	19	110	44
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	80		25	100		0	25		0	25		0
Storage Lanes	1		1	1		0	1		0	1		0
Taper Length (ft)	100			100			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.95		0.86	0.97	0.99		0.97	0.97		0.97	0.98	
Frt			0.850		0.993			0.940			0.957	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1543	1615	1787	1533	0	1671	1720	0	1805	1524	0
Flt Permitted	0.390			0.273			0.560			0.294		
Satd. Flow (perm)	704	1543	1383	499	1533	0	960	1720	0	544	1524	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			73		3			37			22	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		497			862			124			117	
Travel Time (s)		13.6			23.5			3.4			3.2	
Confl. Peds. (#/hr)	77		54	54		77	16		25	25		16
Confl. Bikes (#/hr)			6						3			1
Peak Hour Factor	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77
Heavy Vehicles (%)	0%	3%	0%	1%	4%	0%	8%	1%	0%	0%	1%	3%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		10			7							7
Shared Lane Traffic (%)												
Lane Group Flow (vph)	22	600	55	110	543	0	66	347	0	25	200	0
Turn Type	pm+pt	NA	Perm	pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases	5	2		1	6			8				4
Permitted Phases	2		2	6			8			4		
Detector Phase	5	2	2	1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	3.0	12.0	12.0	3.0	12.0		8.0	8.0		8.0	8.0	
Minimum Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (%)	13.3%	51.1%	51.1%	13.3%	51.1%		35.6%	35.6%		35.6%	35.6%	
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0		6.0	6.0		6.0	6.0	
Lead/Lag	Lead	Lag	Lag	Lead	Lag							
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes							
Recall Mode	None	C-Min	C-Min	None	C-Min		None	None		None	None	
Act Effect Green (s)	55.2	47.4	47.4	58.9	52.4		21.9	21.9		21.9	21.9	
Actuated g/C Ratio	0.61	0.53	0.53	0.65	0.58		0.24	0.24		0.24	0.24	
v/c Ratio	0.04	0.74	0.07	0.25	0.61		0.28	0.78		0.19	0.52	
Control Delay	4.9	18.7	1.4	8.1	18.4		29.4	40.5		28.8	30.2	
Queue Delay	0.0	0.1	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	4.9	18.7	1.4	8.1	18.4		29.4	40.5		28.8	30.2	
LOS	A	B	A	A	B		C	D		C	C	

Lanes, Volumes, Timings  
 4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach Delay		16.9			16.7			38.7				30.1
Approach LOS		B			B			D				C
Queue Length 50th (ft)	3	138	1	21	170		30	162		11		85
Queue Length 95th (ft)	m5	174	m1	38	287		53	200		27		119
Internal Link Dist (ft)		417			782			44				37
Turn Bay Length (ft)	80		25	100			25			25		
Base Capacity (vph)	560	812	762	455	893		277	523		157		455
Starvation Cap Reductn	0	5	0	0	0		0	0		0		0
Spillback Cap Reductn	0	0	0	0	0		0	0		0		0
Storage Cap Reductn	0	0	0	0	0		0	0		0		0
Reduced v/c Ratio	0.04	0.74	0.07	0.24	0.61		0.24	0.66		0.16		0.44

Intersection Summary


















Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 14 (16%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.78  
 Intersection Signal Delay: 22.9  
 Intersection LOS: C  
 Intersection Capacity Utilization 70.3%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 4: Euclid Avenue & Lake Street



Lanes, Volumes, Timings  
8: East Avenue & Lake Street

5/2/2016

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	4	408	118	158	440	0	119	3	119	1	1	3
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	110		0	0		0	0		0
Storage Lanes	0		0	1		0	0		0	0		0
Taper Length (ft)	25			90			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.98		0.99				0.62			0.67	
Frt		0.970						0.933			0.910	
Flt Protected				0.950				0.976			0.992	
Satd. Flow (prot)	0	1477	0	1770	1549	0	0	1112	0	0	1156	0
Flt Permitted		0.996		0.262				0.841			0.956	
Satd. Flow (perm)	0	1471	0	483	1549	0	0	743	0	0	1080	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		25						73			4	
Link Speed (mph)		25			20			20			25	
Link Distance (ft)		862			446			406			182	
Travel Time (s)		23.5			15.2			13.8			5.0	
Confl. Peds. (#/hr)	21		29	29		21	288		205	205		288
Confl. Bikes (#/hr)			15			5			72			
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		11			11			17				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	663	0	198	550	0	0	302	0	0	6	0
Turn Type	Perm	NA		pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases		2		1	6			8			4	
Permitted Phases	2			6			8			4		
Detector Phase	2	2		1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	15.0	15.0		3.0	15.0		8.0	8.0		5.0	5.0	
Minimum Split (s)	34.0	34.0		7.0	42.0		28.0	28.0		28.0	28.0	
Total Split (s)	35.0	35.0		7.0	42.0		28.0	28.0		28.0	28.0	
Total Split (%)	50.0%	50.0%		10.0%	60.0%		40.0%	40.0%		40.0%	40.0%	
Yellow Time (s)	4.5	4.5		3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	1.5	1.5		0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)		0.0		0.0	0.0			0.0			0.0	
Total Lost Time (s)		6.0		3.0	6.0			6.0			6.0	
Lead/Lag	Lag	Lag		Lead								
Lead-Lag Optimize?	Yes	Yes		Yes								
Recall Mode	C-Min	C-Min		None	C-Min		None	None		None	None	
Act Effect Green (s)		29.0		39.0	36.0			22.0			22.0	
Actuated g/C Ratio		0.41		0.56	0.51			0.31			0.31	
v/c Ratio		1.06		0.58	0.69			1.07			0.02	
Control Delay		76.7		15.8	18.5			95.3			12.8	
Queue Delay		0.0		0.0	0.0			0.0			0.0	
Total Delay		76.7		15.8	18.5			95.3			12.8	
LOS		E		B	B			F			B	
Approach Delay		76.7			17.8			95.3			12.8	

Lanes, Volumes, Timings  
 8: East Avenue & Lake Street

5/2/2016

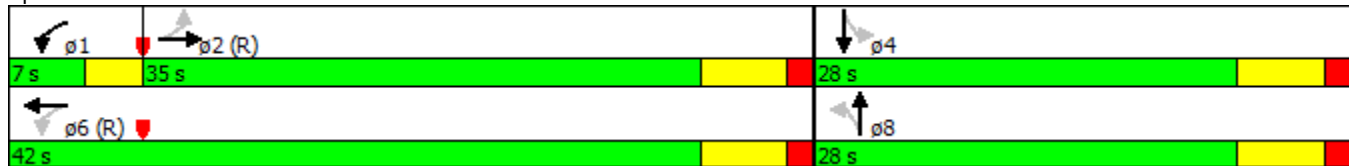


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach LOS		E			B			F			B	
Queue Length 50th (ft)		~316		39	166			~123			1	
Queue Length 95th (ft)		#421		61	225			#221			7	
Internal Link Dist (ft)		782			366			326			102	
Turn Bay Length (ft)				110								
Base Capacity (vph)		624		342	796			283			342	
Starvation Cap Reductn		0		0	0			0			0	
Spillback Cap Reductn		0		0	0			0			0	
Storage Cap Reductn		0		0	0			0			0	
Reduced v/c Ratio		1.06		0.58	0.69			1.07			0.02	

Intersection Summary

Area Type: Other  
 Cycle Length: 70  
 Actuated Cycle Length: 70  
 Offset: 21 (30%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 75  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 1.07  
 Intersection Signal Delay: 54.1  
 Intersection LOS: D  
 Intersection Capacity Utilization 92.2%  
 ICU Level of Service F  
 Analysis Period (min) 15  
 ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 8: East Avenue & Lake Street



# HCM Unsignalized Intersection Capacity Analysis

## 5: Euclid Avenue & North Boulevard

4/29/2016



















Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔			↔			↔	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	133	120	78	8	0	12	0	168	9	9	229	0
Peak Hour Factor	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72
Hourly flow rate (vph)	185	167	108	11	0	17	0	233	12	12	318	0
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	460	28	246	331								
Volume Left (vph)	185	11	0	13								
Volume Right (vph)	108	17	13	0								
Hadj (s)	-0.03	-0.20	0.00	0.02								
Departure Headway (s)	5.6	6.4	6.0	5.9								
Degree Utilization, x	0.72	0.05	0.41	0.54								
Capacity (veh/h)	617	453	549	577								
Control Delay (s)	21.7	9.8	13.1	15.6								
Approach Delay (s)	21.7	9.8	13.1	15.6								
Approach LOS	C	A	B	C								
Intersection Summary												
Delay			17.5									
Level of Service			C									
Intersection Capacity Utilization			50.0%	ICU Level of Service								A
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 6: Euclid Avenue & South Boulevard

















4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	3	42	7	25	272	29	35	129	38	54	147	118
Peak Hour Factor	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82
Hourly flow rate (vph)	4	51	9	30	332	35	43	157	46	66	179	144
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	63	398	246	389								
Volume Left (vph)	4	30	43	66								
Volume Right (vph)	9	35	46	144								
Hadj (s)	-0.04	-0.04	-0.03	-0.15								
Departure Headway (s)	6.7	5.9	6.1	5.7								
Degree Utilization, x	0.12	0.65	0.41	0.61								
Capacity (veh/h)	431	582	542	601								
Control Delay (s)	10.5	18.9	13.3	17.3								
Approach Delay (s)	10.5	18.9	13.3	17.3								
Approach LOS	B	C	B	C								
Intersection Summary												
Delay			16.6									
Level of Service			C									
Intersection Capacity Utilization			55.5%	ICU Level of Service	B							
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 7: Euclid Avenue & Ontario Street

4/29/2016

















												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	3	28	19	6	15	3	34	148	12	4	132	16
Peak Hour Factor	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61	0.61
Hourly flow rate (vph)	5	46	31	10	25	5	56	243	20	7	216	26
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	82	39	318	249								
Volume Left (vph)	5	10	56	7								
Volume Right (vph)	31	5	20	26								
Hadj (s)	-0.22	-0.02	0.01	-0.03								
Departure Headway (s)	5.0	5.3	4.5	4.6								
Degree Utilization, x	0.11	0.06	0.40	0.32								
Capacity (veh/h)	634	595	770	756								
Control Delay (s)	8.7	8.6	10.5	9.6								
Approach Delay (s)	8.7	8.6	10.5	9.6								
Approach LOS	A	A	B	A								
Intersection Summary												
Delay			9.9									
Level of Service			A									
Intersection Capacity Utilization			38.8%	ICU Level of Service								A
Analysis Period (min)			15									



# HCM Unsignalized Intersection Capacity Analysis

## 9: East Avenue & South Boulevard

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	30	119	19	28	254	14	25	222	45	68	177	51
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
Hourly flow rate (vph)	38	149	24	35	318	18	31	278	56	85	221	64
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	210	370	365	370								
Volume Left (vph)	38	35	31	85								
Volume Right (vph)	24	18	56	64								
Hadj (s)	0.00	0.02	-0.04	-0.02								
Departure Headway (s)	7.8	7.3	7.2	7.2								
Degree Utilization, x	0.46	0.75	0.73	0.74								
Capacity (veh/h)	382	370	467	469								
Control Delay (s)	17.3	28.9	27.1	27.8								
Approach Delay (s)	17.3	28.9	27.1	27.8								
Approach LOS	C	D	D	D								
Intersection Summary												
Delay			26.2									
Level of Service			D									
Intersection Capacity Utilization			57.9%	ICU Level of Service								B
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 10: Euclid Avenue & Access Drive

4/29/2016



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (veh/h)	1	16	7	190	157	0
Sign Control	Stop			Free	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	1	17	7	200	165	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type				None	None	
Median storage (veh)						
Upstream signal (ft)				211		
pX, platoon unblocked						
vC, conflicting volume	380	165	165			
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	380	165	165			
tC, single (s)	6.4	6.2	4.1			
tC, 2 stage (s)						
tF (s)	3.5	3.3	2.2			
p0 queue free %	100	98	99			
cM capacity (veh/h)	619	879	1413			
<b>Direction, Lane #</b>	<b>EB 1</b>	<b>NB 1</b>	<b>SB 1</b>			
Volume Total	18	207	165			
Volume Left	1	7	0			
Volume Right	17	0	0			
cSH	858	1413	1700			
Volume to Capacity	0.02	0.01	0.10			
Queue Length 95th (ft)	2	0	0			
Control Delay (s)	9.3	0.3	0.0			
Lane LOS	A	A				
Approach Delay (s)	9.3	0.3	0.0			
Approach LOS	A					
<b>Intersection Summary</b>						
Average Delay			0.6			
Intersection Capacity Utilization		25.7%		ICU Level of Service		A
Analysis Period (min)			15			

Lanes, Volumes, Timings  
1: Oak Park Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	92	405	107	72	362	97	106	413	57	73	442	76
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	10	12	12	10	12	12	10	12	12	10
Storage Length (ft)	85		25	125		25	105		25	85		55
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	75			55			80			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.93		0.73	0.89		0.84	0.90		0.76	0.91		0.74
Frt			0.850			0.850			0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1576	1507	1805	1585	1507	1787	1608	1507	1805	1705	1507
Flt Permitted	0.366			0.313			0.273			0.319		
Satd. Flow (perm)	646	1576	1097	531	1585	1268	463	1608	1153	550	1705	1112
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		726			497			486			254	
Travel Time (s)		19.8			13.6			13.3			6.9	
Confl. Peds. (#/hr)	138		143	143		138	143		124	124		143
Confl. Bikes (#/hr)						1			6			
Peak Hour Factor	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99
Heavy Vehicles (%)	0%	2%	0%	0%	2%	0%	1%	1%	0%	0%	2%	0%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	3	0	0	3	0
Parking (#/hr)		8			7			7			4	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	93	409	108	73	366	98	107	417	58	74	446	77
Turn Type	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm
Protected Phases	5	2		1	6		3	8		7	4	
Permitted Phases	2		2	6		6	8		8	4		4
Detector Phase	5	2	2	1	6	6	3	8	8	7	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0
Minimum Split (s)	11.0	31.0	31.0	11.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (s)	11.0	31.0	31.0	11.0	31.0	31.0	11.0	37.0	37.0	11.0	37.0	37.0
Total Split (%)	12.2%	34.4%	34.4%	12.2%	34.4%	34.4%	12.2%	41.1%	41.1%	12.2%	41.1%	41.1%
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Recall Mode	None	Max	Max	None	Max	Max	None	C-Min	C-Min	None	C-Min	C-Min
Act Effect Green (s)	38.7	29.4	29.4	38.3	29.2	29.2	41.0	31.7	31.7	40.4	31.4	31.4
Actuated g/C Ratio	0.43	0.33	0.33	0.43	0.32	0.32	0.46	0.35	0.35	0.45	0.35	0.35
v/c Ratio	0.25	0.79	0.30	0.22	0.71	0.24	0.33	0.74	0.14	0.21	0.75	0.20
Control Delay	17.0	43.6	28.3	16.2	33.9	24.7	13.4	27.2	19.4	13.5	35.4	22.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	17.0	43.6	28.3	16.2	33.9	24.7	13.4	27.2	19.4	13.5	35.4	22.5

Lanes, Volumes, Timings  
 1: Oak Park Avenue & Lake Street

4/29/2016

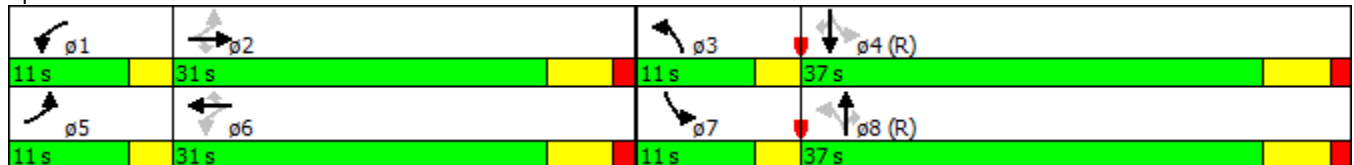


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS	B	D	C	B	C	C	B	C	B	B	D	C
Approach Delay		36.8			29.8			23.9			31.1	
Approach LOS		D			C			C			C	
Queue Length 50th (ft)	31	225	49	14	191	27	21	103	14	21	223	31
Queue Length 95th (ft)	60	#404	97	m44	#335	m66	m40	#194	m26	43	#351	64
Internal Link Dist (ft)		646			417			406			174	
Turn Bay Length (ft)	85		25	125		25	105		25	85		55
Base Capacity (vph)	381	515	358	341	514	412	328	566	406	361	595	388
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.24	0.79	0.30	0.21	0.71	0.24	0.33	0.74	0.14	0.20	0.75	0.20

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 42 (47%), Referenced to phase 4:SBTL and 8:NBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.79  
 Intersection Signal Delay: 30.5  
 Intersection LOS: C  
 Intersection Capacity Utilization 70.6%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 1: Oak Park Avenue & Lake Street



# Lanes, Volumes, Timings

## 2: Oak Park Avenue & North Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↗					↑	↗	↘	↑	
Volume (vph)	65	260	96	0	0	0	0	515	47	32	589	0
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	12	12	12	12	11	11	11	12	12	12
Storage Length (ft)	50		0	0		0	0		0	60		0
Storage Lanes	1		1	0		0	0		1	1		0
Taper Length (ft)	75			25			25			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.95	0.95						0.48	0.86		
Frt			0.850						0.850			
Flt Protected		0.990								0.950		
Satd. Flow (prot)	0	1873	1300	0	0	0	0	1797	1561	1805	1692	0
Flt Permitted		0.990								0.297		
Satd. Flow (perm)	0	1783	1229	0	0	0	0	1797	757	487	1692	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			100						73			
Link Speed (mph)		25			25			25				25
Link Distance (ft)		703			491			173				486
Travel Time (s)		19.2			13.4			4.7				13.3
Confl. Peds. (#/hr)	118		15	15		118	120		251	251		120
Confl. Bikes (#/hr)			4						6			1
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	2%	0%	0%	0%	0%	0%	0%	1%	0%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	3	0	0	3	0
Parking (#/hr)			19									7
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	339	100	0	0	0	0	536	49	33	614	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	6	
Permitted Phases	4		4						2	6		
Detector Phase	4	4	4					2	2	1	6	
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0					15.0	15.0	2.0	15.0	
Minimum Split (s)	36.0	36.0	36.0					45.0	45.0	9.0	54.0	
Total Split (s)	36.0	36.0	36.0					45.0	45.0	9.0	54.0	
Total Split (%)	40.0%	40.0%	40.0%					50.0%	50.0%	10.0%	60.0%	
Yellow Time (s)	4.5	4.5	4.5					4.5	4.5	3.0	4.5	
All-Red Time (s)	1.5	1.5	1.5					1.5	1.5	0.0	1.5	
Lost Time Adjust (s)		0.0	0.0					0.0	0.0	0.0	0.0	
Total Lost Time (s)		6.0	6.0					6.0	6.0	3.0	6.0	
Lead/Lag								Lag	Lag	Lead		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					C-Min	C-Min	None	C-Min	
Act Effect Green (s)		27.9	27.9					44.7	44.7	53.1	50.1	
Actuated g/C Ratio		0.31	0.31					0.50	0.50	0.59	0.56	
v/c Ratio		0.61	0.22					0.60	0.12	0.09	0.65	
Control Delay		31.4	6.0					8.0	0.6	8.2	14.9	
Queue Delay		0.0	0.3					1.1	0.6	0.0	0.1	
Total Delay		31.4	6.3					9.2	1.2	8.2	15.0	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

Lane Group	ø8
Lane Configurations	
Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Ped Bike Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Confl. Peds. (#/hr)	
Confl. Bikes (#/hr)	
Peak Hour Factor	
Heavy Vehicles (%)	
Bus Blockages (#/hr)	
Parking (#/hr)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Turn Type	
Protected Phases	8
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	36.0
Total Split (s)	36.0
Total Split (%)	40%
Yellow Time (s)	4.5
All-Red Time (s)	1.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Recall Mode	None
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

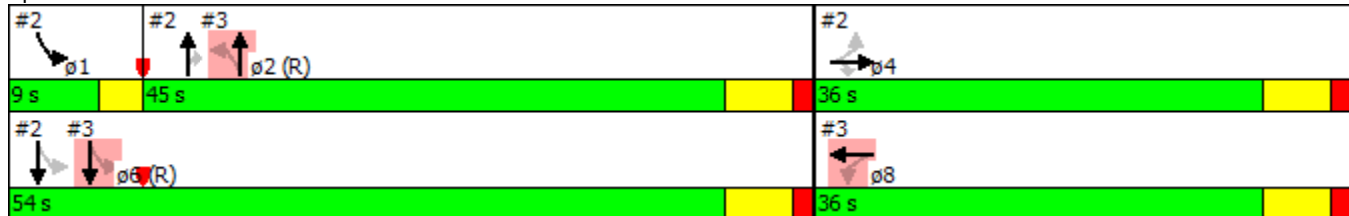


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS		C	A					A	A	A	B	
Approach Delay		25.7						8.5			14.7	
Approach LOS		C						A			B	
Queue Length 50th (ft)		157	0					50	0	6	151	
Queue Length 95th (ft)		245	34					m91	m0	m13	270	
Internal Link Dist (ft)		623			411			93			406	
Turn Bay Length (ft)										60		
Base Capacity (vph)		594	476					891	412	374	941	
Starvation Cap Reductn		0	0					163	198	0	12	
Spillback Cap Reductn		0	122					0	0	0	28	
Storage Cap Reductn		0	0					0	0	0	0	
Reduced v/c Ratio		0.57	0.28					0.74	0.23	0.09	0.67	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 36 (40%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.89  
 Intersection Signal Delay: 15.4  
 Intersection LOS: B  
 Intersection Capacity Utilization 63.4%  
 ICU Level of Service B  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: Oak Park Avenue & North Boulevard



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Lane Group	ø8
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

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Lanes, Volumes, Timings  
3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations					↔		↗	↘		↗	↘	
Volume (vph)	0	0	0	44	327	50	38	504	34	21	589	74
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	11	11	11
Storage Length (ft)	0		0	0		0	25		0	25		0
Storage Lanes	0		0	0		0	1		0	1		0
Taper Length (ft)	25			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor					0.97		0.95	0.97			0.98	
Frt					0.984			0.991			0.983	
Flt Protected					0.995		0.950			0.950		
Satd. Flow (prot)	0	0	0	0	1587	0	1805	1552	0	1745	1731	0
Flt Permitted					0.995		0.295			0.262		
Satd. Flow (perm)	0	0	0	0	1563	0	533	1552	0	481	1731	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)					8			5			11	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		692			452			518			173	
Travel Time (s)		18.9			12.3			14.1			4.7	
Confl. Peds. (#/hr)	72		72	72		72	83		197	197		83
Confl. Bikes (#/hr)						1			1			2
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Heavy Vehicles (%)	0%	0%	0%	0%	1%	0%	0%	1%	0%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	3	0	0	3	0
Parking (#/hr)					6			7				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	0	434	0	39	555	0	22	683	0
Turn Type				Perm	NA		Perm	NA		Perm	NA	
Protected Phases					8			2			6	
Permitted Phases				8			2			6		
Detector Phase				8	8		2	2		6	6	
Switch Phase												
Minimum Initial (s)				15.0	15.0		15.0	15.0		15.0	15.0	
Minimum Split (s)				36.0	36.0		45.0	45.0		54.0	54.0	
Total Split (s)				36.0	36.0		45.0	45.0		54.0	54.0	
Total Split (%)				40.0%	40.0%		50.0%	50.0%		60.0%	60.0%	
Yellow Time (s)				4.5	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)				1.5	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)					0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)					6.0		6.0	6.0		6.0	6.0	
Lead/Lag							Lag	Lag				
Lead-Lag Optimize?							Yes	Yes				
Recall Mode				None	None		C-Min	C-Min		C-Min	C-Min	
Act Effect Green (s)					27.9		44.7	44.7		50.1	50.1	
Actuated g/C Ratio					0.31		0.50	0.50		0.56	0.56	
v/c Ratio					0.89		0.15	0.72		0.08	0.71	
Control Delay					50.0		17.2	26.5		6.5	9.8	
Queue Delay					2.9		0.0	0.0		0.0	0.3	
Total Delay					52.8		17.2	26.6		6.5	10.1	

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

Lane Group	ø1	ø4
Lane Configurations		
Volume (vph)		
Ideal Flow (vphpl)		
Lane Width (ft)		
Storage Length (ft)		
Storage Lanes		
Taper Length (ft)		
Lane Util. Factor		
Ped Bike Factor		
Frt		
Flt Protected		
Satd. Flow (prot)		
Flt Permitted		
Satd. Flow (perm)		
Right Turn on Red		
Satd. Flow (RTOR)		
Link Speed (mph)		
Link Distance (ft)		
Travel Time (s)		
Confl. Peds. (#/hr)		
Confl. Bikes (#/hr)		
Peak Hour Factor		
Heavy Vehicles (%)		
Bus Blockages (#/hr)		
Parking (#/hr)		
Shared Lane Traffic (%)		
Lane Group Flow (vph)		
Turn Type		
Protected Phases	1	4
Permitted Phases		
Detector Phase		
Switch Phase		
Minimum Initial (s)	2.0	15.0
Minimum Split (s)	9.0	36.0
Total Split (s)	9.0	36.0
Total Split (%)	10%	40%
Yellow Time (s)	3.0	4.5
All-Red Time (s)	0.0	1.5
Lost Time Adjust (s)		
Total Lost Time (s)		
Lead/Lag	Lead	
Lead-Lag Optimize?	Yes	
Recall Mode	None	None
Act Effect Green (s)		
Actuated g/C Ratio		
v/c Ratio		
Control Delay		
Queue Delay		
Total Delay		

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

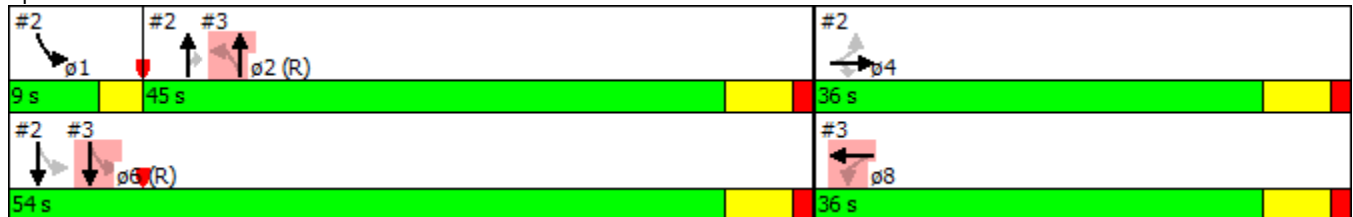


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS					D		B	C		A	B	
Approach Delay					52.8			26.0			9.9	
Approach LOS					D			C			A	
Queue Length 50th (ft)					221		13	267		2	76	
Queue Length 95th (ft)					#384		36	#456		m4	100	
Internal Link Dist (ft)		612			372			438			93	
Turn Bay Length (ft)							25			25		
Base Capacity (vph)					526		264	772		267	967	
Starvation Cap Reductn					0		0	0		0	39	
Spillback Cap Reductn					36		0	3		0	0	
Storage Cap Reductn					0		0	0		0	0	
Reduced v/c Ratio					0.89		0.15	0.72		0.08	0.74	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 36 (40%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.89  
 Intersection Signal Delay: 26.2 Intersection LOS: C  
 Intersection Capacity Utilization 76.0% ICU Level of Service D  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 3: Oak Park Avenue & South Boulevard



Lane Group	ø1	ø4
LOS		
Approach Delay		
Approach LOS		
Queue Length 50th (ft)		
Queue Length 95th (ft)		
Internal Link Dist (ft)		
Turn Bay Length (ft)		
Base Capacity (vph)		
Starvation Cap Reductn		
Spillback Cap Reductn		
Storage Cap Reductn		
Reduced v/c Ratio		
Intersection Summary		

Lanes, Volumes, Timings  
4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	33	438	56	68	465	48	48	150	82	17	116	27
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	80		25	100		0	25		0	25		0
Storage Lanes	1		1	1		0	1		0	1		0
Taper Length (ft)	100			100			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.96		0.84	0.95	0.99		0.91	0.97		0.95	0.98	
Frt			0.850		0.986			0.947			0.972	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1558	1583	1770	1543	0	1805	1740	0	1805	1558	0
Flt Permitted	0.398			0.420			0.641			0.425		
Satd. Flow (perm)	725	1558	1331	740	1543	0	1106	1740	0	769	1558	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			73		7			31			13	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		497			862			124			117	
Travel Time (s)		13.6			23.5			3.4			3.2	
Confl. Peds. (#/hr)	61		63	63		61	50		33	33		50
Confl. Bikes (#/hr)			1			2			1			
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	0%	2%	2%	2%	2%	0%	0%	0%	0%	0%	0%	0%
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		10			7							7
Shared Lane Traffic (%)												
Lane Group Flow (vph)	34	456	58	71	534	0	50	241	0	18	149	0
Turn Type	pm+pt	NA	Perm	pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases	5	2		1	6			8				4
Permitted Phases	2		2	6			8			4		
Detector Phase	5	2	2	1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	3.0	12.0	12.0	3.0	12.0		8.0	8.0		8.0	8.0	
Minimum Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (s)	12.0	46.0	46.0	12.0	46.0		32.0	32.0		32.0	32.0	
Total Split (%)	13.3%	51.1%	51.1%	13.3%	51.1%		35.6%	35.6%		35.6%	35.6%	
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0		6.0	6.0		6.0	6.0	
Lead/Lag	Lead	Lag	Lag	Lead	Lag							
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes							
Recall Mode	None	C-Min	C-Min	None	C-Min		None	None		None	None	
Act Effect Green (s)	60.7	52.7	52.7	62.4	55.0		17.3	17.3		17.3	17.3	
Actuated g/C Ratio	0.67	0.59	0.59	0.69	0.61		0.19	0.19		0.19	0.19	
v/c Ratio	0.06	0.50	0.07	0.12	0.56		0.24	0.67		0.12	0.48	
Control Delay	3.4	12.9	1.1	5.6	15.7		31.4	37.9		29.2	33.5	
Queue Delay	0.0	0.1	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	3.4	13.0	1.1	5.6	15.7		31.4	37.9		29.2	33.5	
LOS	A	B	A	A	B		C	D		C	C	

Lanes, Volumes, Timings  
 4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach Delay		11.1			14.5			36.8				33.0
Approach LOS		B			B			D				C
Queue Length 50th (ft)	3	99	1	10	180		24	112		9		69
Queue Length 95th (ft)	m5	m122	m0	30	352		52	172		25		115
Internal Link Dist (ft)		417			782			44				37
Turn Bay Length (ft)	80		25	100			25			25		
Base Capacity (vph)	614	912	809	624	946		319	524		222		459
Starvation Cap Reductn	0	30	0	0	0		0	0		0		0
Spillback Cap Reductn	0	0	0	0	0		0	0		0		0
Storage Cap Reductn	0	0	0	0	0		0	0		0		0
Reduced v/c Ratio	0.06	0.52	0.07	0.11	0.56		0.16	0.46		0.08		0.32

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 90  
 Offset: 86 (96%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.67  
 Intersection Signal Delay: 19.3  
 Intersection LOS: B  
 Intersection Capacity Utilization 71.9%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 4: Euclid Avenue & Lake Street



Lanes, Volumes, Timings  
8: East Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↗		↖	↗			↕			↕	
Volume (vph)	0	430	91	131	521	0	117	1	125	1	3	3
Ideal Flow (vphpl)	1900	1900	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	110		0	0		0	0		0
Storage Lanes	0		0	1		0	0		0	0		0
Taper Length (ft)	25			90			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.98		0.98				0.90			0.95	
Frt		0.976						0.930			0.942	
Flt Protected				0.950				0.977			0.993	
Satd. Flow (prot)	0	1488	0	1770	1630	0	0	1285	0	0	1668	0
Flt Permitted				0.290				0.844			0.957	
Satd. Flow (perm)	0	1488	0	530	1630	0	0	1074	0	0	1592	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		18						80			3	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		862			446			582			182	
Travel Time (s)		23.5			12.2			15.9			5.0	
Confl. Peds. (#/hr)	78		41	41		78	43		67	67		43
Confl. Bikes (#/hr)			10			13			8			12
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Bus Blockages (#/hr)	0	4	0	0	4	0	0	0	0	0	0	0
Parking (#/hr)		11			11			17				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	549	0	138	548	0	0	256	0	0	7	0
Turn Type		NA		pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases		2		1	6			8			4	
Permitted Phases				6			8			4		
Detector Phase		2		1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)		4.0		3.0	15.0		8.0	8.0		8.0	8.0	
Minimum Split (s)		34.0		8.0	42.0		28.0	28.0		28.0	28.0	
Total Split (s)		34.0		8.0	42.0		28.0	28.0		28.0	28.0	
Total Split (%)		48.6%		11.4%	60.0%		40.0%	40.0%		40.0%	40.0%	
Yellow Time (s)		4.5		3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)		1.5		0.0	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)		0.0		0.0	0.0			0.0			0.0	
Total Lost Time (s)		6.0		3.0	6.0			6.0			6.0	
Lead/Lag		Lag		Lead								
Lead-Lag Optimize?		Yes		Yes								
Recall Mode		C-Min		None	C-Min		Min	Min		Min	Min	
Act Effct Green (s)		33.6		43.9	40.9			17.1			17.1	
Actuated g/C Ratio		0.48		0.63	0.58			0.24			0.24	
v/c Ratio		0.76		0.31	0.58			0.79			0.02	
Control Delay		26.8		8.6	13.6			34.3			14.1	
Queue Delay		0.0		0.0	0.0			0.0			0.0	
Total Delay		26.8		8.6	13.6			34.3			14.1	
LOS		C		A	B			C			B	
Approach Delay		26.8			12.6			34.3			14.1	

Lanes, Volumes, Timings  
 8: East Avenue & Lake Street

4/29/2016

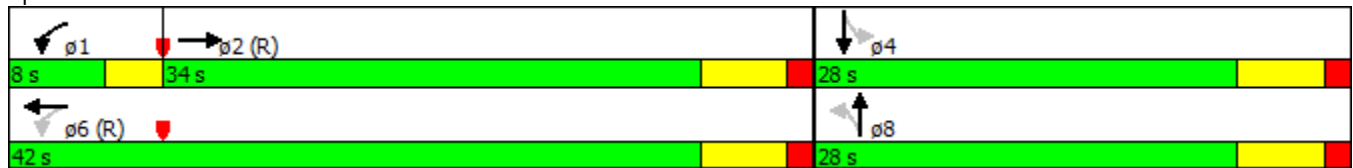


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Approach LOS		C				B				C			B
Queue Length 50th (ft)		205		22	141			69				1	
Queue Length 95th (ft)		#402		50	265			#151				9	
Internal Link Dist (ft)		782			366			502				102	
Turn Bay Length (ft)				110									
Base Capacity (vph)		722		439	951			392				502	
Starvation Cap Reductn		0		0	0			0				0	
Spillback Cap Reductn		0		0	0			0				0	
Storage Cap Reductn		0		0	0			0				0	
Reduced v/c Ratio		0.76		0.31	0.58			0.65				0.01	

Intersection Summary

Area Type: Other  
 Cycle Length: 70  
 Actuated Cycle Length: 70  
 Offset: 21 (30%), Referenced to phase 2:EBT and 6:WBTL, Start of Green  
 Natural Cycle: 70  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.79  
 Intersection Signal Delay: 21.5  
 Intersection LOS: C  
 Intersection Capacity Utilization 72.7%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 8: East Avenue & Lake Street





















# HCM Unsignalized Intersection Capacity Analysis

## 5: Euclid Avenue & North Boulevard

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	151	159	121	14	0	12	0	142	5	18	225	0
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Hourly flow rate (vph)	168	177	134	16	0	13	0	158	6	20	250	0
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	479	29	163	270								
Volume Left (vph)	168	16	0	20								
Volume Right (vph)	134	13	6	0								
Hadj (s)	-0.09	-0.11	0.03	0.06								
Departure Headway (s)	5.1	5.9	5.8	5.6								
Degree Utilization, x	0.68	0.05	0.26	0.42								
Capacity (veh/h)	679	511	556	593								
Control Delay (s)	18.3	9.2	10.9	12.7								
Approach Delay (s)	18.3	9.2	10.9	12.7								
Approach LOS	C	A	B	B								
Intersection Summary												
Delay			15.1									
Level of Service			C									
Intersection Capacity Utilization			59.8%	ICU Level of Service	B							
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 6: Euclid Avenue & South Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	8	28	11	16	305	40	15	92	15	52	143	115
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Hourly flow rate (vph)	9	31	12	18	335	44	16	101	16	57	157	126

















Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	52	397	134	341
Volume Left (vph)	9	18	16	57
Volume Right (vph)	12	44	16	126
Hadj (s)	-0.11	-0.04	-0.01	-0.17
Departure Headway (s)	5.8	5.3	5.7	5.2
Degree Utilization, x	0.08	0.58	0.21	0.49
Capacity (veh/h)	530	651	560	649
Control Delay (s)	9.3	15.2	10.2	13.2
Approach Delay (s)	9.3	15.2	10.2	13.2
Approach LOS	A	C	B	B

Intersection Summary			
Delay		13.4	
Level of Service		B	
Intersection Capacity Utilization	52.8%		ICU Level of Service A
Analysis Period (min)		15	

# HCM Unsignalized Intersection Capacity Analysis

## 7: Euclid Avenue & Ontario Street

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	9	15	34	7	13	10	43	158	19	3	114	6
Peak Hour Factor	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88
Hourly flow rate (vph)	10	17	39	8	15	11	49	180	22	3	130	7
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	66	34	250	140								
Volume Left (vph)	10	8	49	3								
Volume Right (vph)	39	11	22	7								
Hadj (s)	-0.32	-0.15	-0.01	-0.02								
Departure Headway (s)	4.5	4.7	4.3	4.4								
Degree Utilization, x	0.08	0.04	0.30	0.17								
Capacity (veh/h)	728	693	817	785								
Control Delay (s)	7.9	7.9	9.1	8.3								
Approach Delay (s)	7.9	7.9	9.1	8.3								
Approach LOS	A	A	A	A								
Intersection Summary												
Delay			8.6									
Level of Service			A									
Intersection Capacity Utilization			35.4%	ICU Level of Service	A							
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 9: East Avenue & South Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	15	95	18	30	328	24	24	188	29	62	156	45
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	16	100	19	32	345	25	25	198	31	65	164	47

Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	135	402	254	277
Volume Left (vph)	16	32	25	65
Volume Right (vph)	19	25	31	47
Hadj (s)	-0.03	0.01	-0.02	-0.02
Departure Headway (s)	6.4	5.9	6.1	6.1
Degree Utilization, x	0.24	0.65	0.43	0.47
Capacity (veh/h)	476	586	532	543
Control Delay (s)	11.4	19.2	13.7	14.3
Approach Delay (s)	11.4	19.2	13.7	14.3
Approach LOS	B	C	B	B

Intersection Summary			
Delay		15.7	
Level of Service		C	
Intersection Capacity Utilization		59.0%	ICU Level of Service B
Analysis Period (min)		15	

# HCM Unsignalized Intersection Capacity Analysis

## 10: Euclid Avenue & Access Drive

4/29/2016



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (veh/h)	0	10	15	216	150	0
Sign Control	Stop			Free	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	0	11	16	227	158	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type				None	None	
Median storage (veh)						
Upstream signal (ft)				211		
pX, platoon unblocked	0.92					
vC, conflicting volume	417	158	158			
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	321	158	158			
tC, single (s)	6.4	6.2	4.1			
tC, 2 stage (s)						
tF (s)	3.5	3.3	2.2			
p0 queue free %	100	99	99			
cM capacity (veh/h)	611	887	1422			
<b>Direction, Lane #</b>	<b>EB 1</b>	<b>NB 1</b>	<b>SB 1</b>			
Volume Total	11	243	158			
Volume Left	0	16	0			
Volume Right	11	0	0			
cSH	887	1422	1700			
Volume to Capacity	0.01	0.01	0.09			
Queue Length 95th (ft)	1	1	0			
Control Delay (s)	9.1	0.6	0.0			
Lane LOS	A	A				
Approach Delay (s)	9.1	0.6	0.0			
Approach LOS	A					
<b>Intersection Summary</b>						
Average Delay			0.6			
Intersection Capacity Utilization		33.4%		ICU Level of Service		A
Analysis Period (min)			15			

Lanes, Volumes, Timings  
1: Oak Park Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗	↘	↖	↗	↘	↖	↗	↘	↖	↗	↘
Volume (vph)	102	331	126	80	386	80	124	377	75	71	370	109
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	10	12	12	10	12	12	10	12	12	10
Storage Length (ft)	85		25	125		25	105		25	85		55
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	75			55			80			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.89		0.64	0.82		0.74	0.85		0.56	0.81		0.64
Frt			0.850			0.850			0.850			0.850
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1574	1478	1752	1598	1492	1805	1614	1492	1770	1712	1492
Flt Permitted	0.364			0.435			0.338			0.327		
Satd. Flow (perm)	616	1574	945	660	1598	1103	543	1614	830	493	1712	960
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		726			497			486			254	
Travel Time (s)		19.8			13.6			13.3			6.9	
Confl. Peds. (#/hr)	201		165	165		201	162		205	205		162
Confl. Bikes (#/hr)						1			1			3
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Heavy Vehicles (%)	0%	3%	2%	3%	2%	1%	0%	1%	1%	2%	2%	1%
Bus Blockages (#/hr)	0	2	0	0	2	0	0	2	0	0	2	0
Parking (#/hr)		8			7			7			4	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	105	341	130	82	398	82	128	389	77	73	381	112
Turn Type	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm	pm+pt	NA	Perm
Protected Phases	5	2		1	6		3	8		7	4	
Permitted Phases	2		2	6		6	8		8	4		4
Detector Phase	5	2	2	1	6	6	3	8	8	7	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0	3.0	15.0	15.0
Minimum Split (s)	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0
Total Split (s)	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0	9.0	31.0	31.0
Total Split (%)	11.3%	38.8%	38.8%	11.3%	38.8%	38.8%	11.3%	38.8%	38.8%	11.3%	38.8%	38.8%
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5	3.0	4.5	4.5
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5	0.0	1.5	1.5
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0	3.0	6.0	6.0
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag	Lag
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Recall Mode	None	Max	Max	None	Max	Max	None	C-Min	C-Min	None	C-Min	C-Min
Act Effect Green (s)	35.9	28.1	28.1	35.9	28.1	28.1	33.3	25.5	25.5	33.3	25.5	25.5
Actuated g/C Ratio	0.45	0.35	0.35	0.45	0.35	0.35	0.42	0.32	0.32	0.42	0.32	0.32
v/c Ratio	0.29	0.62	0.39	0.22	0.71	0.21	0.40	0.76	0.29	0.24	0.70	0.37
Control Delay	14.5	29.2	26.0	13.0	29.7	20.8	8.0	21.8	12.4	14.3	32.3	25.7
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	14.5	29.2	26.0	13.0	29.7	20.8	8.0	21.8	12.4	14.3	32.3	25.7

Lanes, Volumes, Timings  
 1: Oak Park Avenue & Lake Street

4/29/2016

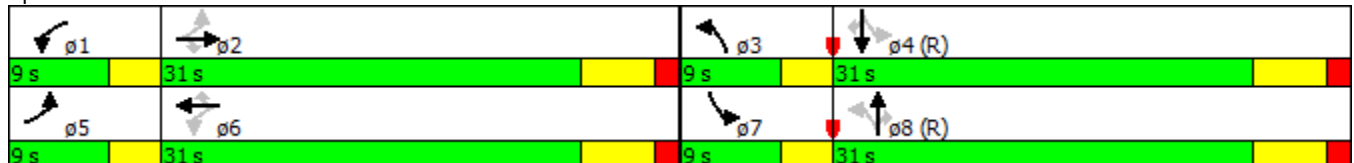


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS	B	C	C	B	C	C	A	C	B	B	C	C
Approach Delay		25.8			26.0			17.6			28.6	
Approach LOS		C			C			B			C	
Queue Length 50th (ft)	29	148	51	15	189	32	9	74	10	20	167	43
Queue Length 95th (ft)	57	243	103	46	#311	54	m17	#291	m17	42	#266	89
Internal Link Dist (ft)		646			417			406			174	
Turn Bay Length (ft)	85		25	125		25	105		25	85		55
Base Capacity (vph)	364	551	331	377	560	386	321	515	265	301	546	306
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.29	0.62	0.39	0.22	0.71	0.21	0.40	0.76	0.29	0.24	0.70	0.37

Intersection Summary

Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 39 (49%), Referenced to phase 4:SBTL and 8:NBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.76  
 Intersection Signal Delay: 24.4 Intersection LOS: C  
 Intersection Capacity Utilization 68.0% ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 1: Oak Park Avenue & Lake Street



# Lanes, Volumes, Timings

## 2: Oak Park Avenue & North Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕	↗					↑	↗	↘	↑	
Volume (vph)	64	182	96	0	0	0	0	521	55	66	530	0
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	2000	1900
Lane Width (ft)	12	12	12	12	12	12	11	11	11	12	12	12
Storage Length (ft)	50		0	0		0	0		0	60		0
Storage Lanes	1		1	0		0	0		1	1		0
Taper Length (ft)	75			25			25			90		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.95	0.95						0.64	0.91		
Frt			0.850						0.850			
Flt Protected		0.987								0.950		
Satd. Flow (prot)	0	1866	1300	0	0	0	0	1804	1561	1805	1699	0
Flt Permitted		0.987								0.282		
Satd. Flow (perm)	0	1763	1236	0	0	0	0	1804	998	486	1699	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			100						82			
Link Speed (mph)		25			25			25				25
Link Distance (ft)		703			491			169				486
Travel Time (s)		19.2			13.4			4.6				13.3
Confl. Peds. (#/hr)	116		15	15		116	136		190	190		136
Confl. Bikes (#/hr)			3			1			3			3
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	2%	0%	0%	0%	0%	0%	0%	1%	0%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	2	0	0	2	0
Parking (#/hr)			19								7	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	257	100	0	0	0	0	543	57	69	552	0
Turn Type	Perm	NA	Perm					NA	Perm	pm+pt	NA	
Protected Phases		4						2		1	6	
Permitted Phases	4		4						2	6		
Detector Phase	4	4	4					2	2	1	6	
Switch Phase												
Minimum Initial (s)	15.0	15.0	15.0					15.0	15.0	2.0	15.0	
Minimum Split (s)	36.0	36.0	36.0					35.0	35.0	9.0	44.0	
Total Split (s)	36.0	36.0	36.0					35.0	35.0	9.0	44.0	
Total Split (%)	45.0%	45.0%	45.0%					43.8%	43.8%	11.3%	55.0%	
Yellow Time (s)	4.5	4.5	4.5					4.5	4.5	3.0	4.5	
All-Red Time (s)	1.5	1.5	1.5					1.5	1.5	0.0	1.5	
Lost Time Adjust (s)		0.0	0.0					0.0	0.0	0.0	0.0	
Total Lost Time (s)		6.0	6.0					6.0	6.0	3.0	6.0	
Lead/Lag								Lag	Lag	Lead		
Lead-Lag Optimize?								Yes	Yes	Yes		
Recall Mode	None	None	None					C-Min	C-Min	None	C-Min	
Act Effect Green (s)		22.7	22.7					37.6	37.6	48.3	45.3	
Actuated g/C Ratio		0.28	0.28					0.47	0.47	0.60	0.57	
v/c Ratio		0.51	0.24					0.64	0.11	0.17	0.57	
Control Delay		26.7	5.5					11.1	0.9	14.8	24.5	
Queue Delay		0.0	0.0					1.6	0.5	0.0	0.6	
Total Delay		26.7	5.5					12.7	1.4	14.8	25.0	



Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

Lane Group	ø8
Lane Configurations	
Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Ped Bike Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Confl. Peds. (#/hr)	
Confl. Bikes (#/hr)	
Peak Hour Factor	
Heavy Vehicles (%)	
Bus Blockages (#/hr)	
Parking (#/hr)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Turn Type	
Protected Phases	8
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	36.0
Total Split (s)	36.0
Total Split (%)	45%
Yellow Time (s)	4.5
All-Red Time (s)	1.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Recall Mode	None
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	

Lanes, Volumes, Timings  
 2: Oak Park Avenue & North Boulevard

4/29/2016

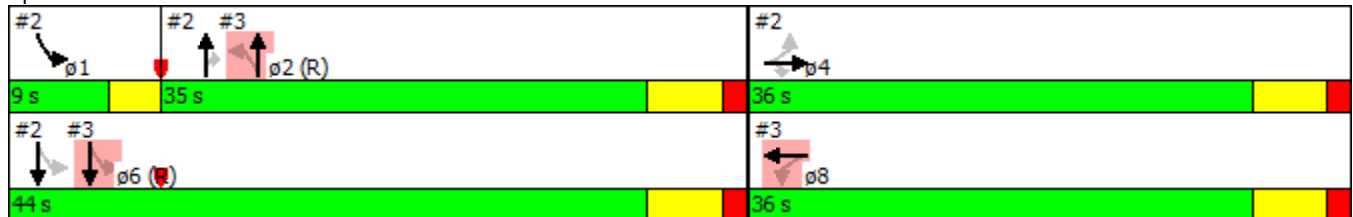


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
LOS		C	A					B	A	B	C	
Approach Delay		20.8						11.6			23.9	
Approach LOS		C						B			C	
Queue Length 50th (ft)		107	0					41	0	19	258	
Queue Length 95th (ft)		154	29					m#114	m0	m38	376	
Internal Link Dist (ft)		623			411			89			406	
Turn Bay Length (ft)										60		
Base Capacity (vph)		661	526					848	512	399	961	
Starvation Cap Reductn		0	0					154	270	0	137	
Spillback Cap Reductn		0	7					0	0	0	11	
Storage Cap Reductn		0	0					0	0	0	0	
Reduced v/c Ratio		0.39	0.19					0.78	0.24	0.17	0.67	

Intersection Summary

Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 26 (33%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.78  
 Intersection Signal Delay: 18.5  
 Intersection LOS: B  
 Intersection Capacity Utilization 64.2%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 2: Oak Park Avenue & North Boulevard



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Lane Group	ø8
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

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Lanes, Volumes, Timings  
3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations					↔		↗	↘		↗	↘	
Volume (vph)	0	0	0	51	222	45	27	532	34	16	510	101
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	0		0	25		0	25		0
Storage Lanes	0		0	0		0	1		0	1		0
Taper Length (ft)	25			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor					0.97		0.92	0.99				0.96
Frt					0.981			0.991				0.975
Flt Protected					0.992		0.950			0.950		
Satd. Flow (prot)	0	0	0	0	1583	0	1805	1579	0	1805	1734	0
Flt Permitted					0.992		0.375			0.220		
Satd. Flow (perm)	0	0	0	0	1542	0	656	1579	0	418	1734	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)					12			5				17
Link Speed (mph)		25			25			25				25
Link Distance (ft)		196			224			189				169
Travel Time (s)		5.3			6.1			5.2				4.6
Confl. Peds. (#/hr)	48		89	89		48	127		113	113		127
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Heavy Vehicles (%)	0%	0%	0%	0%	1%	0%	0%	1%	0%	0%	2%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	2	0	0	2	0
Parking (#/hr)					6			7				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	0	0	0	328	0	28	583	0	16	630	0
Turn Type				Perm	NA		Perm	NA		Perm	NA	
Protected Phases					8			2				6
Permitted Phases				8			2			6		
Detector Phase				8	8		2	2		6	6	
Switch Phase												
Minimum Initial (s)				15.0	15.0		15.0	15.0		15.0	15.0	
Minimum Split (s)				36.0	36.0		35.0	35.0		44.0	44.0	
Total Split (s)				36.0	36.0		35.0	35.0		44.0	44.0	
Total Split (%)				45.0%	45.0%		43.8%	43.8%		55.0%	55.0%	
Yellow Time (s)				4.5	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)				1.5	1.5		1.5	1.5		1.5	1.5	
Lost Time Adjust (s)					0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)					6.0		6.0	6.0		6.0	6.0	
Lead/Lag							Lag	Lag				
Lead-Lag Optimize?							Yes	Yes				
Recall Mode				None	None		C-Min	C-Min		C-Min	C-Min	
Act Effct Green (s)					22.7		37.6	37.6		45.3	45.3	
Actuated g/C Ratio					0.28		0.47	0.47		0.57	0.57	
v/c Ratio					0.74		0.09	0.78		0.07	0.64	
Control Delay					34.4		16.8	30.8		5.2	7.4	
Queue Delay					0.5		0.0	0.1		0.0	0.1	
Total Delay					35.0		16.8	30.9		5.2	7.5	
LOS					C		B	C		A	A	
Approach Delay					35.0			30.3			7.5	

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016

Lane Group	ø1	ø4
Lane Configurations		
Volume (vph)		
Ideal Flow (vphpl)		
Storage Length (ft)		
Storage Lanes		
Taper Length (ft)		
Lane Util. Factor		
Ped Bike Factor		
Frt		
Flt Protected		
Satd. Flow (prot)		
Flt Permitted		
Satd. Flow (perm)		
Right Turn on Red		
Satd. Flow (RTOR)		
Link Speed (mph)		
Link Distance (ft)		
Travel Time (s)		
Confl. Peds. (#/hr)		
Peak Hour Factor		
Heavy Vehicles (%)		
Bus Blockages (#/hr)		
Parking (#/hr)		
Shared Lane Traffic (%)		
Lane Group Flow (vph)		
Turn Type		
Protected Phases	1	4
Permitted Phases		
Detector Phase		
Switch Phase		
Minimum Initial (s)	2.0	15.0
Minimum Split (s)	9.0	36.0
Total Split (s)	9.0	36.0
Total Split (%)	11%	45%
Yellow Time (s)	3.0	4.5
All-Red Time (s)	0.0	1.5
Lost Time Adjust (s)		
Total Lost Time (s)		
Lead/Lag	Lead	
Lead-Lag Optimize?	Yes	
Recall Mode	None	None
Act Effct Green (s)		
Actuated g/C Ratio		
v/c Ratio		
Control Delay		
Queue Delay		
Total Delay		
LOS		
Approach Delay		

Lanes, Volumes, Timings  
 3: Oak Park Avenue & South Boulevard

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach LOS					C			C				A
Queue Length 50th (ft)					143		8	244		1		47
Queue Length 95th (ft)					204		27	#506		m3		74
Internal Link Dist (ft)		116			144			109				89
Turn Bay Length (ft)							25			25		
Base Capacity (vph)					585		308	745		236		988
Starvation Cap Reductn					0		0	0		0		27
Spillback Cap Reductn					62		0	4		0		0
Storage Cap Reductn					0		0	0		0		0
Reduced v/c Ratio					0.63		0.09	0.79		0.07		0.66

Intersection Summary

Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 26 (33%), Referenced to phase 2:NBT and 6:SBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.78  
 Intersection Signal Delay: 22.0 Intersection LOS: C  
 Intersection Capacity Utilization 68.5% ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 3: Oak Park Avenue & South Boulevard

#2 ϕ1	#2 #3 ϕ2 (R)	#2 ϕ4
9 s	35 s	36 s
#2 #3 ϕ6 (R)	#3 ϕ8	
44 s	36 s	

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Lane Group	ø1	ø4
Approach LOS		
Queue Length 50th (ft)		
Queue Length 95th (ft)		
Internal Link Dist (ft)		
Turn Bay Length (ft)		
Base Capacity (vph)		
Starvation Cap Reductn		
Spillback Cap Reductn		
Storage Cap Reductn		
Reduced v/c Ratio		
Intersection Summary		

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Lanes, Volumes, Timings  
4: Euclid Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	27	384	57	50	442	22	58	93	63	17	44	29
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	80		25	100		0	25		0	25		0
Storage Lanes	1		1	1		0	1		0	1		0
Taper Length (ft)	100			100			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	0.95		0.83	0.93	0.99		0.90	0.97		0.96	0.95	
Frt			0.850		0.993			0.939			0.941	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1805	1571	1538	1805	1577	0	1736	1723	0	1805	1426	0
Flt Permitted	0.453			0.480			0.708			0.617		
Satd. Flow (perm)	821	1571	1273	848	1577	0	1168	1723	0	1124	1426	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			82		4			45			30	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		497			862			122			117	
Travel Time (s)		13.6			23.5			3.3			3.2	
Confl. Peds. (#/hr)	65		77	77		65	54		26	26		54
Confl. Bikes (#/hr)			2			3						2
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Heavy Vehicles (%)	0%	2%	5%	0%	2%	0%	4%	1%	0%	0%	2%	0%
Bus Blockages (#/hr)	0	2	0	0	2	0	0	0	0	0	0	0
Parking (#/hr)		10			7							10
Shared Lane Traffic (%)												
Lane Group Flow (vph)	28	400	59	52	483	0	60	163	0	18	76	0
Turn Type	pm+pt	NA	Perm	pm+pt	NA		Perm	NA		Perm	NA	
Protected Phases	5	2		1	6			8				4
Permitted Phases	2		2	6			8			4		
Detector Phase	5	2	2	1	6		8	8		4	4	
Switch Phase												
Minimum Initial (s)	3.0	12.0	12.0	3.0	12.0		8.0	8.0		8.0	8.0	
Minimum Split (s)	12.0	36.0	36.0	12.0	36.0		32.0	32.0		32.0	32.0	
Total Split (s)	12.0	36.0	36.0	12.0	36.0		32.0	32.0		32.0	32.0	
Total Split (%)	15.0%	45.0%	45.0%	15.0%	45.0%		40.0%	40.0%		40.0%	40.0%	
Yellow Time (s)	3.0	4.5	4.5	3.0	4.5		4.5	4.5		4.5	4.5	
All-Red Time (s)	0.0	1.5	1.5	0.0	1.5		1.5	1.5		0.5	0.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.0	6.0	6.0	3.0	6.0		6.0	6.0		5.0	5.0	
Lead/Lag	Lead	Lag	Lag	Lead	Lag							
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes							
Recall Mode	None	C-Min	C-Min	None	C-Min		None	None		None	None	
Act Effect Green (s)	56.6	49.9	49.9	57.7	51.9		12.3	12.3		13.3	13.3	
Actuated g/C Ratio	0.71	0.62	0.62	0.72	0.65		0.15	0.15		0.17	0.17	
v/c Ratio	0.04	0.41	0.07	0.08	0.47		0.34	0.54		0.10	0.29	
Control Delay	2.5	7.3	1.2	4.0	11.0		33.8	28.2		27.2	21.3	
Queue Delay	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	2.5	7.3	1.2	4.0	11.0		33.8	28.2		27.2	21.3	
LOS	A	A	A	A	B		C	C		C	C	



Lanes, Volumes, Timings  
 4: Euclid Avenue & Lake Street

4/29/2016

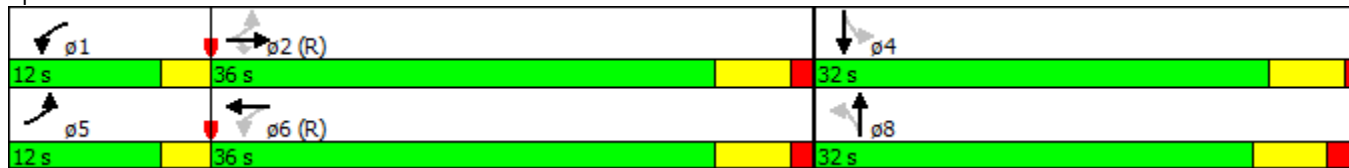


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Approach Delay		6.3			10.3			29.8			22.4	
Approach LOS		A			B			C			C	
Queue Length 50th (ft)	2	62	1	6	86		27	55		8	20	
Queue Length 95th (ft)	m6	126	m0	19	258		58	104		24	52	
Internal Link Dist (ft)		417			782			42			37	
Turn Bay Length (ft)	80		25	100			25			25		
Base Capacity (vph)	709	979	824	728	1025		379	590		379	501	
Starvation Cap Reductn	0	0	0	0	0		0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0		0	0		0	0	
Storage Cap Reductn	0	0	0	0	0		0	0		0	0	
Reduced v/c Ratio	0.04	0.41	0.07	0.07	0.47		0.16	0.28		0.05	0.15	

Intersection Summary

Area Type: Other  
 Cycle Length: 80  
 Actuated Cycle Length: 80  
 Offset: 4 (5%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.54  
 Intersection Signal Delay: 13.0 Intersection LOS: B  
 Intersection Capacity Utilization 56.9% ICU Level of Service B  
 Analysis Period (min) 15  
 m Volume for 95th percentile queue is metered by upstream signal.

Splits and Phases: 4: Euclid Avenue & Lake Street



Lanes, Volumes, Timings  
8: East Avenue & Lake Street

4/29/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↗		↖	↖			↕			↕	
Volume (vph)	0	389	73	118	572	0	82	2	89	0	2	3
Ideal Flow (vphpl)	1900	1900	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		0	110		0	0		0	0		0
Storage Lanes	0		0	1		0	0		0	0		0
Taper Length (ft)	25			90			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor		0.96		0.91				0.84			0.91	
Frt		0.979						0.930			0.919	
Flt Protected				0.950				0.977				
Satd. Flow (prot)	0	1468	0	1770	1644	0	0	1228	0	0	1556	0
Flt Permitted				0.346				0.847				
Satd. Flow (perm)	0	1468	0	588	1644	0	0	1005	0	0	1556	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		18						92				3
Link Speed (mph)		25			20			20				25
Link Distance (ft)		862			446			582				182
Travel Time (s)		23.5			15.2			19.8				5.0
Confl. Peds. (#/hr)	223		173	173		223	72		109	109		72
Confl. Bikes (#/hr)			12			18			14			13
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Bus Blockages (#/hr)	0	2	0	0	2	0	0	0	0	0	0	0
Parking (#/hr)		11			11			17				
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	486	0	124	602	0	0	182	0	0	5	0
Turn Type		NA		pm+pt	NA		Perm	NA			NA	
Protected Phases		2		1	6			8				4
Permitted Phases				6			8			4		
Detector Phase		2		1	6		8	8		4		4
Switch Phase												
Minimum Initial (s)		15.0		3.0	15.0		8.0	8.0		8.0		8.0
Minimum Split (s)		29.0		7.0	36.0		24.0	24.0		24.0		24.0
Total Split (s)		29.0		7.0	36.0		24.0	24.0		24.0		24.0
Total Split (%)		48.3%		11.7%	60.0%		40.0%	40.0%		40.0%		40.0%
Yellow Time (s)		4.5		3.0	4.5		4.5	4.5		4.5		4.5
All-Red Time (s)		1.5		0.0	1.5		1.5	1.5		1.5		1.5
Lost Time Adjust (s)		0.0		0.0	0.0			0.0				0.0
Total Lost Time (s)		6.0		3.0	6.0			6.0				6.0
Lead/Lag		Lag		Lead								
Lead-Lag Optimize?		Yes		Yes								
Recall Mode		C-Min		None	C-Min		None	None		None		None
Act Effct Green (s)		28.4		38.6	35.6			12.4				12.4
Actuated g/C Ratio		0.47		0.64	0.59			0.21				0.21
v/c Ratio		0.69		0.25	0.62			0.65				0.02
Control Delay		22.0		6.5	12.9			22.1				12.6
Queue Delay		0.0		0.0	0.0			0.0				0.0
Total Delay		22.0		6.5	12.9			22.1				12.6
LOS		C		A	B			C				B
Approach Delay		22.0			11.8			22.1				12.6

Lanes, Volumes, Timings  
 8: East Avenue & Lake Street

4/29/2016

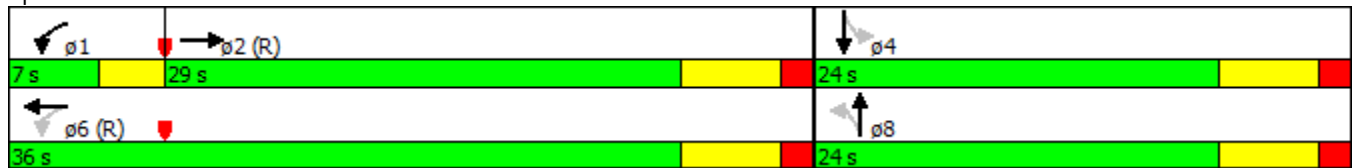


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Approach LOS		C				B				C			B
Queue Length 50th (ft)		135		14	119			29				1	
Queue Length 95th (ft)		#312		40	#277			78				7	
Internal Link Dist (ft)		782			366			502				102	
Turn Bay Length (ft)				110									
Base Capacity (vph)		704		494	975			365				468	
Starvation Cap Reductn		0		0	0			0				0	
Spillback Cap Reductn		0		0	0			0				0	
Storage Cap Reductn		0		0	0			0				0	
Reduced v/c Ratio		0.69		0.25	0.62			0.50				0.01	

Intersection Summary

Area Type: Other  
 Cycle Length: 60  
 Actuated Cycle Length: 60  
 Offset: 18 (30%), Referenced to phase 2:EBT and 6:WBTL, Start of Green  
 Natural Cycle: 60  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.69  
 Intersection Signal Delay: 16.7  
 Intersection LOS: B  
 Intersection Capacity Utilization 65.9%  
 ICU Level of Service C  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 8: East Avenue & Lake Street



# HCM Unsignalized Intersection Capacity Analysis

## 5: Euclid Avenue & North Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔			↔			↔	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	107	119	91	15	0	33	0	83	5	16	133	0
Peak Hour Factor	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88	0.88
Hourly flow rate (vph)	122	135	103	17	0	38	0	94	6	18	151	0

















Direction, Lane #	EB 1	WB 1	NB 1	SB 1
Volume Total (vph)	360	55	100	169
Volume Left (vph)	122	17	0	18
Volume Right (vph)	103	38	6	0
Hadj (s)	-0.08	-0.35	-0.02	0.05
Departure Headway (s)	4.6	4.7	5.1	5.1
Degree Utilization, x	0.46	0.07	0.14	0.24
Capacity (veh/h)	745	688	637	648
Control Delay (s)	11.5	8.1	9.0	9.7
Approach Delay (s)	11.5	8.1	9.0	9.7
Approach LOS	B	A	A	A

Intersection Summary			
Delay		10.4	
Level of Service		B	
Intersection Capacity Utilization	45.4%		ICU Level of Service A
Analysis Period (min)		15	

# HCM Unsignalized Intersection Capacity Analysis

## 6: Euclid Avenue & South Boulevard

















4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	9	32	9	17	222	11	27	70	15	36	123	75
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	9	34	9	18	234	12	28	74	16	38	129	79
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	53	263	118	246								
Volume Left (vph)	9	18	28	38								
Volume Right (vph)	9	12	16	79								
Hadj (s)	-0.01	0.00	-0.03	-0.14								
Departure Headway (s)	5.2	4.9	5.0	4.7								
Degree Utilization, x	0.08	0.36	0.16	0.32								
Capacity (veh/h)	622	691	661	711								
Control Delay (s)	8.6	10.6	9.0	10.0								
Approach Delay (s)	8.6	10.6	9.0	10.0								
Approach LOS	A	B	A	B								
Intersection Summary												
Delay			9.9									
Level of Service			A									
Intersection Capacity Utilization			37.9%	ICU Level of Service	A							
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 7: Euclid Avenue & Ontario Street

4/29/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	7	8	24	2	6	0	27	93	10	3	48	16
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Hourly flow rate (vph)	8	9	27	2	7	0	30	104	11	3	54	18
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	44	9	146	75								
Volume Left (vph)	8	2	30	3								
Volume Right (vph)	27	0	11	18								
Hadj (s)	-0.28	0.05	0.01	-0.13								
Departure Headway (s)	4.1	4.5	4.1	4.0								
Degree Utilization, x	0.05	0.01	0.17	0.08								
Capacity (veh/h)	829	751	857	874								
Control Delay (s)	7.3	7.5	7.9	7.4								
Approach Delay (s)	7.3	7.5	7.9	7.4								
Approach LOS	A	A	A	A								
Intersection Summary												
Delay			7.7									
Level of Service			A									
Intersection Capacity Utilization			27.2%	ICU Level of Service								A
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 9: East Avenue & South Boulevard

4/29/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Sign Control		Stop			Stop			Stop			Stop	
Volume (vph)	8	84	22	21	237	37	25	112	27	66	138	45
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	8	88	23	22	249	39	26	118	28	69	145	47
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total (vph)	120	311	173	262								
Volume Left (vph)	8	22	26	69								
Volume Right (vph)	23	39	28	47								
Hadj (s)	-0.07	-0.03	-0.03	-0.02								
Departure Headway (s)	5.6	5.3	5.5	5.4								
Degree Utilization, x	0.19	0.46	0.26	0.39								
Capacity (veh/h)	572	637	587	621								
Control Delay (s)	9.8	12.7	10.5	11.8								
Approach Delay (s)	9.8	12.7	10.5	11.8								
Approach LOS	A	B	B	B								
Intersection Summary												
Delay			11.6									
Level of Service			B									
Intersection Capacity Utilization			50.8%	ICU Level of Service								A
Analysis Period (min)			15									

# HCM Unsignalized Intersection Capacity Analysis

## 10: Euclid Avenue & Access Drive

4/29/2016



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (veh/h)	2	12	12	130	78	2
Sign Control	Stop			Free	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	2	13	13	137	82	2
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type				None	None	
Median storage (veh)						
Upstream signal (ft)				211		
pX, platoon unblocked						
vC, conflicting volume	245	83	84			
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	245	83	84			
tC, single (s)	6.4	6.2	4.1			
tC, 2 stage (s)						
tF (s)	3.5	3.3	2.2			
p0 queue free %	100	99	99			
cM capacity (veh/h)	737	976	1513			
<b>Direction, Lane #</b>	<b>EB 1</b>	<b>NB 1</b>	<b>SB 1</b>			
Volume Total	15	149	84			
Volume Left	2	13	0			
Volume Right	13	0	2			
cSH	933	1513	1700			
Volume to Capacity	0.02	0.01	0.05			
Queue Length 95th (ft)	1	1	0			
Control Delay (s)	8.9	0.7	0.0			
Lane LOS	A	A				
Approach Delay (s)	8.9	0.7	0.0			
Approach LOS	A					
<b>Intersection Summary</b>						
Average Delay			0.9			
Intersection Capacity Utilization		24.2%		ICU Level of Service		A
Analysis Period (min)			15			





DISTRICT HOUSE

**SECTION 14.  
PARKING STUDY (SEE EXHIBIT 13.1)**

Section 14. Parking Study does not include any exhibits, see Exhibit 13.1 for a combined Traffic and Parking Study prepared by KLOA.



# DISTRICT HOUSE

## **SECTION 15. VILLAGE SERVICES**

### **EXHIBIT 15.1: TAX ANALYSIS**

Letters acknowledging that the Project will not have a negative impact on the Village of Oak Park Police and Fire Departments are enclosed. The Village of Oak Park indicated that letters are not required from the Park District and Schools.

Generally speaking, the Project is projected to have a positive impact on the property values of the surrounding properties. A tax impact study indicating projected tax revenues is enclosed. This study has been reviewed independently by the Oak Park Economic Development Corporation (OPEDC).

- Exhibit 15.1: Tax Analysis

**District House/Oak Park**  
v3.1/2016-03-20

**Project Description and Schedule**

Lot Size	Approx. 103' x 199'
Lot Area	20,500
Zoning	B1/B2, General Business District
PIN	16-07-218-029-0000 (Includes -0001, -0002)
Condominiums	28

**Space Mix**

Parking (GSF)		16,193
Retail (RSF) (% Usable)	7.6%	4,516
Residential (GSF) (% Usable)	92.4%	55,188
	100%	75,897

**Sales Projections**

Retail Sale	4,492	\$	1,780,000
Residential Sales	51,260	\$	20,039,720
<b>Total Sales</b>		<b>\$</b>	<b>21,819,720</b>
<b>Sales Commission @ 5%</b>		<b>\$</b>	<b>(1,090,986)</b>
<b>Net Sales</b>		<b>\$</b>	<b>20,728,734</b>

**Property Tax Analysis**

Estimated Market Value	\$	21,819,720	
Assessment Level (10% Residential, 25% Commercial, Distributed Pro Rata)		11.13%	
Proposed Assessed Valuation	\$	2,429,538	
Equalizer		2.7253	
Equalized Assessed Value	\$	6,621,220	
Homeowner Exemptions	\$	196,000	
Adjusted Equalized Value	\$	6,425,220	
Tax Rate		11.21%	
Estimated Tax Bill	\$	720,267	
Allocation to Retail (\$/SF)	\$	58,758	\$ 13.08
Allocation to Residential (/Unit)	\$	661,509	\$ 23,625
Discount Factor (Based on Comparable Projects)		30%	
Estimated Tax Range (High)			
Allocation to Retail (\$/SF)	\$	58,758	\$ 13.08
Allocation to Residential (/Unit)	\$	661,509	\$ 23,625
Estimated Tax Range (Low)			
Allocation to Retail (\$/SF)	\$	41,130	\$ 9.16
Allocation to Residential (/Unit)	\$	463,057	\$ 16,538

**Sales Tax Analysis**

		NOI		6.5%		7.0%		7.5%
Value of Leased Retail	\$	179,680	\$	2,764,308	\$	2,566,857	\$	2,395,733
Sales Tax Estimates	\$	224,600						

**Scenario Analysis (Stabilization)**

	<u>Stabilization</u>	
	<u>Proposed Development</u>	
Forecasted Gross Retail Sales	\$	2,246,000
Sales Tax Revenue (Estimated, Upon Stabilization)	\$	224,600
Real Estate Taxes (Estimated, Upon Stabilization)	\$	720,267
Estimated Market Value (Adjusted Value For Stand-Alone Scenarios Based Upon Comparables)	\$	21,819,720
Assessment Level (10% Residential, 25% Commercial, Distributed Pro Rata)		11.13%
Proposed Assessed Valuation	\$	2,429,538
Equalizer		<u>2.7253</u>
Equalized Assessed Value	\$	6,621,220
Homeowner Exemptions	\$	<u>196,000</u>
Adjusted Equalized Value	\$	6,425,220
Tax Rate		<u>11.21%</u>
Estimated Tax Bill	\$	720,267
Allocation to Retail (\$/SF)	\$	58,758
Allocation to Residential (/Unit)	\$	661,509
Discount Factor (Based on Comparable Projects)		30%
Estimated Tax Range (High)		
Allocation to Retail (\$/SF)	\$	58,758
Allocation to Residential (/Unit)	\$	661,509
Estimated Tax Range (Low)		
Allocation to Retail (\$/SF)	\$	41,130
Allocation to Residential (/Unit)	\$	463,057
Annual Appreciation Factor		2%
Tax Appreciation Factor		3%

**Proposed Development Gross Sales Estimate**

Gross Sales Estimate	\$	2,682,711
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**Sales Tax Revenue**

	<u>Proposed Development</u>	
Year 1	\$	268,271
Year 2	\$	273,637
Year 3	\$	279,109
Year 4	\$	284,691
Year 5	\$	290,385
Year 6	\$	296,193
Year 7	\$	302,117
Year 8	\$	308,159
Year 9	\$	314,322
Year 10	\$	320,609
	\$	<u>2,937,494</u>
Net Local Impact (1% Home Rule Sales Tax, 1% of State of Illinois to Village of Oak Park)	20.0% \$	587,499

**Sales Tax Revenue (Cumulative)**

	<u>Proposed Development</u>	
Year 1	\$	268,271
Year 2	\$	541,908
Year 3	\$	821,017

Year 4	\$	1,105,708
Year 5	\$	1,396,094
Year 6	\$	1,692,287
Year 7	\$	1,994,403
Year 8	\$	2,302,563
Year 9	\$	2,616,885
Year 10	\$	2,937,494
Net Local Impact (1% Home Rule Sales Tax, 1% of State of Illinois to Village of Oak Park)	20.0% \$	587,499

**Real Estate Taxes**

---

		<u>Proposed</u> <u>Development (High)</u>	<u>Proposed</u> <u>Development (Low)</u>
Year 1	\$	720,267	\$ 504,187
Year 2	\$	720,267	\$ 504,187
Year 3	\$	720,267	\$ 504,187
Year 4	\$	741,875	\$ 519,313
Year 5	\$	741,875	\$ 519,313
Year 6	\$	741,875	\$ 519,313
Year 7	\$	764,131	\$ 534,892
Year 8	\$	764,131	\$ 534,892
Year 9	\$	764,131	\$ 534,892
Year 10	\$	787,055	\$ 550,939
	\$	7,465,876	\$ 5,226,114
Net Local Impact Proposed Development/Starbucks Scenario	88.5% \$	6,607,301	\$ 4,625,110

**Real Estate Taxes (Cumulative)**

---

		<u>Proposed</u> <u>Development (High)</u>	<u>Proposed</u> <u>Development (Low)</u>
Year 1	\$	720,267	\$ 504,187
Year 2	\$	1,440,534	\$ 1,008,374
Year 3	\$	2,160,801	\$ 1,512,561
Year 4	\$	2,902,677	\$ 2,031,874
Year 5	\$	3,644,552	\$ 2,551,186
Year 6	\$	4,386,427	\$ 3,070,499
Year 7	\$	5,150,558	\$ 3,605,391
Year 8	\$	5,914,690	\$ 4,140,283
Year 9	\$	6,678,821	\$ 4,675,175
Year 10	\$	7,465,876	\$ 5,226,114
Net Local Impact Proposed Development/Starbucks Scenario	88.5% \$	6,607,301	\$ 4,625,110



## DISTRICT HOUSE

### **EXHIBIT 15.2: VILLAGE OF OAK PARK POLICE DEPARTMENT LETTER**

- Village of Oak Park Police Department Letter (signed by Mr. Rick C. Tanksley, Chief of Police, dated February 16, 2016)



February 16, 2016

Mr. Rick C. Tanksley  
Chief of Police  
Village of Oak Park  
Police Department  
123 Madison Street  
Oak Park, Illinois 60302

RE: Lake & Euclid Development — Impact on Village Services

Dear Chief Tanksley:

Thank you for taking the time to meet with our project team regarding the proposed development at Lake & Euclid, formerly the Tasty Dog site at 708 Lake Street. The project will incorporate 28 condominium units and approximately 4,500 SF of ground floor retail. It is being developed by a joint venture comprised of Ranquist Development and Campbell Coyle.

Pursuant to our discussion on Tuesday, February 16, 2016, we kindly request that you countersign below, confirming that you agree that the development will not have a negative impact on the Village of Oak Park Police Department.

We greatly appreciate your time.

Best regards,

A handwritten signature in blue ink, appearing to read "Chris Dillion".

Christopher S. Dillion

**Agreed and Accepted:**

Village of Oak Park  
Police Department

A handwritten signature in blue ink, appearing to read "Rick C. Tanksley".

By: Rick C. Tanksley, Chief of Police



## DISTRICT HOUSE

### **EXHIBIT 15.3: VILLAGE OF OAK PARK FIRE DEPARTMENT LETTER**

- Village of Oak Park Fire Department Letter (signed by Mr. Thomas Ebsen, Fire Chief, dated February 16, 2016)





February 16, 2016

Mr. Thomas Ebsen  
Fire Chief  
Village of Oak Park  
Fire Department  
100 N. Euclid Avenue  
Oak Park, Illinois 60301

RE: Lake & Euclid Development — Impact on Village Services

Dear Chief Ebsen:

Thank you for taking the time to meet with our project team regarding the proposed development at Lake & Euclid, formerly the Tasty Dog site at 708 Lake Street. The project will incorporate 28 condominium units and approximately 4,500 SF of ground floor retail. It is being developed by a joint venture comprised of Ranquist Development and Campbell Coyle.

Pursuant to our discussion on Tuesday, February 16, 2016, we kindly request that you countersign below, confirming that you agree that the development will not have a negative impact on the Village of Oak Park Fire Department.

We greatly appreciate your time.

Best regards,

A handwritten signature in black ink, appearing to read 'Chris Dillion', written over a horizontal line.

Christopher S. Dillion

**Agreed and Accepted:**

Village of Oak Park  
Fire Department

A handwritten signature in black ink, appearing to read 'Thomas Ebsen', written over a horizontal line.

By: Thomas Ebsen, Fire Chief



DISTRICT HOUSE

**EXHIBIT 15.4: VILLAGE OF OAK PARK PUBLIC WORKS LETTER**

- Exhibit 15.4: Village of Oak Park Public Works Letter (signed by Mr. Bill McKenna, PE, Village Engineer, dated April 22, 2016)



The Village of Oak Park  
Village Hall  
123 Madison Street  
Oak Park, Illinois 60302-4272

708.383.6400  
Fax 708.383.6692  
[www.oak-park.us](http://www.oak-park.us)  
[village@oak-park.us](mailto:village@oak-park.us)

April 22, 2016

Christopher Dillion  
Campbell Coyle Real Estate  
2020 North California, Suite 7-197  
Chicago, IL 60647

Re: District House – NWC Lake Street and Euclid Avenue  
Impact to Village of Oak Park Water and Sewer Utilities

Dear Mr. Dillion:

The Engineering Division has reviewed the proposed District House Development at the NW corner of Lake Street and Euclid Avenue for impacts to the Village's water distribution network and the combined sewer system. The proposed development does not create any adverse impacts to the water distribution system or the sewer collection systems.

The water distribution system has adequate capacity to supply drinking water and fire protection to the proposed development. The existing site historically has been virtually 100% impervious surfaces and the only changes with the proposed development are the minimal increase in flow due to the additional sanitary sewage generated by the new residential units. The project also includes significant areas of green roof on level 2 and the roof which will reduce the overall volume and rate of storm water generated from the site which will provide a benefit to the Village's sewer system.

Sincerely,

Bill McKenna, PE  
Village Engineer  
Village of Oak Park  
201 South Blvd  
Oak Park, IL 60302  
[mckenna@oak-park.us](mailto:mckenna@oak-park.us)  
708.358.5722



## **SECTION 16. ENVIRONMENTAL REPORTS**

### **EXHIBIT 16.1: ENVIRONMENTAL REPORTS (SUMMARY PAGES)**

The Village of Oak Park disclosed all recorded environmental reports to the Project Team on January 13, 2016. These materials are available upon request and can also be downloaded from the Illinois Environmental Protection Agency (IEPA).

The site is listed by the IEPA as LPC#0312255057 with an address of “708 W Lake & Euclid Oak Park, IL 60301”. The Highway Authority Agreement (HAA) is recorded against the incorrect PIN. The current PIN for the site according to the Sidwell atlas is 16-07-218-029-0000. PINs 16-07-218-029-8001 and 16-07-218-029-8002 are also attributed to the site. The HAA is recorded against 16-07-218-026-0000.

- Exhibit 16.1: Environmental Reports (Summary Pages).

0312255057-COOK  
Amoco Oil Co. #5379

**JUNG & ASSOCIATES, P.C.**

33 North Dearborn, Suite 1515  
Chicago, Illinois 60602

*Handwritten*

Writer's Direct Dial (312) 252-0103

Fax (312) 252-0109

May 25, 2001

**VIA FEDERAL EXPRESS**

Mr. Mike Lowder  
Illinois Environmental Protection Agency  
Leaking Underground Storage Tank Section  
Bureau of Land  
1021 N. Grand Avenue East  
Springfield, Illinois 62794

Subject: **RECORDED NFR SUBMISSION**

Dear Mr. Lowder:

Pursuant to 35 IAC 732, Section 732.703, Amoco Oil Company (Amoco) is submitting two (2) copies of the recorded NFR for the site listed below.

Service Station No.	LPC No.	Incident No(s).	County	City
5379	0312255057	902418	Cook	Oak Park

Should you require any additional information, please feel free to contact Amoco consultant Todd Gift of Delta Environmental Consultants, Inc. at (630) 717.4043.

Sincerely,



Timothy H. Snow  
Legal Assistant

Attachment – Recorded NFR Letters

cc: Dave Piotrowski, BP  
Brad Littrell, Delta Environmental Consultants  
File

**RECEIVED**

MAY 29 2001

IEPA/BOL

**RELEASABLE**

JUN 04 2001

**REVIEWER MM**

# JUNG & ASSOCIATES, P.C.

33 North Dearborn, Suite 1515  
Chicago, Illinois 60602

Writer's Direct Dial (312) 252-0103  
Fax (312) 252-0109

## **Transmittal FEDERAL EXPRESS**

To: Mike Lowder  
Illinois Environmental Protection Agency

From: Timothy H. Snow

Date: May 25, 2001

Re: Recorded NFR Submission  
**LPC No. 0312255057; Incident No. 902418**  
**708 West Lake Street**  
**Service Station No. 5379**

---

Attached please find two (2) copies of the recorded No Further Remediation ("NFR") letter for the above referenced site. The NFR letter was recorded in the county where the above referenced site is located.

Thank you.

cc: Dave Piotrowski, BP  
Brad Littrell, Delta Environmental Consultants, Inc.  
File

Enclosures

**RECEIVED**

**MAY 29 2001**

**IEPA/BOL**

PREPARED BY:

Name: Amoco Oil Company  
Attention: David Piotrowski  
Address: Amoco Oil Co. #5379  
708 West Lake St.  
Oak Park, Illinois 60301

0010387405

2067/0047 07 001 Page 1 of 7  
2001-05-09 10:18:27  
Cook County Recorder 63.00

RETURN TO:

Name: AFTER RECORDING, MAIL TO:  
CHICAGO TITLE INSURANCE CO.  
ATTN: TAIWAN MILLER  
Address: 171 N. CLARK ST. • MLC: 048P  
CHICAGO, IL 60601

THE ABOVE SPACE FOR RECORDER'S OFFICE

LEAKING UNDERGROUND STORAGE TANK ENVIRONMENTAL NOTICE

THE OWNER AND/OR OPERATOR OF THE LEAKING UNDERGROUND STORAGE TANK(S) ASSOCIATED WITH THE RELEASE REFERENCED BELOW, WITHIN 45 DAYS OF RECEIVING THE NO FURTHER REMEDIATION LETTER CONTAINING THIS NOTICE, MUST SUBMIT THIS NOTICE AND THE REMAINDER OF THE NO FURTHER REMEDIATION LETTER TO THE OFFICE OF THE RECORDER OR REGISTRAR OF TITLES OF COOK COUNTY IN WHICH THE SITE DESCRIBED BELOW IS LOCATED.

Illinois EPA Number: 0312255057  
LUST Incident No.: 902418

Amoco Oil Company, the owner and operator of the leaking underground storage tank(s) associated with the above-referenced incident, whose address is 28100 Torch Parkway, 3-S, Warrenville, Illinois, has performed investigative and/or remedial activities for the site identified as follows:

1. Legal description or Reference to a Plat Showing the Boundaries: THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
2. Common Address: 708 West Lake St., Oak Park, Illinois 60301
3. Real Estate Tax Index/Parcel Index Number: 16-07-218-026
4. Site Owner: Chitown Development, Ltd., 9933 N. Lawler, Skokie, Illinois 60077
5. Land Use Limitation: The groundwater under the site shall not be used as a potable water supply.
6. See the attached No Further Remediation Letter for other terms.

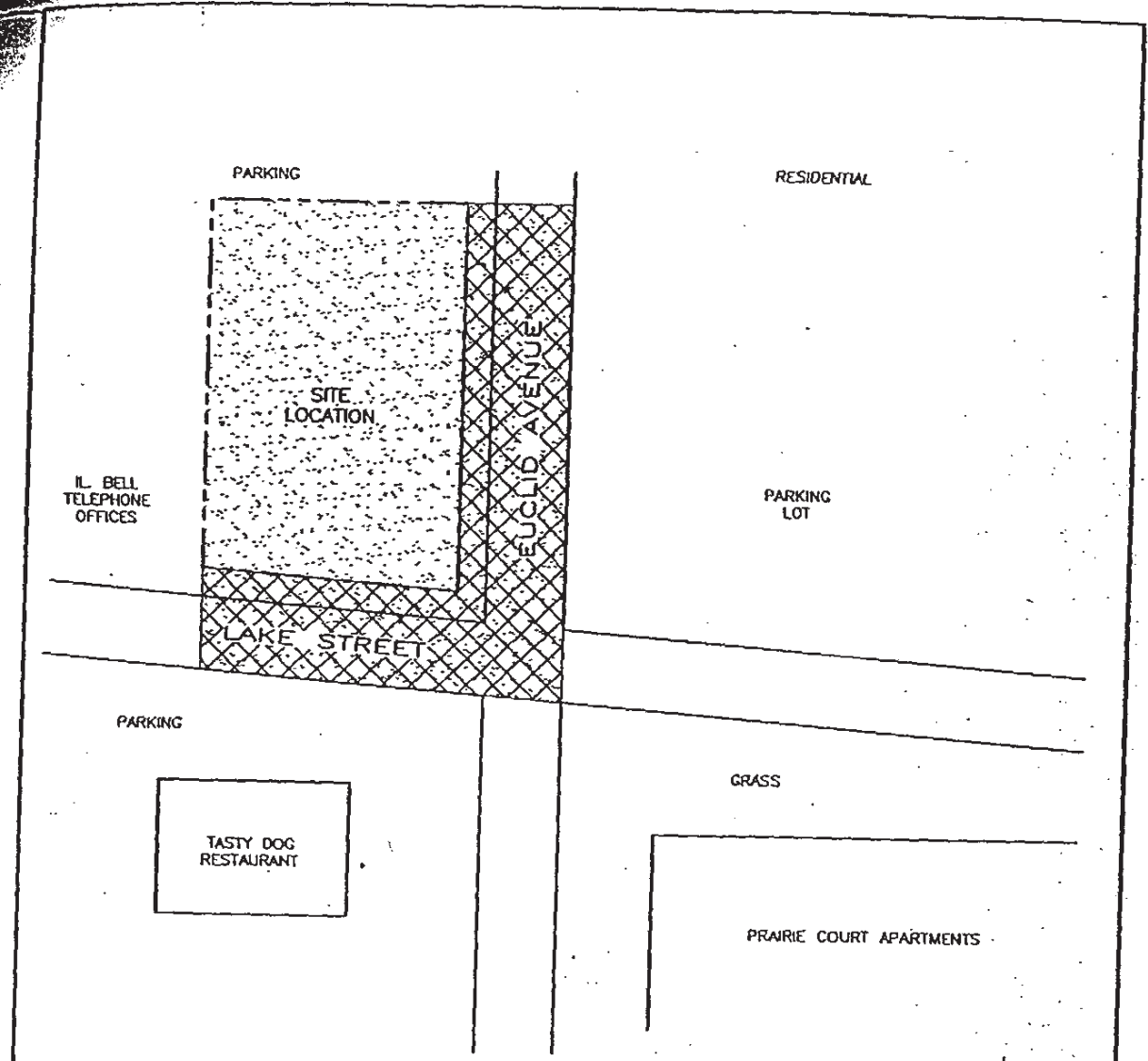
Leaking Underground Storage Tank Environmental Notice

BOX 333-CTI



531-002

DIA.


JP  
CE



**LEGEND:**

-  CITY OF OAK PARK HIGHWAY AGREEMENT LOCATION
-  AREA OF GROUNDWATER USE RESTRICTION

**FIGURE 3**  
**HIGHWAY AGREEMENT LOCATION MAP**  
**AMOCO SERVICE STATION NO. 5379**  
**708 WEST LAKE STREET**  
**OAK PARK, ILLINOIS**

PROJECT NO. 30312 P	PREPARED BY LH/PF	DRAWN BY JCZ/PAA	
DATE 04/14/00	REVIEWED BY	FILE NAME	

NOT TO SCALE





## ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

1021 NORTH GRAND AVENUE EAST, P.O. BOX 19276, SPRINGFIELD, ILLINOIS 62794-9276

THOMAS V. SKINNER, DIRECTOR

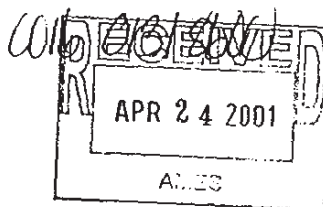
217/782-6762

**APR 16 2001**

Amoco Oil Company  
 Attention: David Piotrowski  
 28100 Torch Parkway, 3-S  
 Warrenville, Illinois 60555

Re: LPC #0312255057 -- Cook County  
 Oak Park/Amoco Oil Co. #5379  
 708 West Lake St.  
 LUST Incident No. 902418  
 LUST Technical File

CERTIFIED MAIL



Dear Mr. Piotrowski:

The Illinois Environmental Protection Agency ("Illinois EPA") has reviewed the Closure Report submitted for the above-referenced incident. This information is dated September 24, 1997; was received by the Illinois EPA September 26, 1997; and was prepared by Delta Environmental Consultants, Inc. Citations in this letter are from the Environmental Protection Act ("Act") and 35 Illinois Administrative Code ("35 IAC").

The Corrective Action Completion Report and the Professional Engineer Certification submitted pursuant to 35 IAC Part 731 indicate remediation has been successfully completed.

Based upon the certification by Debra Hagerty, a Registered Professional Engineer of Illinois, and based upon other information in the Illinois EPA's possession, your request for a no further remediation determination is granted under the conditions and terms specified in this letter.

Issuance of this No Further Remediation Letter ("Letter"), based on the certification of the Registered Professional Engineer, signifies that: (1) all statutory and regulatory corrective action requirements applicable to the occurrence have been complied with; (2) all corrective action concerning the occurrence has been completed; and (3) no further remediation concerning the occurrence is necessary for the protection of human health, safety and the environment. This Letter shall apply in favor of the following persons:

1. Amoco Oil Company;
2. The owner and operator of the UST(s);

GEORGE H. RYAN, GOVERNOR

Page 2

3. Any parent corporation or subsidiary of the owner or operator of the UST(s);
4. Any co-owner or co-operator, either by joint-tenancy, right of survivorship, or any other party sharing a legal relationship with the owner or operator to whom the letter is issued;
5. Any holder of a beneficial interest of a land trust or inter vivos trust, whether revocable or irrevocable;
6. Any mortgagee or trustee of a deed of trust of the owner of the site or any assignee, transferee, or any successor-in-interest of the owner of the site;
7. Any successor-in-interest of such owner or operator;
8. Any transferee of such owner or operator whether the transfer was by sale, bankruptcy proceeding, partition, dissolution of marriage, settlement or adjudication of any civil action, charitable gift, or bequest; or
9. Any heir or devisee of such owner or operator.

This Letter, and all attachments, including but not limited to the Leaking Underground Storage Tank Environmental Notice, must be filed within 45 days of its receipt as a single instrument with the Office of the Recorder or Registrar of Titles in the County where the above-referenced site is located. This Letter shall not be effective until officially recorded by the Office of the Recorder or Registrar of Titles of the applicable County in accordance with Illinois law so it forms a permanent part of the chain of title for the above-referenced property. Within 30 days of this Letter being recorded, a certified copy of this Letter, as recorded, shall be obtained and submitted to the Illinois EPA. For recording purposes, it is recommended that the Leaking Underground Storage Tank Environmental Notice of this Letter be the first page of the instrument filed.

#### CONDITIONS AND TERMS OF APPROVAL

##### LEVEL OF REMEDIATION AND LAND USE LIMITATIONS

1. The remediation objectives for the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, were established in accordance with the requirements of the Tiered Approach to Corrective Action Objectives (35 IAC Part 742) rules.
2. As a result of the release from the underground storage tank(s) associated with the above-referenced incident, the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this Letter, shall not be used in a manner inconsistent with the following land use limitation: The groundwater under the site shall not be used as a potable water supply. It has been demonstrated that the groundwater under the site meets Class II (General Resource) groundwater criteria, rather than Class I (Potable Resource) groundwater. Groundwater classifications are defined at 35 IAC Part 620, Subpart B.

Page 3

3. The land use limitation specified in this Letter may be revised if:
  - a) Further investigation or remedial action has been conducted that documents the attainment of objectives appropriate for the new land use; and
  - b) A new Letter is obtained and recorded in accordance with Title XVII of the Act and regulations adopted thereunder.

PREVENTIVE, ENGINEERING, AND INSTITUTIONAL CONTROLS

4. Preventive: The groundwater under the site described in the attached Leaking Underground Storage Tank Environmental Notice of the Letter shall not be used as a potable supply of water. No person shall construct, install, maintain or utilize a potable water supply well. In accordance with Section 3.65 of the Act, "potable" means generally fit for human consumption in accordance with accepted water supply principles and practices.

Engineering: None.

Institutional: This Letter shall be recorded as a permanent part of the chain of title for the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this letter.

The Village of Oak Park agrees, through the use of a Highway Authority Agreement, to allow contaminated groundwater or soils to remain beneath its highway right-of-way adjacent to the site located at 708 West Lake Street, Oak Park. Specifically, as shown on the attached map, contamination will remain in the right-of-way for Lake Street and Euclid Avenue as indicated in the Highway Authority Agreement. The Highway Authority agrees (a) to prohibit the use of groundwater under the highway right-of-way that is contaminated above residential Tier 1 remediation objectives from the release as a potable or other domestic supply of water, and (b) to limit access to soil contamination under the highway right-of-way that is contaminated above residential Tier 1 remediation objectives. A copy of the Highway Authority Agreements can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to the Bureau of Land, FOIA Unit as detailed elsewhere in this letter. Questions regarding the Highway Authority Agreement should be directed to the Director of Public Works at 1 Village Hall Plaza, Oak Park, Illinois 60302.

5. Failure to establish, operate, and maintain controls in full compliance with the Act, applicable regulations, and the approved corrective action plan may result in voidance of this Letter.

OTHER TERMS

6. Any contaminated soil or groundwater removed, or excavated from, or disturbed at the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, must be handled in accordance with all applicable laws and regulations.
7. Further information regarding the above-referenced site can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to:

Illinois Environmental Protection Agency  
Attention: Freedom of Information Act Officer  
Bureau of Land - #24  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, Illinois 62794-9276

8. Should the Illinois EPA seek to void this Letter, the Illinois EPA shall provide notice to the owner or operator of the leaking underground storage tank(s) associated with the above referenced incident and the current title holder of the real estate on which the tanks were located, at their last known addresses. The notice shall specify the cause for the avoidance, explain the provisions for appeal, and describe the facts in support of the avoidance. Specific acts or omissions that may result in the avoidance of this Letter include, but shall not be limited to:
  - a) Any violation of institutional controls or industrial/commercial land use restrictions;
  - b) The failure to operate and maintain preventive or engineering controls or to comply with any applicable groundwater monitoring plan;
  - c) The disturbance or removal of contamination that has been left in place in accordance with the Corrective Action Plan or Completion Report;
  - d) The failure to comply with the recording requirements for the Letter;
  - e) Obtaining the Letter by fraud or misrepresentation; or
  - f) Subsequent discovery of contaminants, not identified as part of the investigative or remedial activities upon which the issuance of the Letter was based, that pose a threat to human health or the environment.

Submit the certified copy of this letter, as recorded, to:

Illinois Environmental Protection Agency  
Bureau of Land - #24  
LUST Section  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, Illinois 62794-9276

If you have any questions or need further assistance, please contact the Illinois EPA project manager, Melinda Friedel, at 217/782-6762.

Sincerely,



Michael T. Lowder  
Unit Manager  
Leaking Underground Storage Tank Section  
Division of Remediation Management  
Bureau of Land

Attachments: Leaking Underground Storage Tank Environmental Notice  
Site Base Map

cc: Delta Environmental  
Division File

## PREPARED BY:

Name: Amoco Oil Company  
Attention: David Piotrowski  
Address: Amoco Oil Co. #5379  
708 West Lake St.  
Oak Park, Illinois 60301

## RETURN TO:

Name: Amoco Oil Company  
Attention: David Piotrowski  
Address: 28100 Torch Parkway, 3-S  
Warrenville, Illinois 60555

THE ABOVE SPACE FOR RECORDER'S OFFICE

## LEAKING UNDERGROUND STORAGE TANK ENVIRONMENTAL NOTICE

THE OWNER AND/OR OPERATOR OF THE LEAKING UNDERGROUND STORAGE TANK(S) ASSOCIATED WITH THE RELEASE REFERENCED BELOW, WITHIN 45 DAYS OF RECEIVING THE NO FURTHER REMEDIATION LETTER CONTAINING THIS NOTICE, MUST SUBMIT THIS NOTICE AND THE REMAINDER OF THE NO FURTHER REMEDIATION LETTER TO THE OFFICE OF THE RECORDER OR REGISTRAR OF TITLES OF COOK COUNTY IN WHICH THE SITE DESCRIBED BELOW IS LOCATED.

Illinois EPA Number: 0312255057

LUST Incident No.: 902418

Amoco Oil Company, the owner and operator of the leaking underground storage tank(s) associated with the above-referenced incident, whose address is 28100 Torch Parkway, 3-S, Warrenville, Illinois, has performed investigative and/or remedial activities for the site identified as follows:

1. Legal description or Reference to a Plat Showing the Boundaries: THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
2. Common Address: 708 West Lake St., Oak Park, Illinois 60301
3. Real Estate Tax Index/Parcel Index Number: 16-07-218-026
4. Site Owner: Chitown Development, Ltd., 9933 N. Lawler, Skokie, Illinois 60077
5. Land Use Limitation: The groundwater under the site shall not be used as a potable water supply.
6. See the attached No Further Remediation Letter for other terms.

Leaking Underground Storage Tank Environmental Notice

LUST TECHNICAL REVIEW NOTES

Reviewed by: Melinda Friedel  
Date: 12 April 2001

LPC #0312255057 / Cook Co.  
Oak Park/Amoco Oil Co. #5379  
708 West Lake St.  
LUST Incident #902418  
LUST Technical Review Notes

Document(s) Reviewed:

2/15/01 Closure Request received 2/16/01 (prepared by Delta Environmental Consultants, Inc.)

General Site Information:

IEMA date(s): 8/22/90  
Size & Product of Tanks: (3) 12,000 gal gas USTs currently located on-site  
UST System Removed (Y/N): Y - (1) 8k & (3) 6k gal gas & (1) 550gal waste oil UST removed in 12/90  
Encountered Groundwater (Y/N): Y  
Free Product (Y/N): N  
Current/Past Land Use: service station  
Reimbursement (Y/N/unknown): unknown  
OSFM Fac. ID#

Review Note Comments:

9/21/98 Agency Review Letter denying closure; HAAs for Lake St. & Euclid Ave. have not been submitted; property ownership & PE Certification forms need to be provided

12/18/98 Misc. Corres. received 12/21/98 (prepared by Delta)  
- requesting an extension until 5/1/99 to complete the HAA  
- PE Cert. was also included

1/28/99 Agency Letter approving HAA extension until 5/1/99

4/19/99 Extension Request received 4/22/99 (prepared by Delta)  
- request an extension until 10/1/99 to complete HAA

4/28/99 Agency Letter stating HAA extension is approved until 10/1/99

4/21/99 Property Ownership Form received 5/3/99

9/2/99 Extension Request received 9/10/99 (prepared by Delta)  
- requesting an additional 120 days to complete HAA

12/3/99 Extension Request received 12/8/99 (prepared by Delta)  
- requesting an additional 120 days to complete HAA

12/17/99 Agency Letter approving HAA extension until 4/1/00

1/11/00 PE Cert. Form received 1/12/00 (prepared by Delta) --- correct form

3/24/00 Extension Request received 3/28/00 (prepared by Delta)  
- requesting an additional 120 days to complete HAA

3/28/00 Agency Letter approving HAA extension until 7/20/00

RELEASABLE

APR 16 2001

REVIEWER MM

6/23/00 *Extension Request* received 7/5/00 (prepared by Delta)  
- requesting an additional 240 days to complete HAA

8/10/00 *Agency Letter* approving HAA extension until 2/15/01

12/19/00 *Amended Property Ownership Form* received 12/20/00

2/7/01 *Extension Request* received 2/9/01 (prepared by Delta)  
- requesting an additional 180 days to complete HAA

2/9/01 *Agency Letter* stating HAA extension is approved until 10/1/01

1/16/01 *HAA with the Village of Oak Park* received 2/15/01

2/15/01 *Closure Request* received 2/16/01 (prepared by Delta)  
- fully executed HAA was forwarded to the Agency; amended LPC 568 was submitted on 12/19/00; Agency approved format for PE Cert. was sent on 1/11/00  
- request a NFR letter be issued for this site

4/9/01 *Agency Memo* approving the HAA for use as an institutional control addressing soil & GW

**PM Recommendation/Comments:** Closure approved -- NFR to be issued with ICs to include an on-site GW use restriction & HAA for Lake St. & Euclid Ave. Class II GW objs. – Tier 2 soil & GW

**Response due:**



CO JB

NFK received



ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

1721 NORTH GRAND AVENUE EAST, P.O. BOX 19276, SPRINGFIELD, ILLINOIS 62791-9276

THOMAS V. SKINNER, DIRECTOR

217/782-6762

CERTIFIED MAIL

APR 16 2001

Ullc 0131 8dlc

Amoco Oil Company  
Attention: David Piotrowski  
28100 Torch Parkway, 3-S  
Warrenville, Illinois 60555

RECEIVED

APR 13 2001

Delta Environmental Consultants, Inc.

Re: I.P.C #0312255057 -- Cook County  
Oak Park/Amoco Oil Co. #5379  
708 West Lake St.  
LUST Incident No. 902418  
LUST Technical File

Dear Mr. Piotrowski:

The Illinois Environmental Protection Agency ("Illinois EPA") has reviewed the Closure Report submitted for the above-referenced incident. This information is dated September 24, 1997; was received by the Illinois EPA September 26, 1997; and was prepared by Delta Environmental Consultants, Inc. Citations in this letter are from the Environmental Protection Act ("Act") and 35 Illinois Administrative Code ("35 IAC").

The Corrective Action Completion Report and the Professional Engineer Certification submitted pursuant to 35 IAC Part 731 indicate remediation has been successfully completed.

Based upon the certification by Debra Hagerty, a Registered Professional Engineer of Illinois, and based upon other information in the Illinois EPA's possession, your request for a no further remediation determination is granted under the conditions and terms specified in this letter.

Issuance of this No Further Remediation Letter ("Letter"), based on the certification of the Registered Professional Engineer, signifies that: (1) all statutory and regulatory corrective action requirements applicable to the occurrence have been complied with; (2) all corrective action concerning the occurrence has been completed; and (3) no further remediation concerning the occurrence is necessary for the protection of human health, safety and the environment. This Letter shall apply in favor of the following persons:

1. Amoco Oil Company;
2. The owner and operator of the UST(s);

GEORGE H. RYAN, GOVERNOR

Page 2

3. Any parent corporation or subsidiary of the owner or operator of the UST(s);
4. Any co-owner or co-operator, either by joint-tenancy, right of survivorship, or any other party sharing a legal relationship with the owner or operator to whom the letter is issued;
5. Any holder of a beneficial interest of a land trust or inter vivos trust, whether revocable or irrevocable;
6. Any mortgagee or trustee of a deed of trust of the owner of the site or any assignee, transferee, or any successor-in-interest of the owner of the site;
7. Any successor-in-interest of such owner or operator;
8. Any transferee of such owner or operator whether the transfer was by sale, bankruptcy proceeding, partition, dissolution of marriage, settlement or adjudication of any civil action, charitable gift, or bequest; or
9. Any heir or devisee of such owner or operator.

This Letter, and all attachments, including but not limited to the Leaking Underground Storage Tank Environmental Notice, must be filed within 45 days of its receipt as a single instrument with the Office of the Recorder or Registrar of Titles in the County where the above-referenced site is located. This Letter shall not be effective until officially recorded by the Office of the Recorder or Registrar of Titles of the applicable County in accordance with Illinois law so it forms a permanent part of the chain of title for the above-referenced property. Within 30 days of this Letter being recorded, a certified copy of this Letter, as recorded, shall be obtained and submitted to the Illinois EPA. For recording purposes, it is recommended that the Leaking Underground Storage Tank Environmental Notice of this Letter be the first page of the instrument filed.

#### CONDITIONS AND TERMS OF APPROVAL

##### LEVEL OF REMEDIATION AND LAND USE LIMITATIONS

1. The remediation objectives for the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, were established in accordance with the requirements of the Tiered Approach to Corrective Action Objectives (35 IAC Part 742) rules.
2. As a result of the release from the underground storage tank(s) associated with the above-referenced incident, the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this Letter, shall not be used in a manner inconsistent with the following land use limitation: The groundwater under the site shall not be used as a potable water supply. It has been demonstrated that the groundwater under the site meets Class II (General Resource) groundwater criteria, rather than Class I (Potable Resource) groundwater. Groundwater classifications are defined at 35 IAC Part 620, Subpart B.

Page 3

3. The land use limitation specified in this Letter may be revised if:
- Further investigation or remedial action has been conducted that documents the attainment of objectives appropriate for the new land use; and
  - A new Letter is obtained and recorded in accordance with Title XVII of the Act and regulations adopted thereunder.

PREVENTIVE, ENGINEERING, AND INSTITUTIONAL CONTROLS

4. Preventive: The groundwater under the site described in the attached Leaking Underground Storage Tank Environmental Notice of the Letter shall not be used as a potable supply of water. No person shall construct, install, maintain or utilize a potable water supply well. In accordance with Section 3.65 of the Act, "potable" means generally fit for human consumption in accordance with accepted water supply principles and practices.

Engineering: None.

Institutional: This Letter shall be recorded as a permanent part of the chain of title for the above-referenced site, more particularly described in the attached Leaking Underground Storage Tank Environmental Notice of this letter.

The Village of Oak Park agrees, through the use of a Highway Authority Agreement, to allow contaminated groundwater or soils to remain beneath its highway right-of-way adjacent to the site located at 708 West Lake Street, Oak Park. Specifically, as shown on the attached map, contamination will remain in the right-of-way for Lake Street and Euclid Avenue as indicated in the Highway Authority Agreement. The Highway Authority agrees (a) to prohibit the use of groundwater under the highway right-of-way that is contaminated above residential Tier 1 remediation objectives from the release as a potable or other domestic supply of water, and (b) to limit access to soil contamination under the highway right-of-way that is contaminated above residential Tier 1 remediation objectives. A copy of the Highway Authority Agreements can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to the Bureau of Land, FOIA Unit as detailed elsewhere in this letter. Questions regarding the Highway Authority Agreement should be directed to the Director of Public Works at 1 Village Hall Plaza, Oak Park, Illinois 60302.

5. Failure to establish, operate, and maintain controls in full compliance with the Act, applicable regulations, and the approved corrective action plan may result in voidance of this Letter.

Page 4

OTHER TERMS

6. Any contaminated soil or groundwater removed, or excavated from, or disturbed at the above-referenced site, more particularly described in the Leaking Underground Storage Tank Environmental Notice of this Letter, must be handled in accordance with all applicable laws and regulations.
7. Further information regarding the above-referenced site can be obtained through a written request under the Freedom of Information Act (5 ILCS 140) to:

Illinois Environmental Protection Agency  
Attention: Freedom of Information Act Officer  
Bureau of Land - #24  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, Illinois 62794-9276

8. Should the Illinois EPA seek to void this Letter, the Illinois EPA shall provide notice to the owner or operator of the leaking underground storage tank(s) associated with the above referenced incident and the current title holder of the real estate on which the tanks were located, at their last known addresses. The notice shall specify the cause for the voidance, explain the provisions for appeal, and describe the facts in support of the voidance. Specific acts or omissions that may result in the voidance of this Letter include, but shall not be limited to:
  - a) Any violation of institutional controls or industrial/commercial land use restrictions;
  - b) The failure to operate and maintain preventive or engineering controls or to comply with any applicable groundwater monitoring plan;
  - c) The disturbance or removal of contamination that has been left in place in accordance with the Corrective Action Plan or Completion Report;
  - d) The failure to comply with the recording requirements for the Letter;
  - e) Obtaining the Letter by fraud or misrepresentation; or
  - f) Subsequent discovery of contaminants, not identified as part of the investigative or remedial activities upon which the issuance of the Letter was based, that pose a threat to human health or the environment.

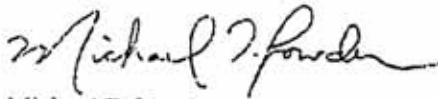
Submit the certified copy of this letter, as recorded, to.

Page 5

Illinois Environmental Protection Agency  
Bureau of Land - #24  
LUST Section  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, Illinois 62794-9276

If you have any questions or need further assistance, please contact the Illinois EPA project manager, Melinda Friedel, at 217/782-6762.

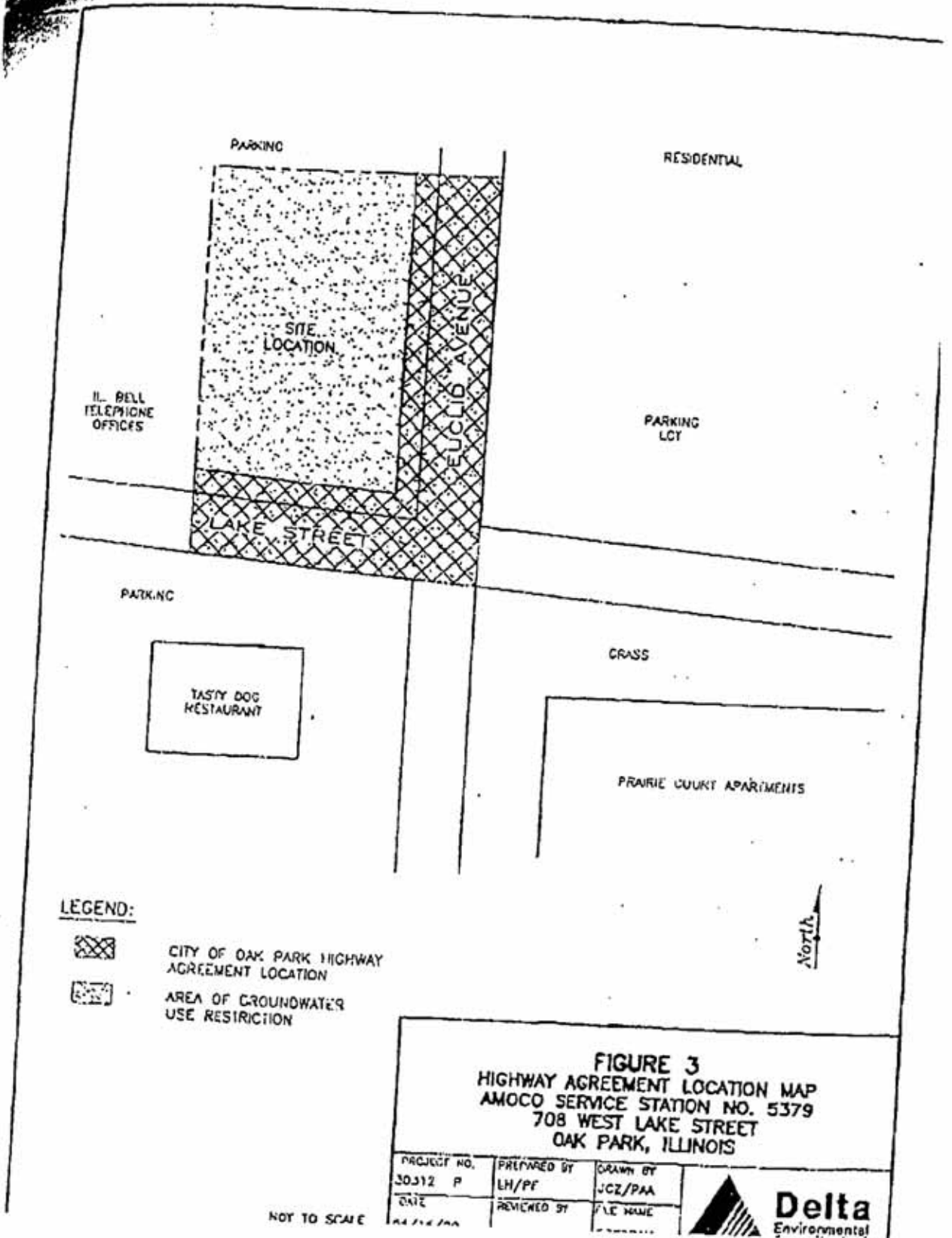
Sincerely,



Michael T. Lowder  
Unit Manager  
Leaking Underground Storage Tank Section  
Division of Remediation Management  
Bureau of Land

Attachments: Leaking Underground Storage Tank Environmental Notice  
Site Base Map

cc: Delta Environmental  
Division File





## ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

1021 NORTH GRAND AVENUE EAST, P.O. BOX 19276, SPRINGFIELD, ILLINOIS 62794-0276

THOMAS V. SKINNER, DIRECTOR

### RECORDING REQUIREMENTS FOR NO FURTHER REMEDIATION LETTERS

#### Introduction

The Illinois EPA's Bureau of Land (BOL) issues a No Further Remediation (NFR) Letter at the completion of site remediation activities under the LUST Program and the SRP. The letter signifies that 1) the person conducting remediation has satisfied the respective BOL laws and regulations, and 2) that no further remediation is necessary to protect human health and the environment for the property described in the letter, so long as the site is used in accordance with the terms of the NFR letter.

#### Significance

When properly recorded, the NFR Letter holds legal significance for all applicable parties outlined in the Illinois Environmental Protection Act for the program in question. (See 415 ILCS 5/57.10(d) and 58.10(d)). However, if not properly recorded, the NFR Letter holds no legal significance for anyone. Furthermore, if not properly recorded, the Illinois EPA will take steps to void the NFR letter in accordance with the regulations pertaining to the program under which the remediation was performed.

#### Duty to Record

The duty to record the NFR Letter is *mandatory*. You *must* submit the letter and environmental notice to the Office of the Recorder or the Registrar of Titles of the county where the site is located *within 45 days after receipt of the letter*. You must record both the NFR Letter and the Environmental Notice. Both must be recorded in accordance with Illinois law so that it forms a permanent part of the chain of title to ensure current and future users of the property will be informed of the conditions of the institutional controls. A certified copy of the letter and environmental notice as recorded must be sent to the Illinois EPA. Failure to record the NFR Letter and environmental notice in accordance with the regulations will make the letter voidable.

#### For More Information

Please refer to Tiered Approach to Corrective Action Objectives (TACO) Fact Sheet 3 available from the Illinois EPA by calling 1-888-299-9533 or by accessing it on our Agency's website directly at <http://www.epa.state.il.us/land/taco/3-no-further-remediation-letters.html>.

GEORGE H. RYAN, GOVERNOR

0312255057-000  
Amoco Oil Co. #5379  
Just Ted

**JUNG & ASSOCIATES, P.C.**

33 North Dearborn, Suite 1515  
Chicago, Illinois 60602

Writer's Direct Dial (312) 252.0103  
Fax (312) 252.0109

**VIA Federal Express**

Mr. Steve Putrich  
Illinois Environmental Protection Agency  
Leaking Underground Storage Tank Section  
Bureau of Land  
1021 N. Grand Avenue East  
Springfield, Illinois 62794

From: Jody Jung

Date: February 14, 2001

Re: **LPC # 0312255057 - Cook County**  
**Oak Park /Amoco SS #5379**  
**708 West Lake**  
**LUST Incident No.902418**  
**HIGHWAY AUTHORITY AGREEMENT**

**RECEIVED**

FEB 15 2001

**IEPA/BOL**

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Attached please find two (2) copies of the fully executed Oak Park Highway Authority Agreement for the above referenced site.

Thank you.

cc: Dave Piotrowski, AMES  
Todd Gift, Delta Environmental Consultants, Inc.  
File

**RELEASABLE**

APR 16 2001

**REVIEWER MM**



TIERED APPROACH TO CORRECTIVE-ACTION OBJECTIVES AGREEMENT

This Agreement is entered into this 16th day of January, 2001 pursuant to 35 Ill. Admin. Code Section 742.1020 and by and between Amoco Oil Company ("Amoco") as owner or operator of underground storage tank(s) ("Owner/Operator") and Village of Oak Park, Illinois ("Village"), as follows:

1. This Agreement is not binding upon the Village until it is executed by the undersigned representative of the Village and prior to execution, this Agreement constitutes an offer by Owner/Operator.

2. Owner/Operator stipulates:

a. Owner/Operator is pursuing a corrective action of a Site and of the right-of-way adjacent to the boundary of the Site located at 708 West Lake Street, Oak Park, Illinois (the "Site").

b. Attached as Exhibit A is a site map which shows the area of estimated contaminant impacted soil and groundwater at the time of this Agreement in the right-of-way above Tier 1 residential levels under 35 Ill. Admin. Code Part 742. Also attached as Exhibit A is a table showing the concentration of contaminants of concern, hereafter "Contaminants," in the soil and groundwater within the area described in Exhibit A and which shows the applicable Tier 1 soil remediation objectives for residential property and Tier 1 objectives for groundwater of the Illinois Pollution Control Board ("IPCB") which are exceeded. The right-of-way, and only the right-of-way, as described in Exhibit B, hereinafter the "Right-of-Way," adjacent to the Site is subject to this Agreement. As the drawings in the Exhibits are not plats, the boundary of the Right-of-Way in the Exhibits may be an approximation of the actual Right-of-Way lines. The Right-of-Way is impractical to sample for Contaminants, however, the parties believe that the area of the

Right-of-way is adequate to encompass the soil and the groundwater within Right-of-Way possibly impacted with Contaminants from a release at the Site.

c. The Illinois Emergency Management Agency has assigned incident number 902418 to this release at the Site.

d. Owner/Operator intends to request risk-based, site specific soil and/or groundwater remediation objectives from Illinois Environmental Protection Agency ("IEPA") under 35 Ill. Admin. Code Part 742.

e. Under these rules, use of risk-based, site specific remediation objectives in the Right-of-Way may require the use of a Highway Authority Agreement as defined in 35 Ill. Admin. Code Section 742.1020.

3. The Village stipulates:

The Village holds a fee simple interest or a dedication for highway purposes in the Right-of-Way, or the Right-of-Way is a platted street, and the Village has jurisdiction of the Right-of-Way. As such, the Village exercises sole control over the use of groundwater beneath the Right-of-Way and over access to the soil beneath the Right-of-Way because a permit is required for said access.

4. The parties stipulate that:

a. Under 35 Ill. Admin. Code Section 742.1020, this Agreement is intended to be an acceptable "Highway Authority Agreement" to IEPA, as the Village is willing to agree that it will not allow the use of groundwater under the highway Right-of-Way as a potable or other domestic supply of water and that it will limit access as described herein to soil under the highway Right-of-Way that is contaminated from the release at levels above residential Tier 1 remediation objectives.

b. The IEPA must review and approve this Agreement, and this Agreement shall be referenced in the IEPA's "No Further Remediation" letter.

c. This Agreement shall be null and void should the IEPA not approve it or should it not be referenced in the "No Further Remediation" letter.

5. The Village promises the IEPA and the Owner/Operator that it will prohibit the use of groundwater that is contaminated from the release at the Site at levels above Tier 1 remediation objectives beneath its Right-of-Way as a potable or other domestic supply of water and will limit access to soil as described herein under the Right-of-Way that is contaminated from the release at the Site at levels above Tier 1 remediation objectives. As the pavement in the Right-of-Way may be considered an engineered barrier, the Owner/Operator agrees to reimburse the Village for maintenance activities requested by Owner/Operator in writing in order to maintain it as a barrier. Except for ordinary maintenance consistent with that performed by the Village on other Village highways, the Village does not agree to perform maintenance of the Right-of-Way, nor does it agree that the Right-of-Way will always remain a Village highway or that it will maintain the Right-of-Way as an engineered barrier.

6. Provided that the Village provides Owner/Operator with notice within a reasonable period of time after receiving a claim, Owner/Operator agrees, at its sole cost and expense, to indemnify and hold harmless and defend the Village and other highway authorities, if any, maintaining the highway Right-of Way by an agreement with the Village and other entities holding highway permits and the Village's former, current and future officials, trustees, agents, contractors, and employees for and from any and all claims, actions, omissions, losses, injuries, lawsuits, counterclaims, obligations, judgments, awards, demands, liens, reasonable costs, reasonable expenses, reasonable attorneys' fees and liability for damages of any kind and causes of action of any kind and nature, whether known or unknown at this time, whether present or future or contingent, that are brought or filed against the Village, said highway authorities and permit entities, and/or the Village's former, current and future officials, trustees, agents,

contractors, and employees, by any person or entity arising out of, relating to, connected with, or in any way associated with the release or alleged release of Contaminants from the Site by the Owner/Operator. In the event that any such claim, action, cause of action or lawsuit is brought or filed, the Village, and its former, current and future officials, trustees, employees, contractors, agents, and said highway authorities and permit entities sued thereunder, shall have the right to determine the attorney(s) of its, his, hers or their choice to represent and defend their interest in any such legal or administrative action at reasonable attorney rates all at the Owner's/Operator's expense pursuant to this Agreement.

7. As an additional consideration, Owner/Operator agrees to reimburse the Village for the reasonable costs it has incurred in protecting human health and the environment, including, but not limited to, identifying, investigating, handling, storing and disposing of contaminated groundwater in the Right-of-Way as a result of the release of Contaminants at this Site by the Owner/Operator. The Village has documented those costs for Owner. Those costs amount to \$\_\_Not Applicable\_\_\_\_\_. A cashier's check made payable to the "Village of Oak Park" shall be tendered to the Village at the time Owner/Operator furnishes a signed Agreement to the Village for its signature. That check will be deposited when this Agreement is signed by all necessary parties. In addition, the Owner/Operator acknowledges that it has requested the Village to enter into this agreement which is primarily for the benefit of the Owner Operator and that the Village has had to expend funds to have its environmental consultant (Tetra Tech EM, Inc. and outside counsel review the related documentation and to review and revise this Agreement. Therefore, in addition to the payment of fees, expenses and cost as set forth in other sections of this Agreement, the Owner/Operator agrees to pay the Village within thirty(30) days of the effective date of this Agreement actual fees, expenses and cost the Village has incurred to date, limited to a total amount not to exceed Ten

Thousand Dollars (\$10,000), based on the actual invoices for professional services it has received from Tetra Tech EM, Inc. and Klein, Thorpe and Jenkins, Ltd. in regard to this Agreement. The Village will provide the Owner/Operator with true and correct copies of the aforementioned invoice at the time it delivers to the Owner/Operator a fully executed original of this Agreement.

8. This Agreement shall be binding upon all successors in interest to the Owner/Operator and to the Village. A successor in interest of the Village would include a highway authority to which the Village would transfer jurisdiction of the highway.

9. Violation of the terms of this Agreement by Owner/Operator, or their successors in interest, may be grounds for voidance of this Agreement as a Highway Authority Agreement. Violation of the terms of this Agreement by the Village will not void this Agreement, unless the IEPA has determined that the violation is grounds for voiding this Agreement as a Highway Authority Agreement and the Village has not cured the violation within such time as IEPA has granted to cure the violation.

10. This Agreement shall continue in effect from the date of this Agreement until the Right-of-Way is demonstrated to be suitable for unrestricted use and there is no longer a need for this Agreement as a Highway Authority Agreement, and the IEPA has, upon written request to the IEPA by the Owner/Operator and notice to the Village, amended the notice in the chain of title of the Site to reflect unencumbered future use of that highway Right-of-Way.

11. This Agreement is in settlement of claims the Village may have arising from the release of Contaminants into the Right-of-Way associated with incident 902418.

12. This Agreement does not limit the Village's ability to construct, reconstruct, improve, repair, maintain and operate (collectively "Work") a highway Right-of-Way upon its property or to allow others to use the highway Right-of-Way by permit. To the extent necessary for its Work, the Village reserves the right and the right of those using its

property under permit to remove contaminated soil and/or groundwater above Tier 1 residential remediation objectives from its Right-of-Way and to dispose of them as they deem appropriate not inconsistent with applicable environmental regulations so as to avoid causing a further release of the Contaminants and to protect human health and the environment.

Prior to taking any such action, the Village will first give Owner/Operator reasonable written notice, unless there is an immediate threat to the health or safety to any individual or to the public (for example, including but not limited to a sewer or water main break), that it intends to perform Work in the Right-of-Way which may involve site investigation, removing and disposing of contaminated soil or groundwater to the extent necessary for its Work. During the notice period, which may be extended by agreement of the parties, the Village and Owner/Operator will engage in a good faith, collaborative process to arrive at a consensus approach to managing the impacted soil or groundwater in the Right-of-Way in an attempt to reconcile Owner/Operator's preference for performing as much of this work as possible. Work performed by Owner/Operator would be performed under a permit from the Village and Owner/Operator shall comply with all federal, state and local laws and regulations while performing work on the Village property and Right-of-Way. The final decision for management will be in the discretion of the Village.

Failure to give notice is not a violation of this Agreement. The removal or disposal shall be based upon the site investigation (which may be modified by field conditions during excavation), which Owner/Operator may review or may perform, at no cost to the Village, if requested to do so by the Village. If practicable, as determined by the Village, the Village may request Owner/Operator to remove and dispose of the contaminated soil or groundwater necessary for the Village's Work in advance of that Work.

The Owner/Operator shall reimburse the reasonable costs incurred by the Village to perform a site investigation of the Right-of-Way and to monitor the removal, to transport and to dispose of any contaminated soil and/or groundwater from the Right-of-Way; provided, however, that if Owner/Operator has not been given notice and an opportunity to engage in the consensus process and there was no immediate threat to health or safety, reimbursement for those costs shall be limited to actual costs not to exceed \$20,000.00. There is a rebuttable presumption that the Contaminants found in the highway Right-of-Way arose from the release of Contaminants from the Site. Should Owner/Operator not reimburse the reasonable costs under the conditions set forth herein, this Agreement shall be null and void, at the Village's option, upon written notice to Owner/Operator by the Village that those costs have not been reimbursed. Owner/Operator may cure that problem within twenty (20) working days by making payment.

13. Written notice required by this Agreement shall be mailed to the following: if to Owner/Operator: Amoco Oil Company, Attn: David A. Piotrowski, 28100 Torch Parkway, Suite 300, Warrenville, Illinois, 60555, and if to Village: Director of Public Works, 1 Village Hall Plaza, Oak Park, Illinois 60302 and Dennis Walsh, Esq., Klein, Thorpe and Jenkins, Ltd., 20 North Wacker Drive, Suite 1660, Chicago, Illinois 60606..

14. The Village's sole responsibility under this Agreement with respect to others using the highway Right-of-Way under permit from the Village is to include the following, or similar language, in the future standard permit provisions and to notify its current permit holders on its mailing list of the following:

As a condition of this permit, the permittee shall request the Village to identify sites in the Right-of-Way where access to contaminated soil or groundwater is governed by Tiered Approach to Corrective-Action Objectives ("TACO") Agreements. The

permittee shall take measures before, during and after any access to these sites to protect worker safety and human health and the environment. Excavated, contaminated soil should be managed off-site in accordance with all environmental laws.

Provided that the Village provides Owner/Operator with notice within a reasonable time period after receiving a claim, Owner/Operator hereby releases the Village from liability for breach of this Agreement by others under permit and indemnifies the Village against claims that may arise from others under permit causing a breach of this Agreement.

Owner/Operator also agrees that its personnel, if any, at the Site who are aware of this Agreement will notify anyone they know is excavating in the Right-of-Way about this Agreement.

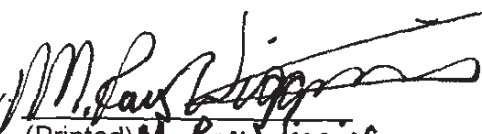
15. Should the Village breach this Agreement, Owner/Operator's sole remedy is for an action for damages. Any and all claims for damages against the Village, its agents, contractors, employees or its successors in interest arising at any time for a breach of paragraph 5 of this Agreement are limited to an aggregate maximum of \$10,000.00. No other breach by the Village, its agents, contractors, employees and its successors in interest of a provision of this Agreement is actionable in either law or equity by Owner/Operator against the Village and Owner/Operator hereby releases the Village, its agents, contractors, employees and its successors in interest for any cause of action it may have against them, other than as allowed in this paragraph, arising under this Agreement or environmental laws, regulations or common law governing the contaminated soil or groundwater in the highway Right-of-Way. Should the Village convey, vacate or transfer jurisdiction of that highway Right-of-Way, Owner/Operator may pursue an action under this Agreement against the successors in interest, other than a State agency, in a court of law.



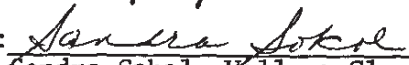
16. This Agreement is entered into by the Village in recognition of laws passed by the General Assembly and regulations adopted by the Pollution Control Board which encourage a tiered-approach to remediating environmental contamination. This Agreement is entered into by the Village in the spirit of those laws and under its rights and obligations as a highway authority. Should any provisions of this Agreement be struck down as beyond the authority of the Village, this Agreement shall be null and void.

IN WITNESS WHEREOF, the Village has caused this Agreement to be signed by its \_\_\_\_\_, a duly authorized representative, and be binding upon it, its successors and assigns.


Village of Oak Park, Illinois

BY:   
(Printed) M. Ray Wiggins  
Its: Assistant Village Manager

DATE: 1/14/01

ATTEST:   
Sandra Sokol, Village Clerk

IN WITNESS WHEREOF, Owner/Operator, Amoco Oil Company, has caused this Agreement to be signed by its duly authorized representative, and be binding upon it, its successors and assigns.

BY:   
ITS Environmental Business Manager

DATE: 11-28-00



1717 Park Street  
Suite 150  
Naperville, Illinois 60563-8471  
630/416-9600  
FAX: 630/416-0725

December 19, 2000

FED EX NO. 306 4890 446

Ms. Melinda K. Friedel  
Illinois Environmental Protection Agency  
Bureau of Land  
Division of Remediation Management  
Leaking Underground Storage Tank Section  
1021 North Grand Avenue East, P.O. Box 19276

**RE: LPC Form 568 – LUST Form  
LPC #0312255057 – Cook County  
Oak Park /Amoco SS #5379  
708 West Lake Street  
LUST Incident No. 902418  
LUST TECHNICAL REPORT FILE  
Delta Project No. 30312**

**RECEIVED**

**DEC 20 2000**

**IEPA/BOL**

Dear Ms. Friedel:

Delta Environmental Consultants, Inc. (Delta), on behalf of BP-Amoco, is submitting a completed, amended Agency form LPC 568 to the Illinois Environmental Protection Agency (Agency) for the above referenced facility.

Please note that the site's tax identification number as submitted on the original form was incorrect. In addition, the above referenced facility was sold in October 2000. The completed form provides the site's correct tax identification number and the current property owner's approval of the institutional controls and land use restrictions proposed for the site. A legal description of the site is provided as an attachment.

Should you have any questions or require additional information, please feel free to call me at this office at (630) 717-4048.

Sincerely,

**Delta Environmental Consultants, Inc.**

Jane E. Bohn  
Project Manager

Cc: Dave Piotrowski, BP Amoco  
Mr. Phillip Wong (property owner)  
Project File

**RELEASABLE**

**JAN 05 2001**

**REVIEWER MD**

The Agency is authorized to receive this information under section 4 of the Illinois Environmental Protection Act. Any person who knowingly makes a false material statement or representation in any label, manifest, record, permit, or license, or other document filed, maintained or used for the purpose of compliance with Title XVI commits a Class 4 felony. Any second or subsequent offense after conviction hereunder is a Class 3 felony (415 ILCS 559.17).

### Illinois Environmental Protection Agency Leaking Underground Storage Tank Program

**A. Site Identification**

IEMA Incident # (6 digit): 902418 IEPA Generator # (10 digit): 0312255057

Site Name: Amoco Service Station #5379

Site Address (Not a P.O. Box): 708 West Lake Street

City: Oak Park County: Cook

RECEIVED

**B. Identification of Property Owner**

Indicate which statement below is applicable to this site:

- The property owner is the same as the Underground Storage Tank owner
- The property owner is not the same as the Underground Storage Tank owner

DEC 20 2000

IEPA/BOL

**C. Property Ownership Declaration**

The property owner must approve of all engineered barriers, institutional controls and other use restrictions, if any, proposed for the site. These controls and restrictions will be identified in the No Further Remediation (NFR) letter and must be attached to the property title. Failure to maintain these controls and restrictions is grounds for voidance of the NFR letter. This form may be used to notify the Agency of such approval.

I hereby approve  / disapprove  of all engineered barriers, institutional controls and other use restrictions, if any, that are proposed for the above referenced site and that will be identified in the NFR letter. I agree to have the NFR letter recorded in the chain of title for the site.

Name of Property Owner: Chitown Development, Ltd.

Address: 9933 N. Lawler, Skokie, IL 60077

Phone: (847) 674-4321

Signature: [Signature]

Date: 10/16/00

**D. Site Description**

Real Estate Tax/Parcel Index Number: 18-09-223-029 16-07-218-026

Legal description of Site (may be provided on a separate sheet): See attached sheet

**EXHIBIT A**

THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST ½ OF THE NORTHEAST ¼ OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS



January 11, 2000

740 Springer Drive  
Lombard, Illinois 60148-6411  
U.S.A.  
630/932-1937  
Fax: 630/932-1940

FEDERAL EXPRESS: 270 5364 401

Ms. Melinda Friedel  
Illinois Environmental Protection Agency  
Bureau of Land  
Division of Remediation Management  
Leaking Underground Storage Tank Section  
1021 North Grand Avenue East, P.O. Box 19276

**RE: Professional Engineer Certification**  
**LPC #0312255057 – Cook County**  
**Oak Park / Amoco Service Station No. 5379**  
**708 West Lake Street**  
**LUST Incident No. 902418**  
**LUST TECHNICAL REPORT FILE**  
**Delta Project No. 30312**

Dear Ms. Friedel:

Delta Environmental Consultants, Inc. (Delta) is submitting an Agency approved Professional Engineer Certification for the above-mentioned site. The signed LUST form was forwarded to the Agency on April 27, 1999, and the Highway Agreement with the City of Oak Park will be forwarded to the Agency upon receipt of the fully executed agreement.

Should you require additional information, please feel free to contact Todd Gift of this office at (630) 705-7903.

Sincerely,

Christie A. Gipe  
Project Geologist

cc: Dave Piotrowski, BP Amoco  
Project File

Enclosure

RECEIVED  
JAN 12 2000  
IEPABOL



January 11, 2000

740 Springer Drive  
Lombard, Illinois 60148-6411  
U.S.A.  
630/932-1937  
Fax: 630/932-1940

FEDERAL EXPRESS: 270 5364 401

Ms. Melinda Friedel  
Illinois Environmental Protection Agency  
Bureau of Land  
Division of Remediation Management  
Leaking Underground Storage Tank Section  
1021 North Grand Avenue East, P.O. Box 19276

**RE: Professional Engineer Certification**  
**LPC #0312255057 – Cook County**  
**Oak Park / Amoco Service Station No. 5379**  
**708 West Lake Street**  
**LUST Incident No. 902418**  
**LUST TECHNICAL REPORT FILE**  
**Delta Project No. 30312**

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Sincerely,

Christie A. Gipe  
Project Geologist

cc: Dave Piotrowski, BP Amoco  
Project File

Enclosure

RECEIVED  
JAN 12 2000  
IEPABOL

The Agency is authorized to require this information under Section 4 and Title XVI of the Environmental Protection Act (415 ILCS 5/4, 5/57-57.17). Failure to disclose this information may result in a civil penalty of not to exceed \$50,000.00 for the violation and an additional civil penalty of not to exceed \$10,000.00 for each day during which the violation continues (415 ILCS 5/42). Any person who knowingly makes a false material statement or representation in any label, manifest, record, permit, or licenses, or other document filed, maintained or used for the purpose of compliance with Title XVI commits a Class 4 felony. Any second or subsequent offense after conviction hereunder is a Class 3 felony (415 ILCS 5/57.17). This form has been approved by the Forms Management Center.

## Illinois Environmental Protection Agency Leaking Underground Storage Tank Program Professional Engineer Certification

### A. Site Identification

IEMA Incident # (6 digit) 902418 IEPA LPC # (10 digit) 0312255057

Site Name: Amoco Service Station # 5379

Site Address (Not a P.O. Box): 708 W. Lake Street

City: Oak Park County: Cook Zip Code 60301

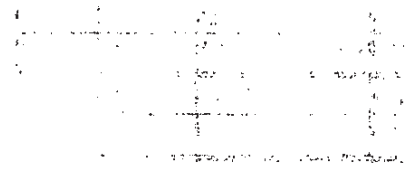
### B. Certification

The release from the Underground Storage Tank System(s) identified by the above referenced incident number at the above referenced site has been remediated in accordance with 35 Ill. Adm. Code, Part  731 or  732 and other applicable rules and regulations. The remedial activities are described in the Corrective Action Completion Report dated 7/18/98. The remediation has achieved the clean-up objectives set forth by the Agency in:

35 Ill. Adm. Code Part 742 X

Site Specific Cleanup Objectives approved by the Agency in the letter dated \_\_\_\_\_

Other (specify) \_\_\_\_\_



I certify under penalty of law that the Corrective Action Completion Report, supporting documents and all attachment were prepared under my direction or supervision or were reviewed by me. To the best of my knowledge and belief, the attached Corrective Action Completion Report, supporting documents and all attachments are true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of the fine and imprisonment for knowing violations.

### Professional Engineer

### P.E. Seal

Name: Debra Haggerty

Firm: ATC Associates, Inc.

Address: 2777 Finley Road, Unit 4  
Downers Grove, IL 60515

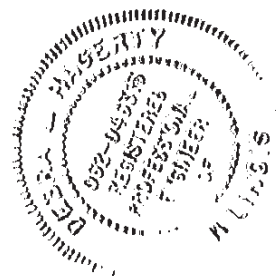
Phone: 630-916-7272

ILL Registration No.: 062-046313

License Expiration Date: 11-30-01

Signature: *Debra Haggerty*

Date: 1-6-00



IL 532 2289  
LPC 515 Rev. Dec-96

**RECEIVED**

**JAN 12 2000**

**IEPA/BOL**  
P:\PROJECTS\FORMS\PECERT.DOC

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Illinois Environmental Protection Agency  
**Leaking Underground Storage Tank Program**  
Professional Engineer Certification

**A. Site Identification**

IEMA Incident # (6 digit) 902418 IEPA LPC # (10 digit) 0312255057

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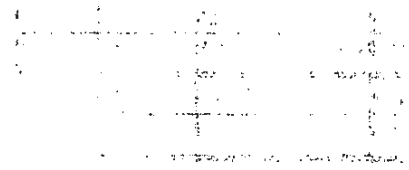
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35 Ill. Adm. Code Part 742 X

Site Specific Cleanup Objectives approved by the Agency in the letter dated \_\_\_\_\_

Other (specify) \_\_\_\_\_



I certify under penalty of law that the Corrective Action Completion Report, supporting documents and all attachment were prepared under my direction or supervision or were reviewed by me. To the best of my knowledge and belief, the attached Corrective Action Completion Report, supporting documents and all attachments are true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of the fine and imprisonment for knowing violations.

**Professional Engineer**

**P.E. Seal**

Name: Debra Haggerty

Firm: ATC Associates, Inc.

Address: 2777 Finley Road, Unit 4  
Downers Grove, IL 60515

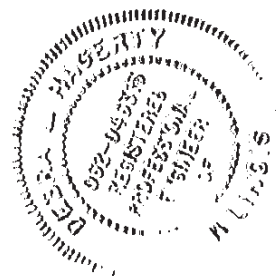
Phone: 630-916-7272

ILL Registration No.: 062-046313

License Expiration Date: 11-30-01

Signature: *Debra Haggerty*

Date: 1-6-00



IL 532 2289  
LPC 515 Rev. Dec-96

**RECEIVED**

**JAN 12 2000**

**IEPA/BOL**  
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July 8, 1998

740 Springer Drive  
Lombard, Illinois 60148-6411  
U.S.A.  
630/932-1937  
Fax: 630/932-1940

Illinois Environmental Protection Agency  
Bureau of Land  
Division of Remediation Management  
Leaking Underground Storage Tank Section  
2200 Churchill Road, P.O. Box 19276  
Springfield, Illinois 62794-9276

Attn: Mr. Eric Portz, Project Manager

RE: LPC # 0312255057 -- Cook County  
Oak Park/Amoco Station # 5379  
708 West Lake Street  
LUST Incident No. 90-2418  
**LUST TECHNICAL REPORT FILE**  
Delta Project No. 3031-206-P.0000

RECEIVED  
JUL 14 1998  
IEPA/BOL

Dear Mr. Portz:

Delta Environmental Consultants, Inc. (Delta) on behalf of Amoco Corporation (Amoco), is submitting this letter in response to the Illinois Environmental Protection Agency's (Agency's) correspondence dated November 10, 1997. The Agency's correspondence (Attachment A) denied Delta's request for incident closure at the above referenced facility based on: 1) the lack of definition of impacted soil and 2) the need for clarification on the source width used in calculations of equation R26. The following is a discussion of the resolutions to the Agency's concerns.

As discussed in the Closure Report submitted by Delta on October 18, 1996, a total of 35 soil samples have been collected and analyzed for benzene, toluene, ethylbenzene, and total xylenes (BTEX) from the subject site. An additional 3 soil samples were collected by Delta on May 1, 1998 during completion of soil borings GP-1 through GP-3 and analyzed for BTEX. The locations of these soil samples is illustrated on Figure 1 - Soil Assessment Map and Figure 2 - Post Excavation Soil Sample Location Map. Soil BTEX concentrations were compared to the Tier 1 soil remediation objectives. The results of this comparison indicate that 9 of the 38 total soil samples exceed the Tier 1 soil remediation objectives. In relation to the Agency's concern of a lack of definition of the extent of impacted soil to the east (IEPA letter dated November 10, 1997), soil sample GP-1, collected east of soil sample B-1, delineates soil impact to the site property. The soil analytical data are summarized on Table 1 - Soil Analytical Results. The estimated extent of Tier 1 exceedences are shown in Figure 1 - Soil Assessment Map.

#### Groundwater Ingestion Exposure Route

Groundwater at the above referenced site has been monitored from September 1991 to October 1996. The analytical results from these sampling events are summarized in Table 2 - Groundwater Analytical Results. Groundwater samples were last collected from the on site monitoring wells (OW-1 through OW-7) in October 1996 and analyzed for BTEX using USEPA Method 602/8020. The results of the October 1996 sampling event are presented in Figure 3 - Groundwater Assessment Map. Groundwater BTEX

concentrations were compared to the Tier 1 remediation objectives for Class II groundwater. The most recent groundwater analytical data indicate that Tier 1 groundwater remediation objectives have been exceeded in the vicinity of monitoring wells OW-2, OW-3, and OW-5. Based on current and historic groundwater analytical data, the extent of Tier 1 exceedences appears to be limited to the southwestern half of the site.

In accordance with Section 742.805(a)(3)(A), Equation R26 was used to demonstrate that the concentration of benzene in groundwater will meet the Tier 1 remediation objective for Class II groundwater at the point of human exposure, where the point of human exposure was moved by means of a proposed groundwater use restriction in accordance with Section 742.1010 and 724.1020. The proposed area to be subjected to the groundwater use restrictions is presented in Figure 4 - Proposed Groundwater Use Restriction Map and will include a highway authority agreement for Lake Street and Euclid Avenue, in addition to a groundwater use restriction for the site property. Presumably, the reduction in dissolved benzene concentration between the source and the point of human exposure will be achieved by means of the natural attenuation processes of biodegradation, sorption, and dispersion.

Equation R26 was implemented in two ways: 1) To predict the extent of Tier 1 groundwater exceedences, and 2) to determine a Tier 2 groundwater remediation objective. In the first solution of Equation R26, the groundwater concentration at the observed points of exceedence and the Tier 1 groundwater remediation objective for Class II groundwater were used to predict the extent of Tier 1 groundwater remediation objective exceedences.

For both solutions, Equation R26 was solved using the following parameters:

Parameter	Value	Description
Source Area Concentration	BENZENE 0.341 mg/L (OW-2) 0.641 mg/L (OW-3) 0.820 mg/L (OW-5)  ETHYLBENZENE 1.800 mg/L (OW-5)	Concentrations in Exceedence of Tier I Cleanup Objectives
First Order Degradation Constant	0.0009/day (benzene) 0.003/day (ethylbenzene)	TACO default
Aquifer Hydraulic Conductivity	$2.6 \times 10^{-5}$ cm/sec	Field measured K value
Hydraulic Gradient	0.024	Based on groundwater elevation measurements in October 1996.* (OW-5 to OW-3)
Total Soil Porosity	0.38	TACO porosity value for clay
Source Width (Horizontal)	80 feet	Twice the distance from the former UST system to the nearest "non-detect" monitoring well (OW-7) in a direction perpendicular to groundwater flow (per IEPA Correspondence dated November 10, 1997)
Source Width (Vertical)	8 feet	Assumed, based upon the fact that gasoline constituents will concentrate near the top of the water table

**LUST Incident Number 90-2418**

The first solution of Equation R26 using the above parameters achieved the following results:

Result	Value
Tier 1 groundwater remediation objective for Class II groundwater at the point of human exposure	0.025 mg/l
Predicted distance from source at which groundwater concentrations will meet Tier 1 groundwater remediation objectives	BENZENE 18 feet - OW-2 23 feet - OW-3 25 feet - OW-5  ETHYLBENZENE 1 foot - OW-5

In the second solution of Equation R26, the minimum hydraulically down gradient distance to the point of human exposure and the Tier 1 groundwater remediation objective for Class II groundwater were used to calculate the Tier 2 groundwater remediation objective at the site property boundary. The second solution of Equation R26 using the above parameters achieved the following results:

Result	Value
Tier 1 groundwater remediation objective for Class II groundwater at the point of human exposure	BENZENE: 0.025 mg/l ETHYLBENZENE: 1.0 mg/L
Minimum hydraulically up gradient distance from the source to the point of human exposure	50 feet, based upon distance from the site boundary to the opposite right-of-way of Euclid Avenue
Tier 2 groundwater remediation objective	BENZENE - 11.70 mg/l ETHYLBENZENE - 468 mg/L

Based on the solution of R26, the predicted extent of Tier 1 groundwater remediation objective exceedences for BTEX appear to be limited to the site and the adjoining right-of-ways of Lake Street and Euclid Avenue. The predicted extent of Tier 1 groundwater exceedences for benzene and the extent of proposed groundwater use restrictions is illustrated on Figure 3.

**Soil Component of the Groundwater Ingestion Exposure Route**

Soil analytical data indicate that 8 of the 38 total soil samples from the site exceed the Tier 1 soil component of the groundwater ingestion exposure route remediation objective for benzene. In addition, soil sample OW-5 6'-7' exceeded the Tier 1 soil component of the groundwater ingestion exposure route remediation objectives for toluene and total xylenes. The soil analytical data and the estimated extent of Tier 1 exceedences are shown in Figure 1 - Soil Assessment Map and the soil analytical data are summarized in Table I.

Delta proposes for Agency approval the use of Tier 2 soil and groundwater remediation objectives for the above referenced site in accordance with Section 742.700. Also, Delta proposes moving the point of human exposure at the site by means of a proposed groundwater use restriction in accordance with Section 742.1010 and 724.1020. The proposed area to be subjected to the groundwater use restriction is presented in Figure 3 - Proposed Groundwater Use Restriction Map and will include highway authority agreements for Lake Street and Euclid Avenue. Presumably, the reduction in dissolved benzene concentration between the source and the point of human exposure will be achieved by means of the natural attenuation processes of biodegradation, sorption, and dispersion. Equation R26, the minimum distance (hydraulically) between the site and the point of human exposure, and the Tier 1 groundwater remediation objectives for Class II groundwater are used to calculate the Tier 2 groundwater remediation objectives for the site. Tier 2 soil

**LUST Incident Number 90-2418**

component of groundwater ingestion remediation objectives are then calculated using the Tier 2 groundwater remediation objectives.

Equation R26 was solved using the following parameters:

Parameter	Value	Description
Distance Along the Centerline of the Groundwater Plume Emanating from a Source	50 feet	Distance between the site and nearest down-gradient (hydraulically) point of human exposure (opposite right-of-way of Euclid Avenue)
First Order Degradation Constant	benzene 0.0009/day toluene 0.011/day total xylenes: 0.0019	TACO defaults
Aquifer Hydraulic Conductivity	$2.6 \times 10^{-5}$ cm/sec	Field measured K value
Hydraulic Gradient	0.024	Based on groundwater elevation measurements in October 1996 (OW-5 to OW-3).
Total Soil Porosity	0.38	TACO porosity value for clay.
Source Width (Horizontal)	105 feet	Width of extent of Tier 1 soil exceedences (GP-2 to OW-4)
Source Width (Vertical)	8 feet	Assumed, based upon the fact that gasoline constituents will concentrate near the top of the water table

The solution of Equation R26 using the above parameters achieved the following results:

Result	Value
Tier 1 groundwater remediation objectives for Class II groundwater at the point of human exposure	benzene 0.025 mg/L toluene 2.5 mg/L xylenes 10 mg/L
Tier 2 groundwater remediation objectives for the site	benzene 11.700 mg/L toluene 526 mg/L* xylenes 186 mg/L*

\* Indicates the chemical's solubility where the predicted source concentration exceeds chemical's solubility.

In accordance with Section 742.710(d)(2), Equation S17 was used to calculate the Tier 2 soil component of the groundwater ingestion exposure route remediation objectives.

LUST Incident Number 90-2418

Equation S17 was solved using the following parameters:

Parameter	Value	Description
Tier 2 groundwater remediation objectives	benzene 11.70 mg/L toluene 526 mg/L* xylenes 186 mg/L*	Calculated using Equation R26
Dilution Factor	20	Taco Default
Infiltration Rate	0.3 m/yr	TACO Default
Exposure Duration	70 years	TACO Default
Bulk Density	1.7 g/cm <sup>3</sup>	TACO value for clay
Source Width Parallel to Groundwater Flow	105 feet (32 meters)	Width of extent of Tier 1 soil exceedences (B-4 to SB-8)

\* Indicates the chemical's solubility where the predicted source concentration exceeded chemical's solubility.

The solution of Equation S17 using the above parameters achieved the following results:

Result	Value
Tier 1 groundwater remediation objectives for Class II groundwater at the point of human exposure	benzene 0.025 mg/L toluene 2.5 mg/L xylenes 10.0 mg/L
Tier 2 soil component of the groundwater ingestion exposure route remediation objectives	benzene 145 mg/kg <i>57.02</i> toluene 650 mg/kg** xylenes 410 mg/kg**

\*\* Indicates the chemical's soil saturation limit (C<sub>sat</sub>) where the predicted source concentration exceeded chemical's C<sub>sat</sub>.

A comparison of the available soil analytical data with the calculated soil remediation objectives indicates that soil concentrations of benzene, toluene, and total xylenes are below the site specific remediation objectives for the soil component of the groundwater ingestion exposure pathway.

In accordance with the suggestions in the Agency's November 10, 1997 correspondence, Delta has completed a Tier 2 soil and groundwater evaluation pursuant to 35 IAC 742. Upon the Agency's approval of the strategy to NFR for this site, Delta will complete the following:

- Record the NFR letter to the deed of the property specifying: a groundwater use restriction [742.1010] on the site property indicated on Figure 3.
- Pursue Highway Agreements [742.1020] for Lake Street and Euclid Avenue.

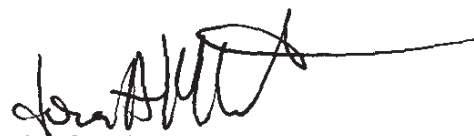
LUST Incident Number 90-2418

Therefore, Delta is requesting LUST Incident Number 90-2418 be closed and that no further remediation status be issued for Amoco Service Station No. 5379. Should you require additional information, please feel free to contact Kevin Kumrow or Greg Hoffman of this office at (630) 932-1937.

Sincerely,

**Delta Environmental Consultants, Inc.**

Kevin R. Kumrow  
Project Engineer



Jon Greetis  
Project Manager

**Attachments:**

Attachment A: IEPA Correspondence dated November 10, 1997  
Attachment B: Soil Boring Logs from the May 1, 1998 Sampling Event  
Attachment C: Laboratory Report from the May 1, 1998 sampling Event  
Attachment D: Equation R26 Groundwater Remediation Objective Calculation Spreadsheets  
Attachment E: Equation S17 Soil Remediation Objective Calculation Spreadsheets

Figure 1: Soil Assessment Map  
Figure 2: Post Excavation Soil Sample Location Map  
Figure 3: Groundwater Assessment Map  
Figure 4: Proposed Groundwater Use Restriction Map

Table 1: Soil Analytical Data  
Table 2: Groundwater Analytical Data

cc: Mr. Jon Greetis  
Mr. Lyle Bruce



0318255057-0001L  
Amoco Oil Co. #5379  
LUST TECK  
740 Springer Drive  
Lombard, IL 60148  
630/932-1937  
FAX: 630/932-1940

September 24, 1997

Illinois Environmental Protection Agency  
Leaking Underground Storage Tank Section  
Bureau of Land  
Division of Remediation Management  
2200 Churchill Road  
P.O. Box 19276  
Springfield, IL 62794-9276

Attn: Mr. Eric Portz

RE: Closure Report  
IEMA Incident No. 90-2418  
Amoco Station #5379  
708 West Lake Street  
Oak Park, Cook County, Illinois  
Delta Project No. 3031-206-P.0000

RECEIVED

SFP 26 1997

IEPA/BOL

Dear Mr. Portz:

Enclosed please find two (2) copies of the Title 16 equivalency/TACO closure report for the above referenced site. Based upon the information gathered as part of the assessment and evaluation of the site, Delta Environmental Consultants, Inc., on the behalf of Amoco Oil Company, Inc., recommends that this release incident associated with this site be closed and that no further remedial actions be required.

Sincerely,

  
Greg Hoffman  
Project Manager

Enclosures

cc: Lyle Bruce, Amoco Oil

SCREENED  
MM



**Illinois Environmental Protection Agency  
Leaking Underground Storage Tank Program  
Professional Engineer Certification**

**A. Site Identification**

IEMA Incident # (6 digit): 90-2418 IEPA Generator # (10 digit): 0312255057  
Site Name: AMOCO SERVICE STATION 5379  
Site Address (Not a P.O. Box): 708 W. LAKE STREET  
City: DAK PARK County: COOK Cty, IL

**B. Certification**

The release from the Underground Storage Tank(s) System associated with Incident Number (6 digit) 90-2418 at the facility described in the attached Corrective Action Completion Report dated 9-23-97, has been remediated in accordance with 35 Ill. Adm. Code, Part 742 and other applicable rules and regulations. The remediation has achieved the clean-up objectives set forth by the Agency in:

Leaking Underground Storage Tank, Soil Sampling Requirements (Feb. 1993)

Leaking Underground Storage Tank Manual, Fall 1991 (IEPA/LPC/91-203)

Guidance Manual for Petroleum-Related LUST Cleanups in Illinois, Spring 1990 (IEPA/LPC/90-47)

Appendix B (from 35 Ill. Adm. Code Part 732)

Site Specific Cleanup Objectives set forth by the Agency in the letter dated \_\_\_\_\_

Other

Specify document TACO PART 742 PROPOSED RULES, 4-17-97

I certify under penalty of law that the corrective action completion report, supporting documents and all attachments were prepared under my direction or supervision or were reviewed by me. To the best of my knowledge and belief, the attached Corrective Action Completion Report, supporting documents and all attachments are true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of the fine and imprisonment for knowing violations.

**Professional Engineer**

**P.E. Seal**

Name: Debra L. Hagerty  
Firm: Delta Environmental Consultants  
Address: 740 Springer Drive  
Lombard, IL 60148  
Phone: 630-932-1937  
Ill. Registration No.: 062046313  
License Expiration Date: 11-97  
Signature: Debra Hagerty  
Date: 9-25-97



The Agency is authorized to require this information under Section 4 and Title XVI of the Environmental Protection Act (415 ILCS 5/4, 5/57 - 57.17). Failure to disclose this information may result in a civil penalty of not to exceed \$50,000.00 for the violation and an additional civil penalty of not to exceed \$10,000.00 for each day during which the violation continues (415 ILCS 5/42). Any person who knowingly makes a false material statement or representation in any label, manifest, record, report, permit, or license, or other document filed, maintained or used for the purpose of compliance with Title XVI commits a Class 4 felony. Any second or subsequent offense after conviction hereunder is a Class 3 felony (415 ILCS 5/57.17). This form has been approved by the Permit Management Center.



0312255057-Conf  
Amoco Oil Co.  
Eust

**Amoco Oil Company**

Research and Development Department  
Post Office Box 3011  
Naperville, Illinois 60566-7011  
708-420-5111

February 4, 1994

Illinois Environmental Protection Agency  
L.U.S.T. Section  
2200 Churchill Road  
P.O. Box 19276  
Springfield, Illinois 62794-9276  
Attn: Mr. Bur Filson

**Re: Additional Assessment Report  
Amoco Service Station No. 5379  
708 W. Lake St. at Euclid Av.  
Oak Park, Illinois  
IEPA Incident No. 902418**

Dear Mr. Filson:

Please find enclosed two copies of the Additional Assessment Report for Amoco Service Station No. 5379 located at 708 West Lake Street in Oak Park, Illinois.

This report covers additional assessment activities performed by Amoco Site Remediation Services (SRS). Discussion and results for the following field activities are addressed in this report:

- Further Onsite Ground Water Sampling (BTEX)
- Soil Sampling Adjacent to Site/Offsite (BTEX)
- Additional OW-6 Ground Water Sample (PNAs)
- Soil Samples in Former UST Area (BTEX)

Also, this report contains Amoco SRS' plans to do further offsite sampling for delineation, assuming all applicable permits and access can be obtained. Following further delineation, which will be scheduled for the first quarter of 1994, a Corrective Action Form (CAF) will be submitted to your office. The CAF will contain the additional data as well as contain information requested in a 45-Day report.

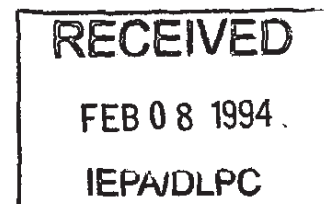
Should you have any questions or comments, please contact G.P. Terhune at (708) 420-4894. Any written correspondences should be forwarded to G.P. Terhune, Mail Code J-8, at the letterhead address.

Sincerely,

Gordon P. Terhune  
Amoco Site Remediation Services  
Project Engineer

Enclosures

cc: Amoco RSD Chicago District  
Amoco SRS Naperville



RECEIVED

FEB 08 1994

IEPA/DLPC

ADDITIONAL ASSESSMENT REPORT

AMOCO SERVICE STATION NO. 5379  
708 WEST LAKE STREET AT EUCLID AV.  
OAK PARK, ILLINOIS

INCIDENT NO. 902418

PREPARED BY:

AMOCO SITE REMEDIATION SERVICES  
MAIL CODE J-8, P.O. BOX 3011  
NAPERVILLE, ILLINOIS 60566

  
\_\_\_\_\_  
Gordon P. Terhune, Project Engineer

2-4-94  
Date

  
\_\_\_\_\_  
Carla M. Davis, Supervisor

2-4-94  
Date

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### **TABLES**

1. SOIL BENZENE/BTEX CONCENTRATIONS
2. GROUND WATER BENZENE/BTEX CONCENTRATIONS
3. OW-6 GROUND WATER PNA RESULTS
4. WELL GAUGE REPORT

### **FIGURES**

1. SITE LOCATION MAP
2. SITE MAP
3. SOIL BENZENE/BTEX MAP
4. GROUND WATER BENZENE/BTEX MAP
5. WATER TABLE CONTOUR MAP

### **BORING LOGS**

### **LAB REPORTS**

## **1.0 SITE INFORMATION**

### **1.1 INTRODUCTION**

Illinois Environmental Protection Agency (IEPA) Incident No. 902418 is assigned to Amoco Service Station Number (S.S. #) 5379 located in Oak Park, Illinois.

Four underground storage tanks (USTs), 3 gasoline and 1 used oil, were removed and subsequently replaced at this site in August of 1990. The 3 gasoline USTs at the site contained Amoco regular, mid-grade and premium unleaded gasoline. The replacement UST system is currently active.

LAW Environmental, Inc. (LAW) was the site's previous remediation consultant, prior to Amoco Site Remediation Services (SRS).

### **1.2 LOCATION**

The service station is located on the northwest corner of the intersection of Lake Street and Euclid Avenue at 708 West Lake Street in Oak Park, Illinois. Per the U.S.G.S. River Forest, Illinois Map, the site is located in Section 7, Township 39N, Range 13E, as shown in Figure 1 in the attachment to this report labeled Figures.

### **1.3 DESCRIPTION**

Amoco S.S. #5379 is an active service station. A Site Map showing the current layout of the site is illustrated in Figure 2 in the attachment to this report labeled Figures. The Site Map shows the location of the existing UST system, the former UST area and the 7 existing ground water wells. Land use near the site is mixed commercial and residential.

## **2.0 PREVIOUS ASSESSMENT**

### **2.1 PREVIOUS ASSESSMENT REPORTS**

A Phase I Site Assessment Report, dated January 6, 1992, was prepared by LAW and submitted to the IEPA. Also, a Phase I Site Assessment Plan, dated July 25, 1991, was prepared by LAW and submitted to the IEPA.

### **2.2 PREVIOUS ASSESSMENT SUMMARY**

LAW's assessment included soil test borings, soil sampling and physical classification, well installation, ground water sampling, inflow permeability tests to determine hydraulic conductivity, and a priority pollutant analysis at OW-6.

The following information is included in LAW's assessment report. The subsurface consisted of silty sand to approximately 5 feet below ground level (bgl), underlain by silty clay. The depth to ground water at the site averaged 6 to 7 feet bgl and the ground water flow direction was to the south. The area of the site which appeared to be impacted by hydrocarbons was to the south and west of the existing and former tank pit area and existing dispenser islands. No measurable product was detected in the wells. The silty clay strata appeared to be retarding the ground water linear velocity and thus the rate of migration of hydrocarbon constituents. The hydraulic conductivities ranged from  $1.2 \times 10^{-6}$  to  $1.8 \times 10^{-4}$  cm/sec. The average linear velocity ranged from 0.03 to 4.0 feet/year.

### **3.0 ADDITIONAL ASSESSMENT**

#### **3.1 SOIL/SUBSURFACE GEOLOGY**

In order to assess the site's geology and soil conditions, Amoco SRS contracted Soil Probe, Inc. of Aurora, Illinois to conduct additional soil borings at the site on June 21, 1993. This method was chosen over a drill rig or hand auger to minimize interruption to facility operation. The soil borings were conducted with a van mounted probe, which hydraulically pushed rods with a 2-foot long, acetate sampling tube to the required depth. Prior to conducting the borings, an underground utility search was conducted earlier. Upon completion of each soil boring the entire depth of the borehole was properly plugged.

A total of 9 borings were advanced on June 21, 1993. The location of these borings are provided on Figure 3 in the attachment to this report labeled Figures. B-1 through B-6 were advanced to represent the former UST area's north, south, east and west walls as well as the tank floor and bottom. The depth of the samples at the UST wall were from 7 to 9 feet. The depth of the UST floor samples were from 10 to 12 feet and 13 to 15 feet.

Boring B-5 contained a fill/sandy material to a depth of approximately 10 feet. This material would not remain in the 2-inch diameter, 2-foot long sampling tube as the soil probe was retracted. Therefore, no sample could be obtained from the desired 7 to 9 foot interval along the former UST area west wall, and it was assumed the former west wall was overlapped with the new UST area. A soil sample was taken from B-5 at a depth of 12.5 to 14.5 feet when firm soil was encountered. In a second attempt to obtain a sample that represents the former UST area west wall, B-7 was advanced to the south and west of B-5. However, the same problem of a wet, fill/sandy material that would not remain in the sampling tube was encountered from 7 to 9 feet. No sample was obtained from B-7 and no boring log was generated for this attempt.

Soil borings B-8 and B-9 were advanced in order to define the boundaries of possible hydrocarbon impact on the surrounding area in the apparent direction of ground water flow. Samples were obtained from these two borings at a depth

of 3 to 5 feet, above the ground water table. In order to conduct offsite drilling activity, Amoco SRS purchased a "Permit to Open Street" for access to the right-of-way/driveway area from the Village of Oak Park.

For each soil sample, the subsurface geology was described and soil hydrocarbon vapors were measured using an Organic Vapor Analyzer (OVA) Flame Ionization Detector. OVA measurements, along with a description of each borings geology characteristics are included in the borings logs included in the Boring Logs section of this report. Each soil sample was sent to Enseco Laboratory (Enseco) for analyses using USEPA Method 8020 for Benzene, Toluene, Ethylbenzene and Xylenes (BTEX). The results of the BTEX analyses are summarized in Table 1 and are presented on Figure 3. The lab data sheets are included in the Lab Reports section of this report.

### **3.2 GROUND WATER**

In order to further assess the site's ground water conditions, Amoco SRS obtained ground water samples from the seven existing wells on November 8, 1993. The ground water samples were analyzed by Enseco using USEPA Method 8020. The results of the BTEX analyses are summarized in Table 2 and a ground water benzene/BTEX concentration map is presented as Figure 4 in the attachment to this report labeled Figures. The lab data sheets are included in the Lab Reports section of this report.

Ground water samples collected from OW-6 on June 21, 1993 were analyzed for Polynuclear Aromatic Hydrocarbons (PNAs) by USEPA Method 8310. Method 8310 was used because it has the lowest possible detection limits for PNAs. The results of the OW-6 Method 8310 analyses are summarized in Table 3, which is a copy of an Enseco's lab results page. The lab data sheets are included in the Lab Reports section of this report.

Ground water elevation data was collected on April 15, 1993 by Amoco SRS. It is provided on Table 4, labeled the Well Gauge Report. Using this data, a water table contour map presented as Figure 5, in the attachment to this report labeled Figures, was prepared which shows the horizontal direction of ground water movement to be primarily to the south.

#### 4.0 FUTURE ASSESSMENT ACTIVITIES

After review of previous assessment activities at Amoco S.S. #5379, Amoco SRS plans the following site activities to be performed:

1. During the first quarter of 1994, survey all onsite wells to obtain "top-of-casing" elevations and measure ground water elevations to confirm ground water flow direction.
2. During the second quarter of 1994, attempt to obtain all necessary Access Permit(s) from the Village of Oak Park and/or private property owners in order to install ground water monitoring wells offsite, in the direction of horizontal ground water flow, which is presumably to the south.
3. After authorized access is obtained, ground water monitoring well(s) will be installed offsite. Soil samples will be collected at the time of the monitoring well installation to further assess offsite soil conditions. Ground water samples will then be obtained from the wells to assess offsite ground water conditions.

The collection of this additional assessment data will enable the generation of maps which will presumably encompass and delineate the site's impact, if any, on the surrounding environment.

After review of this geologic and laboratory data, Amoco SRS will then prepare and submit a IEPA Corrective Action Form which will outline the corrective action and remediation plans for the site.





LAW ENVIRONMENTAL, INC.

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SUITE 395  
DES PLAINES, ILLINOIS 60018  
708-699-5084

January 6, 1992

Illinois Environmental Protection Agency  
Division of Land Pollution Control  
2200 Churchill Road, P.O. Box 19276  
Springfield, Illinois 62794-9276

Attention: Ms. Angela Tin, L.U.S.T. Unit Manager


Subject: Phase I Site Assessment Report  
Amoco Service Station No. 5379  
Euclid Avenue and Lake Street, Oak Park, Illinois  
IEPA Incident No. 902418/Cook  
Law Environmental, Inc. Project No. 53-0519013

Dear Ms. Tin:


The attached *Phase I Site Assessment Report* is submitted on behalf of Amoco Oil Company. This report presents the results and conclusions of the assessment activities conducted by Law Environmental at the subject site. Our work was performed in accordance with Law Environmental's *Phase I Site Assessment Plan* dated July 25, 1991, which was submitted to the IEPA's Division of Land Pollution Control.

Law Environmental is under contract with Amoco Oil Company to provide environmental consulting services for the subject property. Please forward any written questions or comments concerning this project to Mr. John D. Wise of Amoco Oil Company.

Sincerely,  
LAW ENVIRONMENTAL, INC.

  
Mario G. Orozco  
Project Engineer

  
Linda J. McGahan  
Project Engineer

  
Nathan L. Songer, P.G.  
Principal

MGO/LJM/NLS:kmg



**PHASE I SITE ASSESSMENT REPORT**

**AMOCO SERVICE STATION NO. 5379**  
Euclid Avenue and Lake Street  
Oak Park, Illinois

Prepared For

**AMOCO OIL COMPANY**  
**Remediation Services Division**  
Naperville, Illinois

Prepared By

**LAW ENVIRONMENTAL, INC.**  
Des Plaines, Illinois

January 6, 1992

**LAW ENVIRONMENTAL, INC. PROJECT NO. 53-0519013**



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- Appendix D - Chemical Soil Analysis; Laboratory Report, Field Sampling Reports and Chain-of-Custody Record
- Appendix E - Ground-Water Analysis; Laboratory Report, Field Sampling Reports and Chain-of-Custody Record



## EXECUTIVE SUMMARY

Amoco Service Station No. 5379 is located at the northwest corner of the intersection of Lake Street and Euclid Avenue in Oak Park, Illinois. Exploration Technology, Inc. (ETI) installed three observation wells (OW-1 through OW-3) at the site in July 1990. Four underground storage tanks (three gasoline and one used oil) were replaced with new tanks in August 1990, prior to Law Environmental's involvement with this project.

In November 1990, Amoco Oil Company requested that Law Environmental prepare a 20-day notice of release letter addressing the removal of four underground storage tanks (three gasoline and one used oil), and submit a Phase I assessment plan.

This report presents results of a soil and ground-water assessment conducted at the site by Law Environmental in accordance with the *Phase I Site Assessment Plan* submitted to the IEPA on July 25, 1991. Four soil borings were drilled, and four, Type II observation wells were installed (OW-4 through OW-7). Soil samples from the borings were selected for physical and chemical analyses. Five ground water observation wells were sampled for BTEX analysis, and one observation well (OW-6) was sampled for priority pollutants.

Based on our field observations, the general subsurface strata at the site consists of silty sand (SM) to a depth of approximately 5 feet below ground level (bgl), underlain by silty clay (CL). Ground water was encountered at depths averaging 6 to 7 feet bgl. The interpreted general ground-water flow direction is toward the south.

The results of the chemical analysis of the soil samples indicates that soil from two of the four borings contain hydrocarbon compounds. IEPA soil cleanup objectives for benzene and total BTEX were exceeded in only one boring (OW-5).

The results of the chemical laboratory analysis of ground-water samples indicates that two of the six sampled observation wells contain dissolved hydrocarbon compounds. A separate phase product sheen (less than 0.01 feet) was detected in OW-2 during sampling activities, and subsequently was not sampled. The IEPA groundwater cleanup objective for benzene was exceeded in two observation wells (OW-3 and OW-5); however, the IEPA ground water cleanup objective for total BTEX was not exceeded in any well sampled.

Based on Law Environmental's compilation of assessment data, we can conclude the following for the site;

- The area of the site which appears to be impacted by hydrocarbons is south and west of the existing and former tank pit area and existing dispenser islands.
- The silty clay strata at the site appears to be retarding the ground water linear velocity, and thus, the rate of migration of hydrocarbon constituents.
- Off-site migration may potentially have occurred to the south.
- Measurable product was not detected in the wells.



## 1.0 PROJECT INFORMATION

The following project information is based on correspondence records provided by Mr. John D. Wise of Amoco Oil Company and field data obtained by Law Environmental, Inc. personnel.

Amoco Service Station No. 5379 is located at the northwest corner of the intersection of Lake Street and Euclid Avenue in Oak Park, Illinois (Figure 1). Properties adjacent to the site are a restaurant to the south, an Illinois Bell facility to the west, parking areas to the north and east, and an apartment complex to the southeast.

Exploration Technology, Inc. (ETI) installed three observation wells (OW-1 through OW-3) and drilled six soil test borings in July 1990. Soil samples were collected from each test boring by ETI and analyzed by Donohue Laboratories in Sheboygan, Wisconsin. Benzene, toluene, ethylbenzene, and xylene (BTEX) compounds were detected in samples from four borings, with concentrations ranging from 1.1 mg/kg to 37.1 mg/kg. Observation wells OW-2 and OW-3 were sampled on July 25, 1990 by ETI and analyzed by Amoco Oil Company's Groundwater Management Section Laboratory in Tulsa, Oklahoma by freon extraction. Dissolved hydrocarbons were detected in both wells, with total BTEX concentrations of 4.8 mg/l in OW-2 and 3.1 mg/l in OW-3. OW-1 was not sampled due to an obstruction at the well location.

Four underground storage tanks (three gasoline and one used oil) were removed by Amoco Oil Company in August, 1990, during station renovation, and replaced with new underground storage tanks (USTs). An incident number for this site was assigned on August 28, 1991, but no records of the incident were provided to Law Environmental. The tank removal was observed by Ecology Services of Waukegan, Illinois and was performed by R.W. Collins of Chicago, Illinois. Based on field notes by Ecology Services, the laboratory analysis results of soil samples collected from the gasoline tank pit during removal indicated the presence of hydrocarbon compounds in concentrations above Illinois Environmental Protection Agency (IEPA) cleanup objectives.

In November 1990, Amoco Oil Company requested that Law Environmental prepare a 20-day notice of release letter addressing the removal of the four underground storage tanks and submit a Phase I site assessment plan. Based on available data provided to us by Amoco Oil Company, Law Environmental prepared and submitted to the IEPA a *Notice of Release Letter (20-Day Report)* dated December 18, 1990. Following the receipt of additional information from ETI and Ecology Services, a *Phase I Site Assessment Plan* was prepared by Law Environmental.



On July 25, 1991, a *Phase I Site Assessment Plan* was submitted to the IEPA by Law Environmental as requested, to inform the IEPA of tentative assessment activities at the site by Amoco. Law Environmental was authorized by Mr. John Wise on July 19, 1991 to begin assessment activities. This report describes the work performed, results, and conclusions.

## 2.0 PURPOSE

The purpose of this site assessment was to assess the horizontal extent of hydrocarbons in the soil and ground water at the site.

## 3.0 SCOPE OF WORK

To accomplish our objective, we drilled four soil test borings, observed the installation of four Type II observation wells, obtained and analyzed soil samples for chemical and physical characteristics, obtained and analyzed ground-water samples, performed inflow permeability tests, analyzed the data, and prepared this report. Our procedures are described in the following sections.

### 3.1 Soil Test Borings

The soil boring locations were selected to assess the extent of possible hydrocarbon migration surrounding the former gasoline and used oil tank pit areas.

Between August 13 and August 14, 1991, four soil borings were drilled at the site by ETI under the observation of Law Environmental field personnel. The borings were advanced to depths of approximately 14 feet bgl, and designated OW-4 through OW-7. The borings were drilled using a truck mounted drill rig employing hollow stem augers to advance the boreholes.

At assigned depth intervals (every 2.5 feet for the first ten feet and four foot intervals thereafter) the subsurface soil was tested and sampled by the standard penetration test in general accordance with ASTM D-1586. Representative portions of each soil sample were classified in the field by a Law Environmental engineer and then placed in sealable plastic bags. The drilling data, including the penetration resistance values and soil classifications as interpreted by Law Environmental field personnel were recorded on the field boring logs. To prevent cross contamination between borings, down hole drilling equipment was steam cleaned prior to drilling



each boring. Split barrel samplers were cleaned between sampling intervals with Alconox and water.

A hydrocarbon vapor analysis was performed on the collected soils using an HNU PI-101 Photoionization Detector (PID). The PID was used to record relative organic vapor levels (positive meter deflections) in the headspace of the soil samples. These readings were obtained by inserting the probe of the PID into each sample bag to withdraw a vapor sample from the headspace of each bag.

The soil samples with the highest PID meter deflection from each of the four boreholes were sent to the Law Environmental National Laboratories in Pensacola, Florida. The samples obtained from boreholes OW-4, OW-5, and OW-7, were analyzed for BTEX by EPA Method 8020. The sample obtained from borehole OW-6 was analyzed for priority pollutants in accordance with the IEPA guidelines of Spring 1990, for used oil tank assessments. Appropriate chain-of-custody records were maintained.

One soil sample was obtained from OW-4 between 6.0 to 7.5 feet bgl for Unified Soil Classification System (USCS) classification. The physical analysis was performed by Law Environmental Physical Laboratory in Kennesaw, Georgia, in accordance with ASTM D422, D2216 and D4318 laboratory procedures.

### 3.2 Well Installation and Development

A Type II ground-water observation well was installed in the boreholes designated OW-4, OW-5, OW-6 and OW-7. Well locations are shown in Figure 2.

The Type II wells consist of 2-inch diameter PVC pipe (Schedule 40 with flush-threaded joints) inserted into an 8-inch diameter augered borehole. The bottom 10-foot section of each well is a manufactured well screen with 0.010-inch slots. Washed sand backfill was placed around the annulus to at least 1 foot above the top of the well screen. The sand backfill is used to stabilize the formation and to help yield a less turbid ground-water sample. A bentonite seal two feet thick was installed on top of the sand backfill to seal the observation well at the desired level and to prevent intrusion of the grout seal into the sand backfill. The borehole was then grouted with cement to the ground surface. A lockable well cap and steel protective flush mounted cover was placed over each well.

The top-of-casing elevations for the existing wells were established by Law Environmental personnel on October 9, 1991, by using a level and graduated rod. The elevations were referenced to an assumed site datum of 100.00 feet at the top of a water hydrant located at the southeast corner of the site. The elevation reference points for the new well casings were





marked on the north side of each well. The positions of the wells were located in the field by a measuring tape, referencing two existing site features. The well elevations and locations should be considered accurate only to the degree indicated by these methods.

The new observation wells as well as the observation wells installed in August 1990, were developed by bailing with a 2-inch diameter, single check valve PVC bailer. Bailing was performed to reduce the water's turbidity and create properly functioning wells. Bailing was continued until the accessible water was evacuated. Ground water indicator parameters of pH, temperature and specific gravity were measured by Law Environmental during well development with a Corning Sensor Module (Check Mate Model 90).

### 3.3 Ground-Water Sampling and Analysis

On September 25, 1991, Law Environmental, Inc. personnel obtained a water sample from each existing observation well with the exception of OW-2, which had a product sheen (less than 0.01 feet) during gauging. Samples were drawn from OW-1 and OW-3 through OW-7, with dedicated, polyethylene, single check valve disposable bailers, following well purging and recovery.

A sealed trip blank, supplied by Law Environmental National Laboratory, was taken to the field and returned to the laboratory for analysis. This was done as part of Laboratory Quality Assurance/Quality Control (QA/QC) procedures. An equipment blank sample (bailer rinse) was collected by pouring distilled water through a clean bailer, for field QA/QC procedures. The ground water and QA/QC samples were packed on ice and sent to Law Environmental National Laboratory in Pensacola, Florida. The ground-water samples from OW-1, OW-3, OW-4, OW-5, OW-7 and the QA/QC samples were analyzed for BTEX and Methyl-Tertiary-Butyl-Ether (MTBE) using EPA method 8020. The ground-water sample collected from OW-6 was analyzed for priority pollutants in accordance with IEPA guidelines for used oil tank assessments. A chain-of-custody record was completed in the field and accompanied the samples to provide a record of the sample shipping and handling history.

In a subsequent site visit on October 9, 1991, Law Environmental field personnel gauged OW-2. No product was detected in the well on this day.

### 3.4 Inflow Permeability

On October 9, 1991, and November 23, 1991 Law Environmental personnel performed inflow permeability tests in wells OW-4, OW-5 and OW-7 to estimate the hydraulic conductivity of the formation materials adjacent to the screened intervals of the observation wells. The hydraulic conductivity is a constant related to the ease with which a fluid passes through a porous medium.



Field procedures included measuring the static ground-water level in the well and then removing the water from the borehole by bailing. The ground-water recovery rate was measured at specified time intervals for one hour, following purging. The data was analyzed by the Bower and Rice method.

## 4.0 RESULTS

### 4.1 Area Geology

The subject site is located in the Lake Chicago Plain Physiographic Region. Subsurface soils consist of glacial lake sediments, largely underlain by glacial till (Illinois State Geological Survey, 1970). The glacial till deposits are underlain by bedrock units of dolomite, shale and limestone.

### 4.2 Subsurface Conditions

The borings encountered about 0.5 feet of sand and gravel aggregates underlain by approximately 1 to 2 feet of soil, sand and gravel fill. Loose to firm silty sand (SM) was encountered below the fill material to depths ranging from approximately 5.0 to 8.0 feet bgl. Varying amounts of stiff to very stiff silty clay and clayey silt were encountered below the silty sand to an exploration termination depth of approximately 14 feet bgl. PID readings obtained from the soil samples are summarized in Table 1.

The above descriptions provide a general summary of the subsurface conditions encountered. The test boring records in Appendix A contain detailed information recorded from each soil test boring location. These test boring records present our interpretation of the field logs based on the examination of the soil samples by our engineer. The lines designating the interfaces between various strata represent the approximate transition between strata, which may be gradual. The specific construction details of each well installation are illustrated on the Well Construction Records, also in Appendix A. Observations and ground water indicator parameter measurements made by Law Environmental field personnel during well development are presented in Appendix B.

The results from the laboratory physical properties analysis for the sample selected from OW-4 are presented in Table 2. The sample was selected from a sampling interval of 6.0 to 7.5 feet bgl. An Atterberg Limit test and a hydrometer analysis were performed on the sample to measure the plasticity index and the particle size of the fines. The liquid limit was 24 and the computed plasticity index was 8, which is relatively low due to the presence of coarse grained



material in the clay. The plasticity index indicates the ability of the soil composition to hold water, and is used for USCS classification. The laboratory USCS classification of the sample selected was CL, a sandy, lean clay. The moisture content of the sample was 13.8 percent. The complete laboratory report, field sampling report, and chain-of-custody record for the physical analysis results, are included in Appendix C.

Ground water was measured in all the wells on September 25, 1991, at depths ranging from 5.22 feet to 9.63 feet below the top of the well casing. A complete summary of the depths to ground water and computed ground-water elevations is provided in Table 3. The interpreted ground-water flow based on the potentiometric surface map (Figure 3) is toward the south. Ground-water levels may fluctuate several feet with seasonal and rainfall variations and with changes in water levels in adjacent drainage features.

#### 4.3 Ground-Water Movement

Directions of ground-water flow were interpreted between wells based on an extrapolation of the ground-water elevations at those locations. The water levels, flow directions and gradients may fluctuate significantly with variation in rainfall. The interpreted direction of ground-water flow for the site is to the south (Refer to Figure 3). Observation well OW-1 produced an anomalous ground-water elevation, therefore it was not included in the interpretation of the direction of ground-water flow.

Hydraulic gradients were determined by dividing the difference in ground-water elevation at two locations, by the horizontal distance in the direction of the flow between the two locations. The hydraulic gradient was computed between two locations deemed representative of the site. The computed hydraulic gradient is 0.003 feet/foot.

The data obtained from inflow permeability tests conducted in observation wells OW-4, OW-5 and OW-7 was analyzed by the Bower and Rice method (Bower and Rice, 1976). The hydraulic conductivities ranged from  $1.2 \times 10^{-6}$  centimeters per second (cm/s) to  $1.8 \times 10^{-4}$  cm/s. Table 7 presents a summary of hydraulic conductivity volumes computed from tests at the site.

Ground-water flow, velocity and specific discharge values were computed based on the above information. Ground-water flow values were calculated using Darcy's relationship (Freeze and Cherry, 1972):



$$Q = KIA$$

Where,

- Q = Flow (Ft<sup>3</sup>/Day)
- K = Hydraulic Conductivity (Ft/Day)
- I = Hydraulic Gradient (Unitless)
- A = Cross-Sectional Area (Ft<sup>2</sup>)

The values are based on ground-water flow through a one foot square cross-sectional area. Ground-water flow ranges from  $1.0 \times 10^{-5}$  to  $1.5 \times 10^{-3}$  cubic ft/day. This range is based on the hydraulic gradient across the site, and the highest and lowest estimated hydraulic conductivity values.

Average linear velocity values were calculated using Darcy's relationship (Freeze and Cherry, 1979):

$$VL = KI/n$$

Where,

- VL = Average Linear Velocity (Ft/Year)
- K = Hydraulic Conductivity (Ft/Day)
- I = Hydraulic Gradient (Unitless)
- n = Effective Porosity, In Percent

The average linear velocity for ground water flow across the site ranges from 0.03 to 4.0 Ft/Year. These values were calculated using the hydraulic gradient and the highest and lowest estimated hydraulic conductivity values.

The hydraulic characteristics at the site described in this section are summarized below.

- Porosity -- 13.8 percent
- Hydraulic conductivity -- Hydraulic conductivities ranged from  $1.2 \times 10^{-6}$  cm/s to  $1.8 \times 10^{-4}$  cm/sec.
- Ground water flow -- Ground water flow through a one foot square area ranges from  $1.0 \times 10^{-5}$  to  $1.5 \times 10^{-3}$  cubic feet per day.
- Linear velocity -- Average linear velocity ranges from 0.03 to 4.0 feet per year.



#### 4.4 Chemical Analysis of Soil Samples

The laboratory results indicate that soil from OW-5 and OW-6 contain BTEX compounds. Detected total BTEX concentrations ranged from 0.236 mg/kg in OW-6 to less than 235.1 mg/kg in OW-5. Benzene concentrations ranged from below laboratory detection limits in OW-6, to 2.30 mg/kg in OW-5. The highest concentration of hydrocarbons was detected in the soil sample from boring OW-5, located west of the existing USTs and dispenser islands. The IEPA soil cleanup objectives as listed in the LUST Manual from Spring 1990 (benzene, 0.025 mg/kg and 16.025 mg/kg for total BTEX), were exceeded in the soil sample selected from OW-5. No hydrocarbon parameters were detected above laboratory detection limits in OW-4 or OW-7, located along the eastern property line.

The priority pollutant analysis detected arsenic, beryllium, chromium, copper, lead, nickel, zinc, ethylbenzene and phenanthrene in the soil sample from OW-6, near the used oil tank pit location. None of the compounds detected in the soil sample exceed the maximum allowable limits established by the U.S. EPA (40 CFR 41), and no IEPA cleanup objectives have been established.

The laboratory results for the BTEX analysis of the soil samples are presented in Table 4, and are illustrated in Figure 4. A summary of the results of priority pollutant analyses from the OW-6 soil sample, are presented in Table 5. The complete laboratory report for the chemical analysis of the soil samples, field sampling reports, and chain of custody record are included in Appendix D.

#### 4.5 Chemical Analysis of Ground-Water Samples

The laboratory analysis results indicate that ground water in observation wells OW-3 and OW-5 contain hydrocarbon compounds. Benzene levels ranged from 2.0 mg/l in OW-5 to 2.8 mg/l in OW-3. Total BTEX concentrations ranged from 2.98 mg/l in OW-3 to 11.2 mg/l in OW-5. No BTEX constituents were detected above laboratory detection limits for the trip blank and equipment blank samples. The ground water cleanup objective established for benzene by the IEPA (0.025 mg/l) was exceeded in wells OW-3 and OW-5, downgradient of the tankpit. The cleanup objective for total BTEX (16.025 mg/l) was not exceeded in any well; however, cadmium, chromium, copper, beryllium, nickel and zinc were detected in the ground-water sample collected from OW-6. None of the concentration levels of the detected compounds exceed the maximum allowable limits established by the U.S. EPA, and no IEPA cleanup objectives have been established for the compounds. No sample was analyzed from OW-2 due to the detection of a sheen (less than 0.01 feet) of separate phase product.



The laboratory results for the BTEX analysis of the ground water samples are presented in Table 6, and illustrated in Figure 5. A summary of the results of priority pollutant analyses from the OW-6 ground-water sample, are presented in Table 5. The complete laboratory report for the ground-water analysis, field sampling reports, and chain of custody record are included in Appendix E.

## 5.0 CONCLUSIONS

The purpose of Law Environmental's site assessment was to assess the horizontal extent of hydrocarbons in the soil and ground water at the site. Based on the results of our assessment activities, we can conclude the following for Amoco Service Station No. 5379 in Oak Park, Illinois.

- ▶ Relatively high PID meter deflections (greater than 10) were detected in soil samples from one boring (OW-5) of four, and only at depths of 1.0 to 7.5 feet bgl. Based on the PID headspace analysis performed on the collected soils, the highest concentration of hydrocarbons in the soil at the site exist in the capillary zone west of the existing underground storage tanks and southern set of dispenser islands.
- ▶ The soil sample selected for chemical laboratory analysis from OW-5 exceeded IEPA soil cleanup objectives for benzene and total BTEX. Soil samples selected from the three remaining borings were below IEPA cleanup objectives for benzene and total BTEX.
- ▶ Based on laboratory analysis results, no ground-water samples obtained from OW-1 and OW-3 through OW-7 exceeded the IEPA cleanup objective for total BTEX, although two wells (OW-3 and OW-5) exceeded the benzene objective. Well OW-3 is located near the southern property line, southwest of the former tank pit. Well OW-5 is located west of the existing tank pit and pump island. One observation well (OW-2) was not sampled due to the presence of a sheen (less than 0.01 feet) of separate phase product. Hydrocarbon constituents were below laboratory detection limits in observation wells north and east of the former and existing tank pits and dispenser islands; therefore, the primary areas of ground water impacted by hydrocarbons appears to be south and west of the tank area.



- ▶ The priority pollutant analyses laboratory results of soil and ground-water samples selected from OW-6 contained benzene and BTEX levels below IEPA cleanup objectives.
- ▶ The interpreted ground-water flow direction at the site is to the south. The silty-clay strata as well as the relatively low hydraulic gradient, creates a relatively slow, linear ground-water velocity (0.027 to 4.0 feet per year), and thus, also impedes the horizontal migration of hydrocarbon constituents.

The apparent source area of the detected hydrocarbons is the former or existing tankpit and line trenches or pump islands in the southern section of the site. No measurable separate phase product was detected in the wells.



DISTRICT HOUSE

**SECTION 17.  
PERSPECTIVE DRAWINGS**

**EXHIBIT 17.1: PERSPECTIVE DRAWINGS**



**NORTHWORKS**  
MULTIFAMILY HOUSING  
1912 N. Third Street  
Portland, OR 97232  
Phone: 503.288.8888  
Fax: 503.288.8889

**MILLER HULL**  
ARCHITECTS  
1100 NE Oregon Street  
Portland, OR 97232  
Phone: 503.288.8888  
Fax: 503.288.8889

**LANDMARK PROJECTS GROUP**  
1000 N. Third Street  
Portland, OR 97232  
Phone: 503.288.8888  
Fax: 503.288.8889

**CAMPBELL COYLE**  
1000 N. Third Street  
Portland, OR 97232  
Phone: 503.288.8888  
Fax: 503.288.8889

NO. RELATED DATES ISSUED FOR  
1 12/15/16 Approved Development  
2 01/26/18 POC Reapproved

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PROJECT: 708 LAKE STREET

Project No.  
Drawn By  
Checked By  
Scale  
Drawing No.

708 LAKE STREET  
Project No.  
Drawn By  
Checked By  
Scale  
Drawing No.

Project Name  
LANDMARK PROJECTS GROUP

A7.01



**1 SOUTH PERSPECTIVE**  
NOT TO SCALE



**2 SOUTHEAST PERSPECTIVE**  
NOT TO SCALE



**3 EAST PERSPECTIVE**  
NOT TO SCALE



DISTRICT HOUSE

**EXHIBIT 17.2: FLOYD D. ANDERSON ARCHITECTURAL REVIEW MEMORANDUM**

- Floyd D. Anderson Architectural Review Memorandum (dated April 27, 2016)



## Memorandum

**To:** Craig M. Failor – Oak Park Village Planner

**From:** Floyd D. Anderson

**Date:** April 27, 2016

**Subject:** DISTRICT HOUSE – Architectural Review

**Copy:** Bill Boznos, Rich Van Zeyl – LA; File

I have reviewed the latest drawings provided by the architects for the District House development, located at the NW corner of Lake Street and Euclid Avenue (708 Lake Street). A few examples are attached of the exterior. This development is a joint design by Northworks Architects and Planners from Chicago and Miller Hull from Seattle.

There have been several meetings with the architect's and developer which has been very beneficial in my ability to dialogue with the architect's on regarding design approach and intentions. Additionally the amount of drawings that have been made available for review has been greater than normal and the responsiveness to my suggestions has been earnest.

### General Comments

This is a five story condominium development that has 28 units with 38 1<sup>st</sup> floor enclosed parking spaces. There are also roof level deck areas for the condo owners. The first floor facing Lake Street also has two retail spaces totaling 4,440 square feet. The design generally fills the site, currently occupied by the vacated Tasty Dog enterprise. The five stories are generally near the height of adjacent buildings. Overall the building materials are a combination of brick and glass. The design is decidedly modern, taking a deliberate departure from the neighborhood. The color palette is a combination of blacks and warm greys, also a departure from the neighborhood which has a large collection of brownish brick.

**From:** Craig M. Failor – Oak Park Village Planner  
**From:** Floyd D. Anderson  
**Date:** April 27, 2016  
**Subject:** DISTRICT HOUSE – Architectural Review  
Page 2 of 2

### Specific Comments/Observations

1. Sensitive Building Massing - The adjacent AT&T building to the west has extremely few windows and is built up to the property line. This development also is built nearly to the lot line but the architects have skillfully held back some of the massing from the 2<sup>nd</sup> floor up and then developed green roof areas.
2. Outdoor Retail Seating - The retail space at the southwest corner was indicated that it may have outdoor seating along the Lake Street façade but not turning the corner on the Euclid St. side. I think having outdoor seating helps to “activate” the street scene and pulling this a little way around the corner helps. Some residents along Euclid may object but the amount of seating and perceived disruption may not be an issue and regardless would be far less than the previous tenant on this property.
3. North Wall – 1<sup>st</sup> floor – The north wall of the project at the base is one long large wall of dark brick. This façade is located right on the property line and while it faces an open grassed lot, it is a very visible wall to the Euclid neighborhood to the north. Since this wall is located at the property line it will undoubtedly require removing a large existing tree on the adjacent property. I strongly suggest some ivy or green covering be added to this wall to soften it’s appearance and to compensate for the probable loss of the mature tree.
4. Curb Cuts – There is an existing curb cut on Lake Street that will be removed and therefore the street parking can be restored. There will be a new curb cut along Euclid near the northern side of the property for access to the Ground level parking. This “swapping” of locations makes sense. Moving the access point off of the higher trafficked Lake Street and on to the less trafficked Euclid is a good move and having short term parking filled in on Lake in front of the new retail space makes sense.

### Conclusions

I strongly support this development. It respects the neighborhood with respect to it’s height and massing and entrances. Being a very modern design, and one that has a distinctly different color palette, could be perceived as a negative. I however welcome what I believe is a very well conceived and unique concept. Having a “variation” in “good” design along a streetscape is what can add to the visual interest in the urban/suburban experience. This idea of design variety already exists in the residential streets in many parts of Oak Park. No two adjacent houses are exactly the same and the differences are often strikingly different. What may have been initially jarring when our neighborhoods developed are now mostly seen as what makes our Village interesting. This development’s design concept starts to introduce some variety and I believe it will be a very good addition to the neighborhood.







RENDERING OF PROPOSED BUILDING FOR  
 250 WEST 10TH STREET  
 APPROXIMATE SCALE: 1/8" = 1'-0"

PROPOSED BUILDING

RENDERING OF PROPOSED BUILDING FOR  
 250 WEST 10TH STREET  
 APPROXIMATE SCALE: 1/8" = 1'-0"

10' 0" →  
 9' 0" →  
 8' 0" →  
 7' 0" →  
 6' 0" →  
 5' 0" →  
 4' 0" →  
 3' 0" →  
 2' 0" →  
 1' 0" →  
 0' →

RENDERING OF PROPOSED BUILDING FOR  
 250 WEST 10TH STREET  
 APPROXIMATE SCALE: 1/8" = 1'-0"

1 SOUTH ELEVATION  
 1/8" = 1'-0"

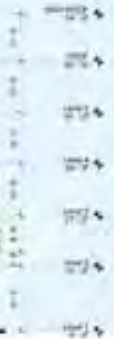


**2 EAST ELEVATION**

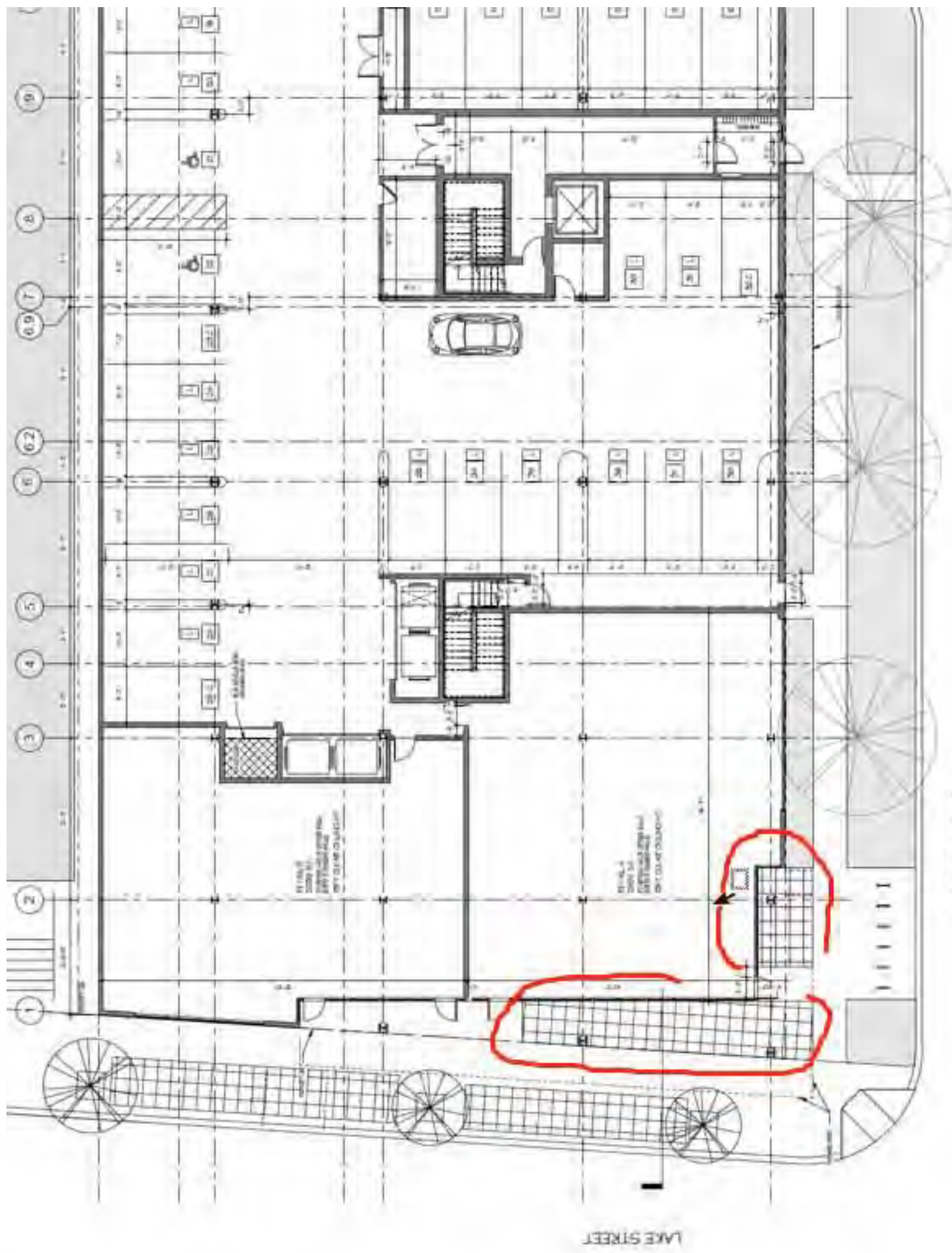
EXISTING BRICK BUILDING  
 1000 W. 10TH ST.  
 1000 W. 10TH ST.  
 1000 W. 10TH ST.

EXISTING BRICK BUILDING  
 1000 W. 10TH ST.  
 1000 W. 10TH ST.

EXISTING BRICK BUILDING  
 1000 W. 10TH ST.  
 1000 W. 10TH ST.





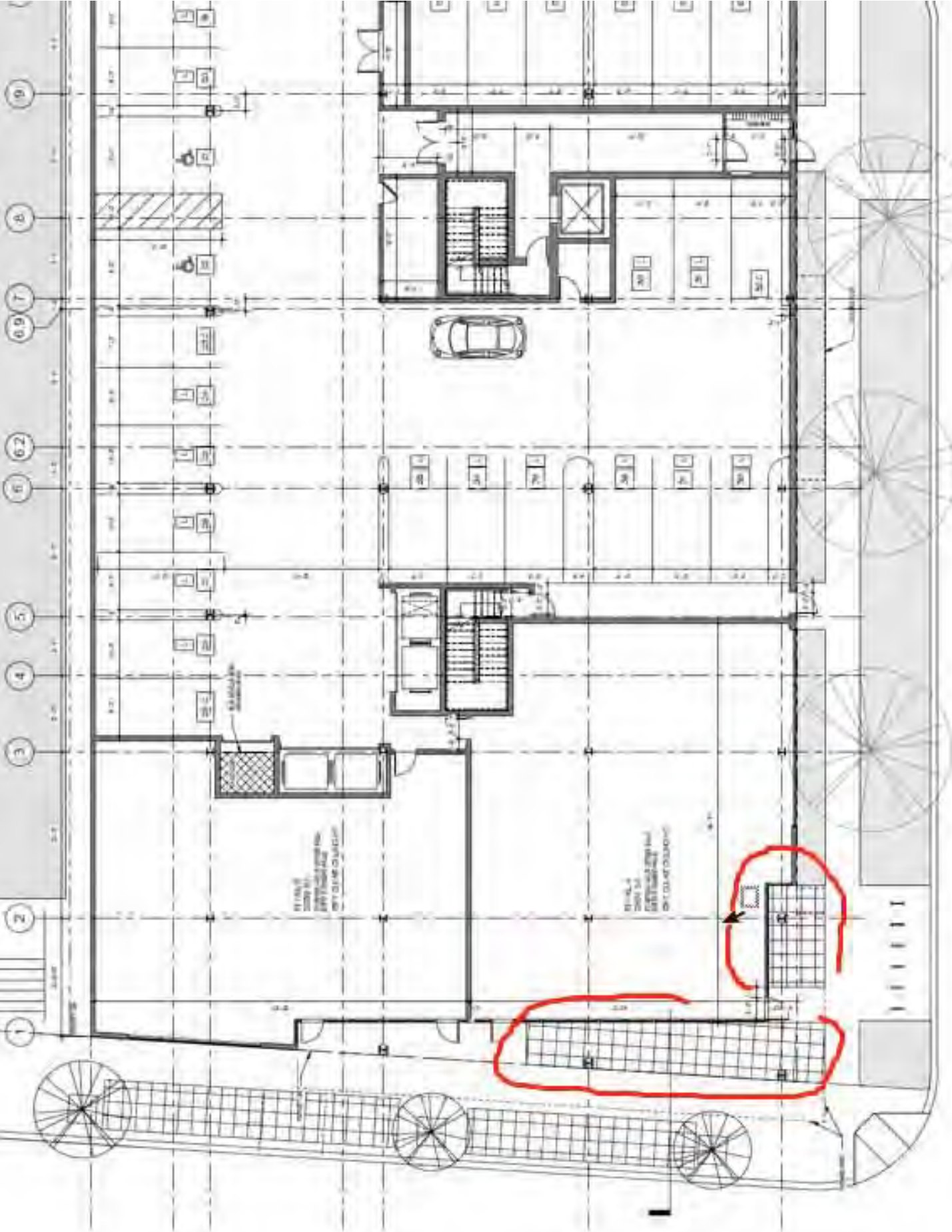


LAKE STREET

N EUCLID AVENUE

STAIRS  
TO  
FLOOR 2  
BY STAIRCASE

STAIRS  
TO  
FLOOR 3  
BY STAIRCASE



ALUMINUM-CLAD WOOD WINDOWS, TYP. JELD-WEN, EAGLE OR SIMILAR. OPERABLES AS INDICATED.

STAIR PENTHOUSE BEYOND.

ROMAN BRICK, COLOR GREY, TYP.

PAINTED STEEL GUARDRAIL, TYP.

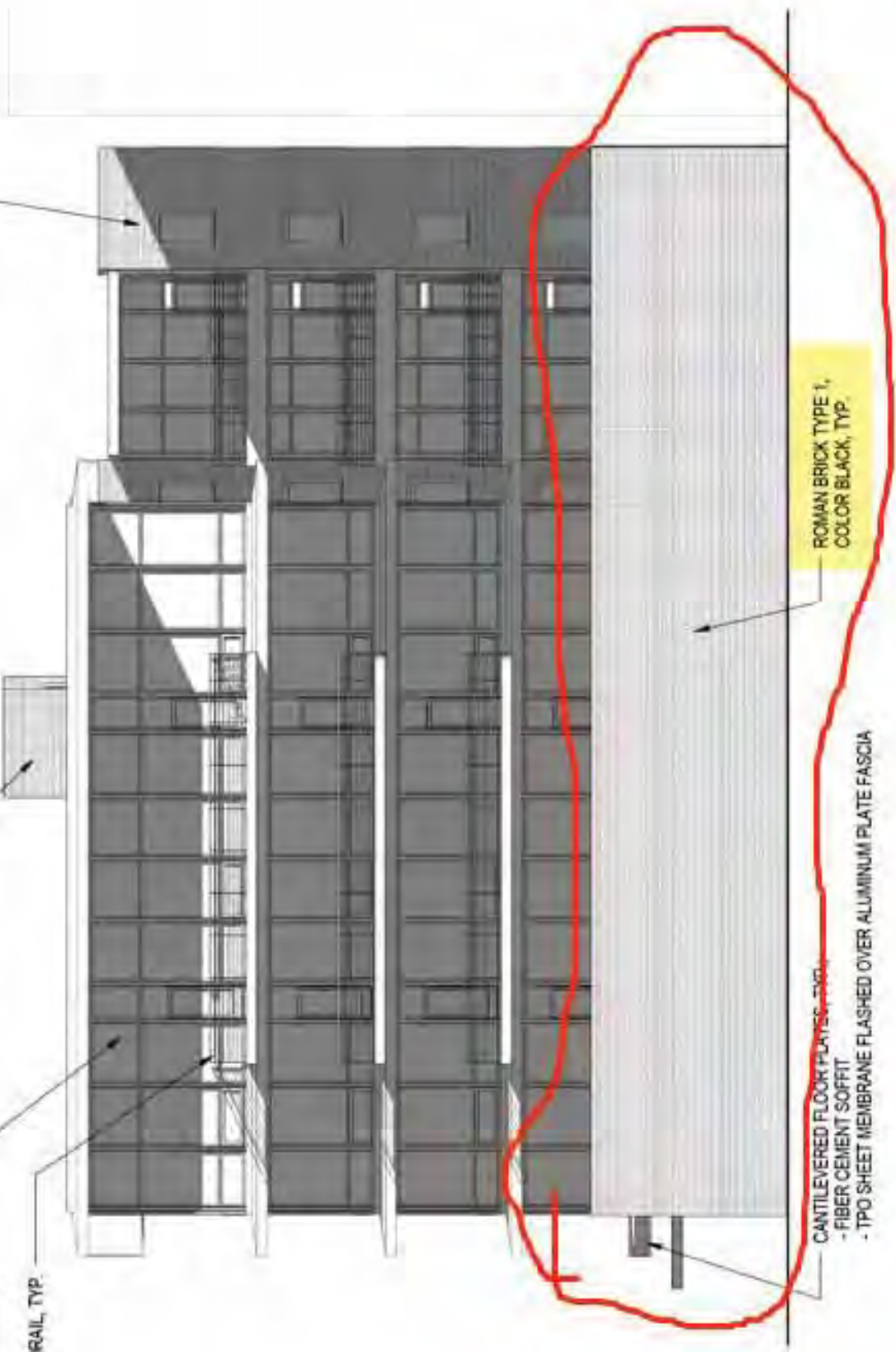
CANTILEVERED FLOOR PLATES, TYP.  
- FIBER CEMENT SOFFIT  
- TPO SHEET MEMBRANE FLASHED OVER ALUMINUM PLATE FASCIA

ROMAN BRICK TYPE 1, COLOR BLACK, TYP.

# NORTH ELEVATION

1

3/32" = 1'-0"





DISTRICT HOUSE

**SECTION 18.  
PHOTOS OF SURROUNDING PROPERTIES & BUILDINGS (INCLUDING LOCATION  
MAP)**

**EXHIBIT 18.1: PHOTOS OF SURROUNDING PROPERTIES & BUILDINGS**

**ARCHITECT**  
**NORTHWORKS**  
 ARCHITECTS + PLANNERS  
 1912 N. Tripp Street  
 Chicago, IL 60612  
 T 312.440.9800  
 F 312.440.9851  
 www.northworks.com

**ARCHITECT**  
**MILLER HULL**  
 71 LOAN PARK BL. 5TH FL.  
 SUITE 500  
 SUITE 500  
 SCHAUMBURG, IL 60196  
 T 630.632.0237

**OWNER**  
**MANQUET DEVELOPMENT GROUP**  
 2208 N. Harvard St.  
 Chicago, IL 60614  
 T 773.292.1400

**OWNER**  
**CAMPBELL COYLE**  
 152 W. Lake St.  
 Suite 200  
 Chicago, IL 60601  
 T 312.582.8106

NO. ISSUED DATE ISSUED FOR  
 3/24/16 Planned Development

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**PROJECT**  
**DISTRICT HOUSE**  
 708 LAKE STREET  
 OAK PARK IL 60302

1542 Project No.  
 NWMS Drawn By  
 North Checked By  
 Drawing No.

**G0.03**

Drawing Name  
 LOCATION MAP AND PHOTOS



- TRANSIT RELATED OVERLAY DISTRICT
- TRUNK LOT W/RIGHT HISTORIC DISTRICT
- EDGEWOLD-OAK PARK HISTORIC DISTRICT
- 100 FT FIBERMETER OUTLINE



PHOTO 1:



PHOTO 2:

LOCATION PHOTOS

**ARCHITECT**  
**NORTHWORKS**  
 ARCHITECTS PLLC  
 1512 N. Troop Street  
 Chicago, IL 60642  
 www.northworks.com  
 T 312.440.8801  
 F 312.440.8851

**ARCHITECT**  
**MILLER HULL**  
 71 COVINGS B. DR. #1  
 SUITE 100  
 SUITE, WA 98101  
 T 206.462.0227

**OWNER**  
**HANQUET DEVELOPMENT GROUP**  
 2238 N. Herold St.  
 Chicago, IL 60647  
 T 773.292.1400

**OWNER**  
**CAMPBELL COYLE**  
 152 W. Lake St.  
 Suite 200  
 Chicago, Illinois 60604  
 T 312.442.0006

NO.	ISSUED DATE	ISSUED FOR
	3/24/16	Planned Development

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**PROJECT**  
 DISTRICT HOUSE  
 708 LAKE STREET  
 OAK PARK IL 60302

1542 Project No.  
 BE Drawn By  
 EAD Checked By  
 North Drawing No.

Drawing Name  
 SITE PHOTOS

**G0.04**



PHOTO 5



PHOTO 6



PHOTO 1



PHOTO 4



PHOTO 7



PHOTO 2



PHOTO 3



PHOTO 8



PHOTO 9

LOCATION PHOTOS



DISTRICT HOUSE

**SECTION 19.  
LOCATION MAP (SEE EXHIBIT 18.1)**

Section 19. Location Map does not include any exhibits. See Exhibit 18.1 for the Location Map, which also includes photographs of the surrounding buildings.

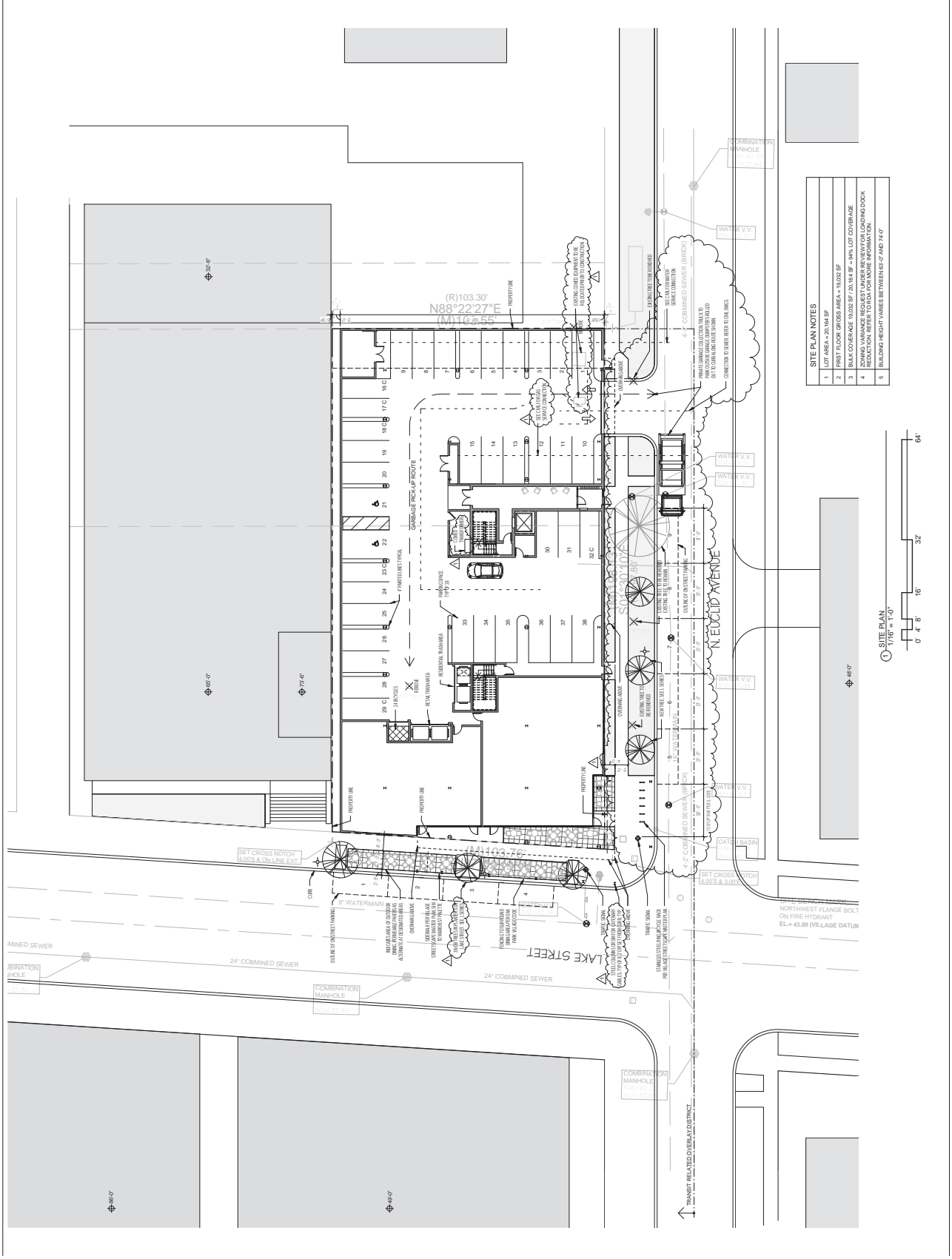


DISTRICT HOUSE

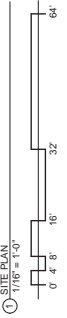
**SECTION 20.  
SITE PLAN**

**EXHIBIT 20.1: SITE PLAN**

<b>ARCHITECT</b> <b>NORTHWORKS</b> ARCHITECTS & PLANNERS 102 N. Troop Street Chicago, IL 60610 T 312-440-9800 F 312-440-9881 www.northworks.com		<b>OWNER</b> <b>MILLER HULL</b> 7100 Lakeside Blvd. #11 Skokie, IL 60077 T 847-638-0333	
<b>OWNER</b> 228 N. Hubbard St. Chicago, Illinois 60647 T 773-292-1400		<b>OWNER</b> <b>CAMPBELL COYLE</b> 152 W. Lake St. Suite 200 Chicago, Illinois 60604 T 312-332-8008	
<b>NO.</b> ISSUED DATE ISSUED FOR 1 4/29/16 Planned Development PRT Response		<b>PROFESSIONAL SEAL</b> © 2016 Northworks, Architects & Planners - All rights reserved. This drawing is the property of Northworks, Architects & Planners and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Northworks, Architects & Planners. Only the registered dimensions should be used. Contractors and installers are advised to verify all dimensions and conditions on site before construction.	
<b>PROJECT</b> DISTRICT HOUSE LLC 708 LAKE STREET OAK PARK IL 60302		<b>PROJECT NO.</b> 1542 <b>DATE</b> 4/29/16 <b>CHECKED BY</b> North <b>DRAWING NO.</b> A0.01	
Drawing Name SITE PLAN		Drawing Name SITE PLAN	



- SITE PLAN NOTES**
1. LOT AREA = 20,164 SF
  2. FIRST FLOOR GROSS AREA = 10,032 SF
  3. BALK COVERAGE 10032 SF / 20,164 SF = 49% LOT COVERAGE
  4. ZONING VARIANCE REQUEST UNDER REVIEW FOR LOADING DOCK REDUCTION. REFER TO ADA FOR MORE INFORMATION.
  5. BUILDING HEIGHT VARIES BETWEEN 6'7\"/>



NOT FOR CONSTRUCTION

1. SITE PLAN  
 1/16" = 1'-0"





DISTRICT HOUSE

**SECTION 21.  
LANDSCAPE PLAN**

**EXHIBIT 21.1: LANDSCAPE PLAN**

- Exhibit 21.1: Landscape Plan



**NOTES - PER VILLAGE OF OAK PARK**

**Public Works Fact Sheet**

**Mandatory Tree Protection Specifications**

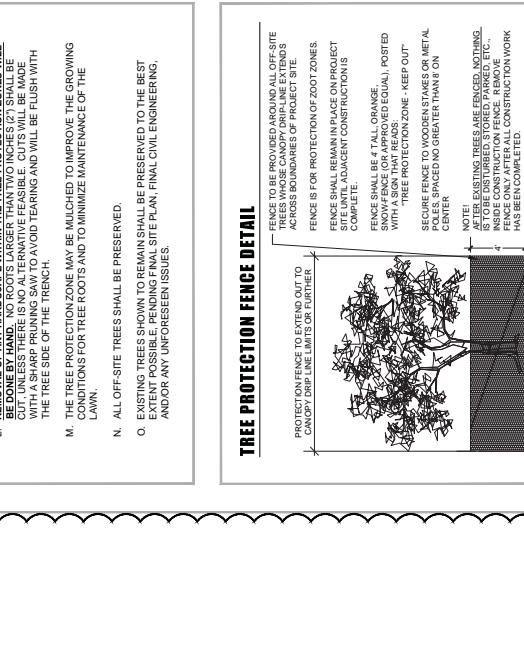
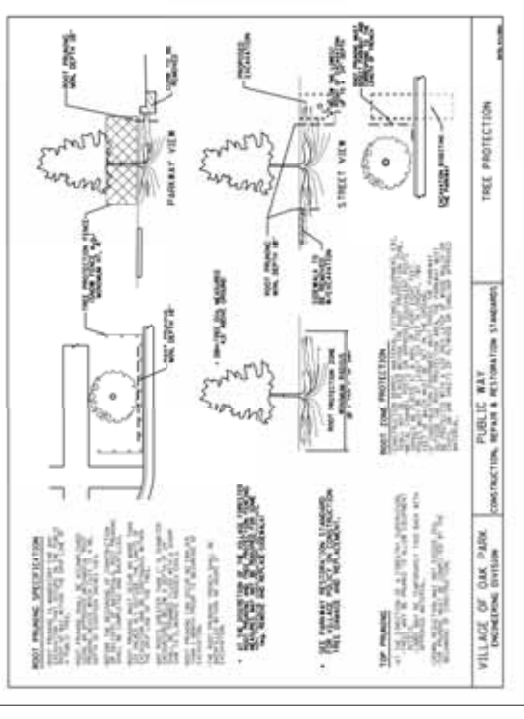
- Violations subject to fine:**
- Any person who violates any provision of these specifications or fails to comply with any notice or permit to the provisions of the specifications upon being held guilty of violation, shall be subject to a fine as provided in Section 11.5 of the Village of Oak Park Code of Ordinances.
  - As the result of the violation of any provision of this Article, the injury, excision or removal of a tree or other plant located on Village owned property is located, the cost of repair or replacement of trees shall be performed at accordance with the latest revision of Chicago street tree inventory, based on the tree's trunk diameter, with relevant parameters indicated by the Illinois Arborist Association.
- Public Works Information contact:**
- Public Works Department  
 100 W. Park Street  
 Oak Park, IL 60452  
 Phone: 708.343.1700  
 e-mail: publicworks@oak-park.org  
 web: www.oak-park.il.gov/publicworks

**NOTES - PER VILLAGE OF OAK PARK**

- Notes:**
1. TREE PRESERVATION:
    - A. ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED TREE PRESERVATION PLAN. IT IS STRONGLY RECOMMENDED TO DOCUMENT THE TREE'S CONDITION PRIOR TO COMMENCING ANY DEMOLITION OR CONSTRUCTION ACTIVITY. NOTIFY MUNICIPAL FORESTRY DEPARTMENT (NOTIFY AT LEAST 48 HOURS IN ADVANCE OF WORK).
    - B. AN APPROVED TREE PRESERVATION PLAN MUST BE AVAILABLE AT THE BUILDING SITE.
    - C. PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITY, INSTALL TREE PRESERVATION FENCE AND PERFORM ROOT PRUNING FOR ALL PROTECTED TREES.
    - D. FENCE THE CRITICAL ROOT ZONE (CRZ) / CANOPY DRIP LINE OF THE EXISTING TREE TO BE PRESERVED WITH TREE PROTECTION FENCE. FENCE TO PREVENT WOUNDS TO THE TREE & SOIL COMPACTION. POST THE FENCE WITH A SIGN STATING "TREE PROTECTION ZONE - KEEP OUT".
    - E. ALL REQUIRED TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE TIME OF FINISH GRADING AND LANDSCAPING.
    - F. NO TRENCING SHOULD BE DONE WITHIN THE TREE PROTECTION ZONES FOR ANY CONSTRUCTION ACTIVITY, UNLESS PRE-APPROVED BY PROJECT ARCHITECT & OR PROJECT LANDSCAPE ARCHITECT.
    - G. NO GRADE CHANGES SHOULD BE DONE WITHIN THE TREE PROTECTION ZONES OF TREES FOR ANY CONSTRUCTION ACTIVITY.
    - H. SHOULD IT BE NECESSARY TO TRENCH WITHIN THE CRZ FOR UTILITIES, TRENCHES SHALL BE HAND DUG. NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT, UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. ALL SMALLER ROOTS THAT REQUIRE CUTTING, SHALL BE CUT WITH A SHARP PRUNING SHEARS. NO ROOTS SHALL BE CUT WITHIN THE CRZ OR WITHIN ANY TIME TWENTY-FIVE PERCENT (25%) OF THE AREA WITHIN THE CRZ IS EITHER RELOCATED OR INSTALLED USING TRENCH-LESS METHODS.
    - I. LOCATE THE PROPOSED WATER AND SEWER LINES OUTSIDE OF THE TREE PROTECTION ZONE OR INSTALL THE SEWER AND WATER UTILITIES USING TRENCH-LESS METHODS. AUGER THROUGH THE ENTIRE TREE PROTECTION ZONE, LOCATE IT'S OUTSIDE OF THE TREE PROTECTION ZONE.
    - J. THE PROPOSED WATER SERVICE LINE (WATER VALVES) ARE TO BE TEN FEET (10') FROM PRESERVED TREES. IF FUTURE UTILITY EXCAVATIONS ARE REQUIRED WITHIN TREE PROTECTION ZONES, USE TRENCH-LESS OR ROOT DAMAGE, WHICH COULD LEAD TO TREE DECLINE.
    - K. AT NO TIME SHALL ANY EQUIPMENT, MATERIALS, SUPPLIES OR FILL SOIL BE PLACED WITHIN TREE PROTECTION ZONES. EXCESSIVE WEIGHT OR SOIL ON THE DUMPSTER WITHIN THE DRIP-LINE (CRZ) OF THE PRESERVED TREE(S).
    - L. **REMOVAL OF ANY HARDWARE WITHIN THE TREE PROTECTION ZONES WILL BE DONE BY HAND.** NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT, UNLESS THERE IS NO ALTERNATIVE FEASIBLE. CUTS WILL BE MADE WITH A SHARP PRUNING SAW TO AVOID TEARING AND WILL BE FLUSH WITH THE TREE SIDE OF THE TRENCH.
    - M. THE TREE PROTECTION ZONE MAY BE MULCHED TO IMPROVE THE GROWING CONDITIONS FOR TREE ROOTS AND TO MINIMIZE MAINTENANCE OF THE LUMP.
    - N. ALL OFF-SITE TREES SHALL BE PRESERVED.
    - O. EXISTING TREES SHOWN TO REMAIN SHALL BE PRESERVED TO THE BEST EXTENT POSSIBLE, PENDING FINAL SITE PLAN, FINAL CIVIL ENGINEERING, AND/OR ANY UNFORESEEN ISSUES.

**NOTES - PER VILLAGE OF OAK PARK**

- Notes:**
1. TREE PRESERVATION:
    - A. ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED TREE PRESERVATION PLAN. IT IS STRONGLY RECOMMENDED TO DOCUMENT THE TREE'S CONDITION PRIOR TO COMMENCING ANY DEMOLITION OR CONSTRUCTION ACTIVITY. NOTIFY MUNICIPAL FORESTRY DEPARTMENT (NOTIFY AT LEAST 48 HOURS IN ADVANCE OF WORK).
    - B. AN APPROVED TREE PRESERVATION PLAN MUST BE AVAILABLE AT THE BUILDING SITE.
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    - F. NO TRENCING SHOULD BE DONE WITHIN THE TREE PROTECTION ZONES FOR ANY CONSTRUCTION ACTIVITY, UNLESS PRE-APPROVED BY PROJECT ARCHITECT & OR PROJECT LANDSCAPE ARCHITECT.
    - G. NO GRADE CHANGES SHOULD BE DONE WITHIN THE TREE PROTECTION ZONES OF TREES FOR ANY CONSTRUCTION ACTIVITY.
    - H. SHOULD IT BE NECESSARY TO TRENCH WITHIN THE CRZ FOR UTILITIES, TRENCHES SHALL BE HAND DUG. NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT, UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. ALL SMALLER ROOTS THAT REQUIRE CUTTING, SHALL BE CUT WITH A SHARP PRUNING SHEARS. NO ROOTS SHALL BE CUT WITHIN THE CRZ OR WITHIN ANY TIME TWENTY-FIVE PERCENT (25%) OF THE AREA WITHIN THE CRZ IS EITHER RELOCATED OR INSTALLED USING TRENCH-LESS METHODS.
    - I. LOCATE THE PROPOSED WATER AND SEWER LINES OUTSIDE OF THE TREE PROTECTION ZONE OR INSTALL THE SEWER AND WATER UTILITIES USING TRENCH-LESS METHODS. AUGER THROUGH THE ENTIRE TREE PROTECTION ZONE, LOCATE IT'S OUTSIDE OF THE TREE PROTECTION ZONE.
    - J. THE PROPOSED WATER SERVICE LINE (WATER VALVES) ARE TO BE TEN FEET (10') FROM PRESERVED TREES. IF FUTURE UTILITY EXCAVATIONS ARE REQUIRED WITHIN TREE PROTECTION ZONES, USE TRENCH-LESS OR ROOT DAMAGE, WHICH COULD LEAD TO TREE DECLINE.
    - K. AT NO TIME SHALL ANY EQUIPMENT, MATERIALS, SUPPLIES OR FILL SOIL BE PLACED WITHIN TREE PROTECTION ZONES. EXCESSIVE WEIGHT OR SOIL ON THE DUMPSTER WITHIN THE DRIP-LINE (CRZ) OF THE PRESERVED TREE(S).
    - L. **REMOVAL OF ANY HARDWARE WITHIN THE TREE PROTECTION ZONES WILL BE DONE BY HAND.** NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT, UNLESS THERE IS NO ALTERNATIVE FEASIBLE. CUTS WILL BE MADE WITH A SHARP PRUNING SAW TO AVOID TEARING AND WILL BE FLUSH WITH THE TREE SIDE OF THE TRENCH.
    - M. THE TREE PROTECTION ZONE MAY BE MULCHED TO IMPROVE THE GROWING CONDITIONS FOR TREE ROOTS AND TO MINIMIZE MAINTENANCE OF THE LUMP.
    - N. ALL OFF-SITE TREES SHALL BE PRESERVED.
    - O. EXISTING TREES SHOWN TO REMAIN SHALL BE PRESERVED TO THE BEST EXTENT POSSIBLE, PENDING FINAL SITE PLAN, FINAL CIVIL ENGINEERING, AND/OR ANY UNFORESEEN ISSUES.



**NORTHERN ARCHITECTS & PLANNERS**

522 N. Third Street  
 Algonquin, IL 60102  
 Phone: 847.879.4019

**MILLER HULL**

71 Columbia St. 6th Fl.  
 Somers, VA 20151  
 Phone: 703.664.0227

**dickson design GROUP**

526 SKYLINE DRIVE  
 ALGONQUIN IL 60102  
 847.879.4019

NO.	ISSUED DATE	ISSUED FOR
1	4/26/16	Owner Review
2	4/15/16	Village Submittal
3	4/27/16	PRT Response

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PROFESSIONAL SEAL

**NOT FOR CONSTRUCTION**

PROJECT: DISTRICT HOUSE  
 708 LAKE STREET  
 OAK PARK, IL 60302

1542 Project No.  
 Drawn By:  
 Checked By:  
 Drawing No.

**L.O.02**

Drawing Name: TREE PRESERVATION & REMOVAL PLAN

NO.	ISSUED DATE	ISSUED FOR
1	4/8/15	Owner Review
2	4/15/15	Village Submittal
3	4/27/15	PRR Response
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**NOT FOR CONSTRUCTION**

PROJECT  
**DISTRICT HOUSE**

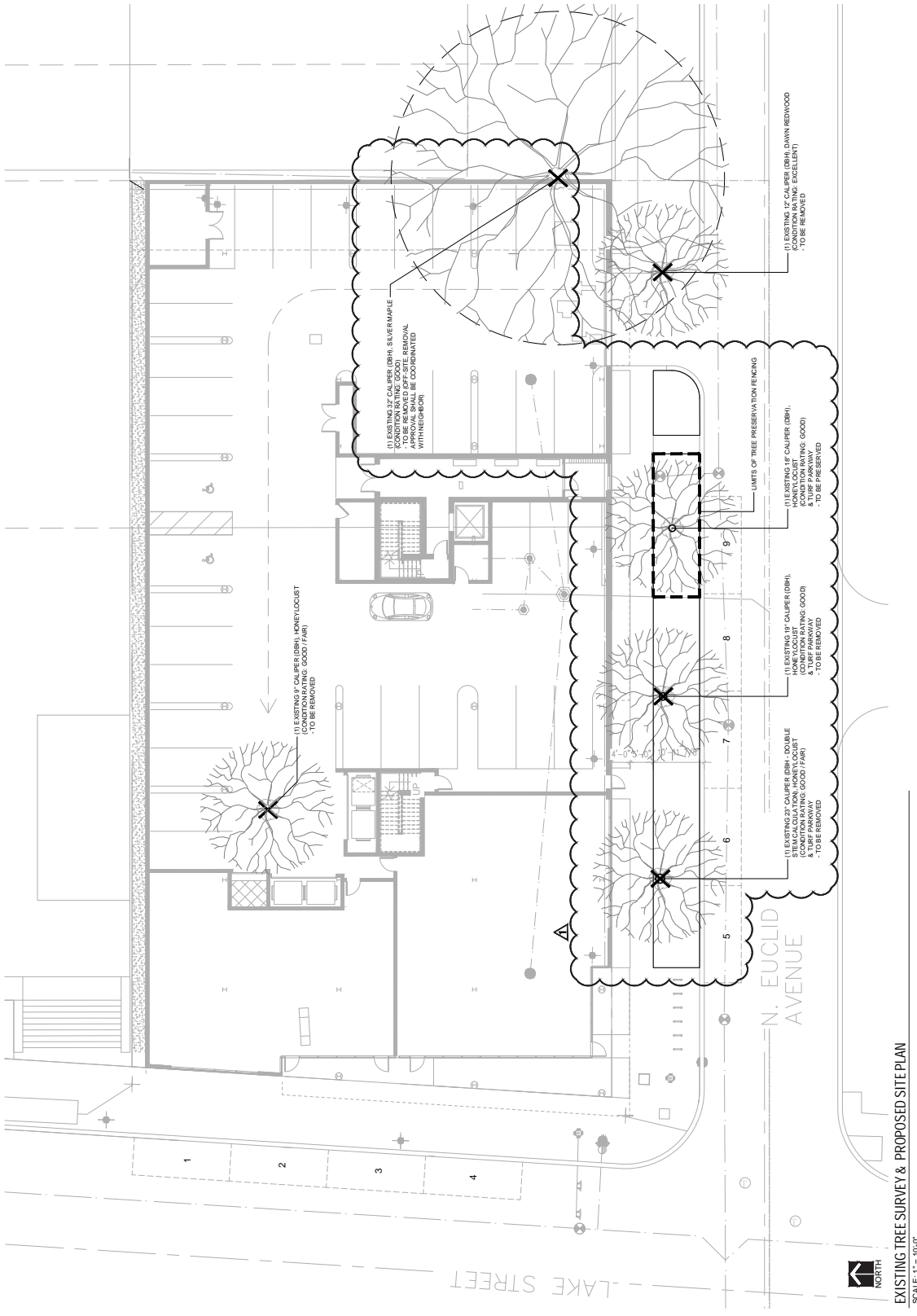
708 LAKE STREET  
 OAK PARK, IL 60302

1542 Project No.  
 SLD Drawn By  
 SLD Checked By

North

Drawing No.  
**L0.03**

Drawing Name  
 TREE PRESERVATION & REMOVAL PLAN



**EXISTING TREE SURVEY & PROPOSED SITE PLAN**

SCALE: 1" = 10'-0"

NOTES:

- EXISTING TREES SHOWN TO REMAIN SHALL BE PRESERVED TO THE BEST EXTENT POSSIBLE, PENDING FINAL SITE PLAN. FINAL CIVIL ENGINEERING, AND/OR ANY UNFORSEEN ISSUES.
- REMOVAL OF TREES SHALL BE PERFORMED BY CERTIFIED ARBORISTS (SEE DETAIL). PROTECTION FENCING SHALL REMAIN INTACT UNTIL ALL CONSTRUCTION ACTIVITIES ON-SITE HAVE BEEN COMPLETED.
- TREE INVENTORY WAS COMPLETED BY CERTIFIED ARBORISTS: THE CARE OF TREES, A DAVEY COMPANY (CHICAGO, IL - TEL: 312.482.2200)





NO.	ISSUED DATE	ISSUED FOR
1	4/2/16	Owner Review
2	4/15/16	Utility Submittal
3	4/29/16	PRT Response
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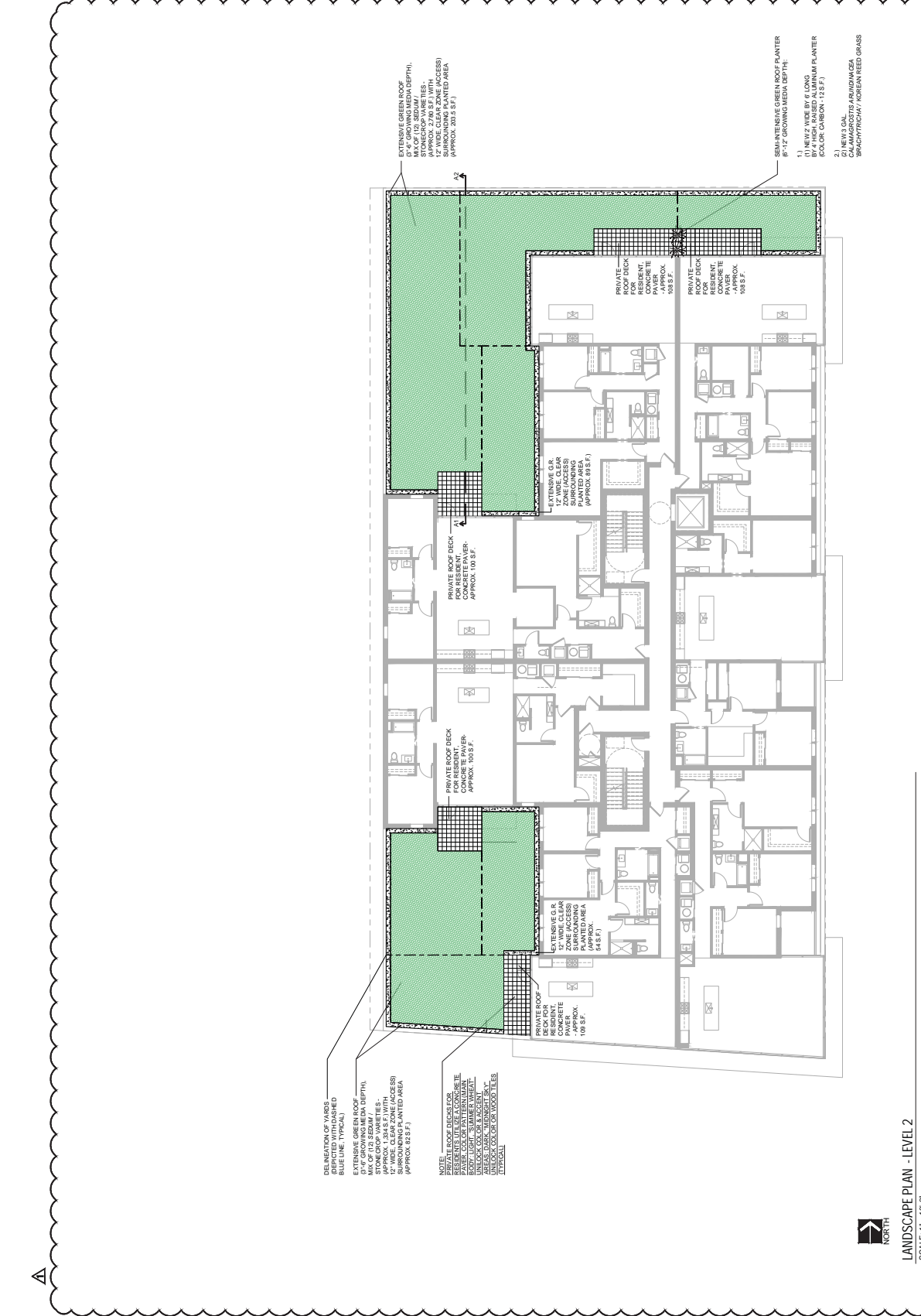
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PROJECT  
**DISTRICT HOUSE**  
 708 LAKE STREET  
 OAK PARK IL 60302

1542 Project No.  
 1542 Drawn By  
 1542 SLD Checked By  
 North Drawing No.

**L1.20**

Drawing Name  
 LANDSCAPE PLAN - LEVEL 2



DELIMITATION OF PLANTS  
 BLUE LINE, TYPICAL

EXTENSIVE GREEN ROOF  
 12" WIDE CLEAR ZONE (ACCESS)  
 SURROUNDING PLANTED AREA  
 (APPROX. 82.5 SF)

NOTE: ROOF DECK FOR  
 RESIDENTS (ULTRA-ACCURATE  
 FINISHES, SEE ARCHITECTURE  
 DRAWINGS FOR DETAILS)  
 UNILOCK COX OR EQUIVALENT  
 UNILOCK COX OR EQUIVALENT  
 TYPICAL

EXTENSIVE GRASS ZONE (ACCESS)  
 SURROUNDING PLANTED AREA  
 (APPROX. 89 SF)

PRIVATE ROOF DECK FOR RESIDENT  
 CONCRETE PAVEMENT  
 (APPROX. 100 SF)

PRIVATE ROOF DECK FOR RESIDENT  
 PAVEMENT  
 (APPROX. 108 SF)

SEMI-INTENSIVE GREEN ROOF PLANTER  
 (9'-12' GROWING MEDIA DEPTH)  
 1) NEW 1/2" WIDE BY 6" LONG  
 BY 4" HIGH PAVED ALUMINUM PLANTER  
 COLOR: CALBORA - 135 FJ  
 2) NEW 1/2" GAL  
 CAL MAGROSTIS/ARIZONA GSA  
 BRACHYPOGON/KOREAN NEED GRASS





## GROUND LEVEL SPECIFICATIONS

### PARKWAY TREE STRUCTURAL SOIL - SPECIFICATIONS

- SITE AMENITY**
- LOCATION: GROUND LEVEL (BELOW GRADE)
  - MODEL: N/A
  - SIZE: N/A
  - MATERIAL: MIX OF CRUSHED STONE, CLAY LOAM, & HYDRO-GEL STABILIZER
  - COLOR: N/A
  - INSTALLATION: BELOW GRADE
  - MANUFACTURER / SUPPLIER: **WATKINS IRRIGATION SYSTEMS SUPPLIES, INC.**  
1100 WEST 17TH AVENUE, SUITE 100, DENVER, CO 80202  
MAPLE PARK, TEL: (303) 633-1999  
OR APPROVED EQUAL

**NOTES**

- INSTALL PER MANUFACTURER'S SPECIFICATIONS!
- Developed and tested at Cornell University, CU-Structural Soil™ is a growth media designed to provide increased rooting volume for tree roots in plantings adjacent to pavement. It is a mix of coarse stone, clay, sand and hydro-gel stabilizer that meets or exceeds compaction specifications for conventional structural soil. The mix is designed to provide a porous, stable, and permeable growth medium that extends urban tree life and growth, optimizes root space under pavement, increases porosity and drainage, and provides a stable pavement base.

### TABLES & CHAIRS - SPECIFICATIONS

- SITE AMENITY**
- LOCATION: GROUND LEVEL & ROOF LEVEL
  - MODEL: PARC CENTRE TABLE
  - SIZE: 30" ROUND (30" X 30")
  - MATERIAL: STEEL IN SILVER
  - INSTALLATION: FREE-STANDING
  - MANUFACTURER / SUPPLIER: **LANDSCAPE FORMS**  
CHICAGO, IL, TEL: 800.521.2546  
OR APPROVED EQUAL

**NOTES**

- USE PER MANUFACTURER'S SPECIFICATIONS!
- SLEEK TABLE TOP READS LIKE A FINE LINE, BUT PROVIDES THE STRENGTH AND DURABILITY OF SOLID STEEL.

**TABLE**

**NOTE!**

TABLES & CHAIRS SHALL BE PROVIDED BY FUTURE TENANTS, THUS, FURNITURE SHOWN IS FOR PLANNING AND ILLUSTRATION ONLY.

### BIKE RACK - SPECIFICATIONS

- SITE AMENITY**
- LOCATION: GROUND LEVEL
  - MODEL: RING BIKE RACK
  - SIZE: 1.5' D X 25" X 27" H
  - MATERIAL: STAINLESS STEEL (ELECTRO POLISHED)
  - INSTALLATION: EMBEDDED
  - MANUFACTURER / SUPPLIER: **LANDSCAPE FORMS**  
CHICAGO, IL, TEL: 800.521.2546  
OR APPROVED EQUAL

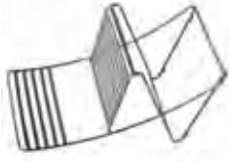
**NOTES**

- INSTALL PER MANUFACTURER'S SPECIFICATIONS! (CORE DRILL 3" DIAMETER, MINIMUM, HOLES 6" DEEP, THEN PREPARE HOLES FOR OUTDOOR ANCHORING CEMENT, THEN PLACE BIKE RACK INTO POSITION AND FILL HOLES WITH ANCHORING CEMENT.)
- SIMPLE CIRCLE HOVERING ABOVE GROUND, PROVIDES ARTFUL SOLUTION FOR BICYCLE STORAGE AND SECURITY.
- MEETS ASSOCIATION OF PEDESTRIAN AND BICYCLE AND PROFESSIONALS (APPB) RECOMMENDATIONS.
- RING CAN BE USED FOR BICYCLES PARALLEL TO RACK. (BICYCLES CAN BE HEADED IN OPPOSITE DIRECTIONS OR CAN BE HEADED IN THE SAME DIRECTION.)
- RACK PROVIDES TWO-POINT CONTACT TO PREVENT BICYCLE FROM TIPPING OVER. (STANDARD D-SHAPED BIKE LOCK CAN SECURE BOTH A WHEEL AND FRAME.)

**FRONT VIEW**

**SIDE VIEW**

**ACTION VIEW**



**CHAIR**

**NOTE!**

TABLES & CHAIRS SHALL BE PROVIDED BY FUTURE TENANTS, THUS, FURNITURE SHOWN IS FOR PLANNING AND ILLUSTRATION ONLY.

- SITE AMENITY**
- LOCATION: GROUND LEVEL & ROOF LEVEL
  - MODEL: PARC CENTRE
  - SIZE: 21" D X 19" W X 33" H
  - MATERIAL: STEEL
  - COLOR: METALLIC SILVER
  - INSTALLATION: FREE-STANDING
  - MANUFACTURER / SUPPLIER: **LANDSCAPE FORMS**  
CHICAGO, IL, TEL: 800.521.2546  
OR APPROVED EQUAL

**NOTES**

- USE PER MANUFACTURER'S SPECIFICATIONS!
- STEEL CONSTRUCTION COUPLED WITH ECONOMY OF FORM MAKE CHAIRS NIMBLE ENOUGH TO MOVE AROUND AND HEAVY ENOUGH TO HOLD THEIR GROUND.
- CHAIRS CAN BE SEATED OR PLACING BOUNCE.
- CHAIRS STACK.



**SITE AMENITY**

- LOCATION: GROUND LEVEL
- MODEL: RING BIKE RACK
- SIZE: 1.5' D X 25" X 27" H
- MATERIAL: STAINLESS STEEL (ELECTRO POLISHED)
- INSTALLATION: EMBEDDED
- MANUFACTURER / SUPPLIER: **LANDSCAPE FORMS**  
CHICAGO, IL, TEL: 800.521.2546  
OR APPROVED EQUAL

**NOTES**

- INSTALL PER MANUFACTURER'S SPECIFICATIONS! (CORE DRILL 3" DIAMETER, MINIMUM, HOLES 6" DEEP, THEN PREPARE HOLES FOR OUTDOOR ANCHORING CEMENT, THEN PLACE BIKE RACK INTO POSITION AND FILL HOLES WITH ANCHORING CEMENT.)
- SIMPLE CIRCLE HOVERING ABOVE GROUND, PROVIDES ARTFUL SOLUTION FOR BICYCLE STORAGE AND SECURITY.
- MEETS ASSOCIATION OF PEDESTRIAN AND BICYCLE AND PROFESSIONALS (APPB) RECOMMENDATIONS.
- RING CAN BE USED FOR BICYCLES PARALLEL TO RACK. (BICYCLES CAN BE HEADED IN OPPOSITE DIRECTIONS OR CAN BE HEADED IN THE SAME DIRECTION.)
- RACK PROVIDES TWO-POINT CONTACT TO PREVENT BICYCLE FROM TIPPING OVER. (STANDARD D-SHAPED BIKE LOCK CAN SECURE BOTH A WHEEL AND FRAME.)

**FRONT VIEW**

**SIDE VIEW**

**ACTION VIEW**

NO.	ISSUED DATE	ISSUED FOR
1	4/9/16	Owner Review
2	4/15/16	Final Submittal
3	4/27/16	RRT Response

PROFESSIONAL SEAL

**NOT FOR CONSTRUCTION**

PROJECT:  
**DISTRICT HOUSE**  
708 LAKE STREET  
OAK PARK, IL 60302

1542 Project No.  
1542 Drawn By  
SLD Checked By  
North Drawing No.

**L2.00**

Drawing Name  
LANDSCAPE PLAN - GROUND LEVEL SPECIFICATIONS

NO.	ISSUED DATE	ISSUED FOR
	4/9/16	Owner Review
	4/12/16	Volume Submittal
A	4/27/16	RIT Response

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PROJECT: DISTRICT HOUSE  
 708 LAKE STREET  
 OAK PARK, IL 60302

1542 Project No.  
 Drawn By  
 Checked By  
 Drawing No.

North

**L2.10**

Drawing Name: LANDSCAPE PLAN, GREEN ROOF SPECIFICATIONS

NOT FOR CONSTRUCTION

**LEVEL 2 & ROOF LEVEL SPECIFICATIONS**

**GREEN ROOF, EXTENSIVE SYSTEM - SPECIFICATIONS**

EXTENSIVE GREEN ROOF COMPONENTS TO BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
 - PRIOR TO INSTALLATION OF GREEN ROOF SYSTEM, A 24HR. FLOOD TEST SHALL BE CONDUCTED AND APPROVED BY THE ARCHITECT AND THE MANUFACTURER.  
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND APPROVALS.  
 - ALL GREEN ROOF COMPONENTS ARE AVAILABLE THROUGH GREENROOF SOLUTIONS, INC. (GLENEVIEW, IL - TEL: 866.675.9963) OR APPROVED EQUAL.

**GREEN ROOF COMPONENTS:**

- SEDUM MIX:**
  - (7% of matrix) Sedum matrona / Goldmoor Stonescop
  - (7% of matrix) Sedum kamtschatkum / Orange Stonescop
  - (7% of matrix) Sedum kamtschatkum var. ellacomarum / Orange Stonescop
  - (7% of matrix) Sedum album / Caucasian Stonescop
  - (7% of matrix) Sedum album var. cooperianum / Dragon's Blood Stonescop
  - (25% of matrix) Sedum album var. Summer Glory / Summer Glory Stonescop
  - (5% of matrix) Sedum album / White Stonescop
  - (7% of matrix) Sedum album / Rocky Stonescop
  - (7% of matrix) Sedum album Gaur / Fuchs Gut Stonescop
  - (7% of matrix) Sedum matronanum / Zillstamm / Madonnenst. Stonescop
- PLANTING RATE:**
  - PRE-GROWN, VEGETATED MATS
  - 2-6 PLUGS PER SQUARE FOOT
  - INDIVIDUAL PLUGS
  - 2-6 PLUGS PER SQUARE FOOT
- OR**
- GREEN ROOF, EXTENSIVE SYSTEM - PLANT MIX MATRIX**
  - GREEN ROOF PLANTING MEDIA IS AVAILABLE THROUGH MIDWEST TRADING OR APPROVED EQUAL.
  - MIDWEST EXTENSIVE MEDIA
  - MIDWEST SEMI-INTENSIVE MEDIA

**GREEN ROOF, EXTENSIVE SYSTEM - DETAILS**

ELEVATION VIEW  
 SCALE: 1/2" = 1'-0"

**LEVEL 2 & ROOF LEVEL SPECIFICATIONS**

- DESIGNATION:** 25-30%
- DESCRIPTION:** ORGANIC DRAINAGE LAYER MADE FROM HOTMIX WELLED EXPANDED CLAY AGGREGATE
- COMPLETION:** 25-30%
- COMPARISONS:** WITH ASTM D 1030 AND TFL
- FUNCTION:** PROVIDES A PROTECTION AGAINST PARASITIC ANIMALS AND OFFERS BY A RESISTANT FABRIC (P/30) FOR EXTENSIVE ZONE AND DISTRIBUTED AT A 7" MINIMUM DEPTH FOR THE SEMI-INTENSIVE ZONE (DEPTH RANGES ACCORDINGLY FROM 1.5" TO 5")
- MOISTURE PROTECTION MAT:**
  - MODEL # BERTHIN (02, 747)
  - WEIGHT: 1.45 lbs/sq yd
  - ROLL SIZE: 8'x150'
  - ROLL WEIGHT: 84.39
- DESCRIPTION:** DOUBLE-SIDED AND SINGLE-SIDED BUTYL TAPE AVAILABLE FOR A WATERPROOF SEAL
- FUNCTION:** PROTECTS MEMBRANE FROM THE DRAINAGE LAYER
- COMPLETION:** 100%
- COMPARISONS:** WITH THE DRAINAGE LAYER
- FUNCTION:** WILL NOT DECOMPOSE OR ALLOW FUNGAL GROWTH
- MOISTURE PROTECTION MAT:**
  - MODEL # BERTHIN (02, 747)
  - WEIGHT: 1.45 lbs/sq yd
  - ROLL SIZE: 8'x150'
  - ROLL WEIGHT: 84.39
- DESCRIPTION:** DOUBLE-SIDED AND SINGLE-SIDED BUTYL TAPE AVAILABLE FOR A WATERPROOF SEAL
- FUNCTION:** PROTECTS MEMBRANE FROM THE DRAINAGE LAYER
- COMPLETION:** 100%
- COMPARISONS:** WITH THE DRAINAGE LAYER
- FUNCTION:** WILL NOT DECOMPOSE OR ALLOW FUNGAL GROWTH

**DRAINAGE GEO-FOAM PANEL LAYER:**  
 COMPRESSION STRENGTH: 40,000 psi  
 COMPRESSIVE STRAIN: 10% (STRENGTH) 2.5% (PERMEABILITY)  
 FLOW: 15 g/min/m²  
 PERMEABILITY: 15 g/min/m²  
 ROLL WEIGHT: 80.39

**DESCRIPTION:**  
 - GEO-NET FRINGS IS FUSED TO NON-WOVEN FILTER FABRIC ON BOTH SIDES  
 - GEO-NET FRINGS IS FUSED TO NON-WOVEN FILTER FABRIC ON BOTH SIDES  
 - CRUSH PROOF YET FLEXIBLE TO CONFORM TO IRREGULAR OR SLOPED SURFACES  
 - RECOMMENDED UNDER ROOT BARRIER, REEO OR REEO OVER WATERPROOFING MEMBRANES THAT CANNOT WITHSTAND CONSTANT INSTABILITY



NO.	ISSUED DATE	ISSUED FOR
1	4/27/16	Owner Review
2	4/27/16	Owner Review
3	4/27/16	Village Submital
4	4/27/16	RT Response
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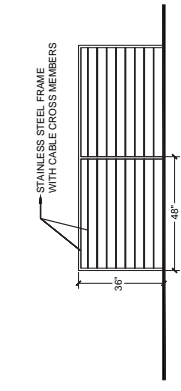
PROJECT  
 DISTRICT HOUSE  
 708 LAKE STREET  
 OAK PARK IL 60302  
 1542 Project No.  
 SLD Drawn By  
 SLD Checked By  
 North Drawing No.

**L2.30**

Drawing Name  
 LANDSCAPE PLAN, GREEN ROOF  
 SPECIFICATIONS

**GROUND LEVEL DETAIL**

**OUTDOOR TERRACE AREA - DETAILS**



NOTE:  
 DEPENDING UPON THE TENANT, FENCING MAY BE  
 REQUIRED AROUND THE SEATING AREAS. FENCE  
 STYLE OFFERED FOR ILLUSTRATIVE PURPOSES ONLY

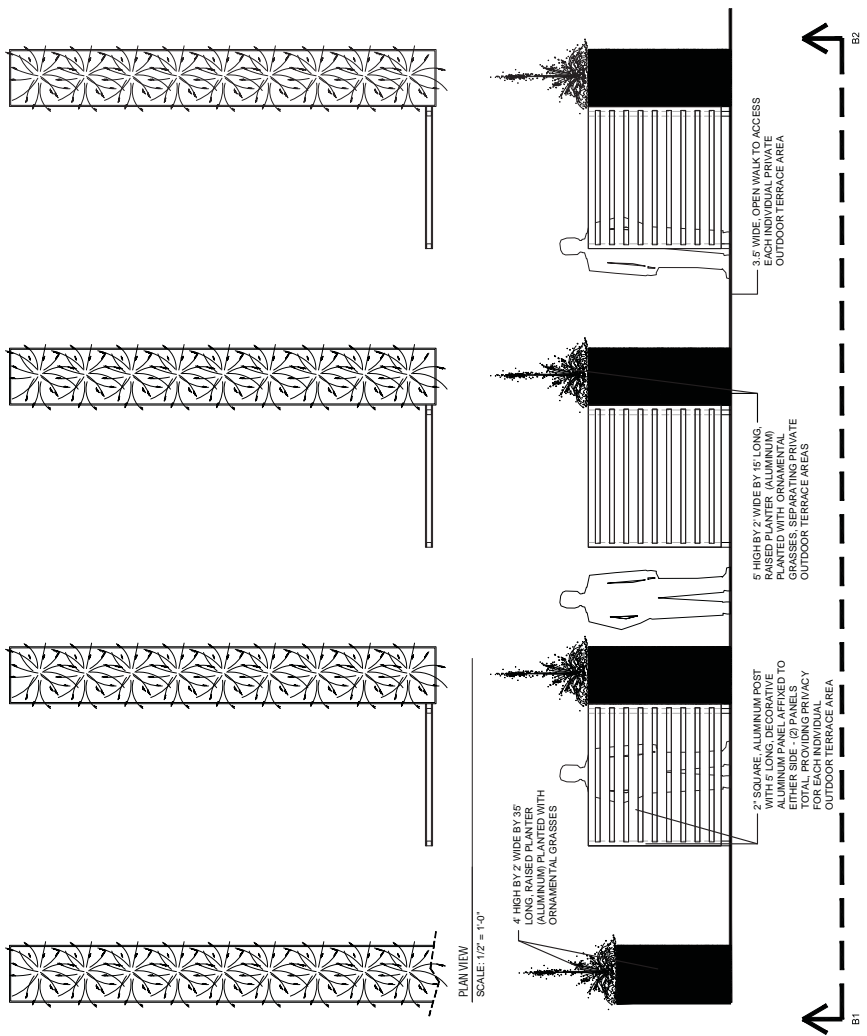
ELEVATION VIEW  
 SCALE: 1/2" = 1'-0"

INSPIRATION



**ROOF LEVEL DETAILS**

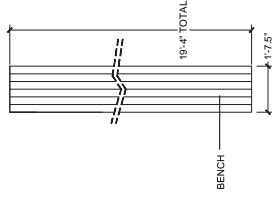
**PRIVATE OUTDOOR TERRACE AREA - DETAILS**



**ROOF LEVEL DETAILS**

**PRIVATE OUTDOOR TERRACE AREA - DETAILS**

**COMMON OUTDOOR TERRACE AREA - DETAILS, BENCH**

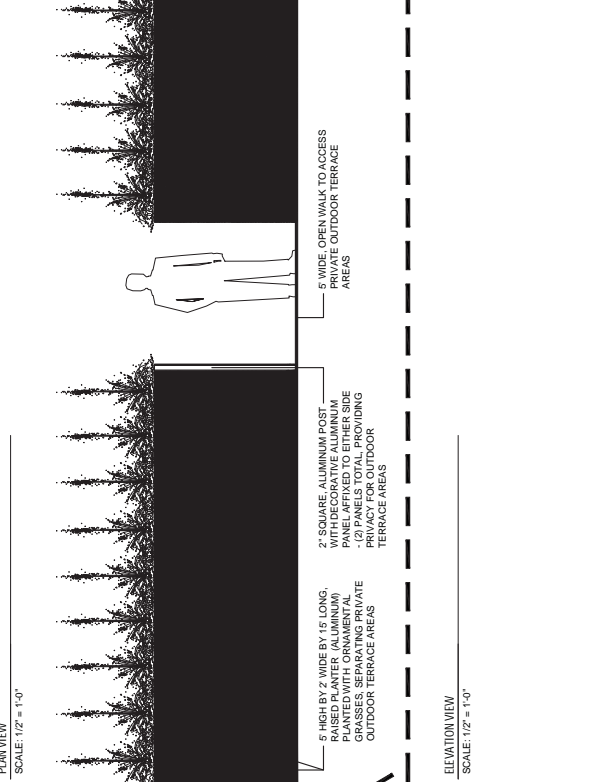


PLAN VIEW  
SCALE: 1/2" = 1'-0"

ELEVATION VIEW  
SCALE: 1/2" = 1'-0"

PLAN VIEW  
SCALE: 1/2" = 1'-0"

ELEVATION VIEW  
SCALE: 1/2" = 1'-0"



PLAN VIEW  
SCALE: 1/2" = 1'-0"

ELEVATION VIEW  
SCALE: 1/2" = 1'-0"

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ARCHITECTS + PLANNERS  
1525 N. Third Street  
Baltimore, MD 21202  
www.nwks.com  
T 410-640-8600  
F 410-640-8082

**MILLER HULL**  
71 Columbia St. 4th Fl.  
Baltimore, VA 20701  
T 410-652-6227

**dickson design**  
526 SKYLINE DRIVE  
ALGONQUIN, IL 60102  
847 878 4019

NO.	ISSUED DATE	ISSUED FOR
1	4/24/16	Owner Review
2	4/15/16	Volume Submittal
3	4/27/16	RVT Response

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PROJECT  
DISTRICT HOUSE

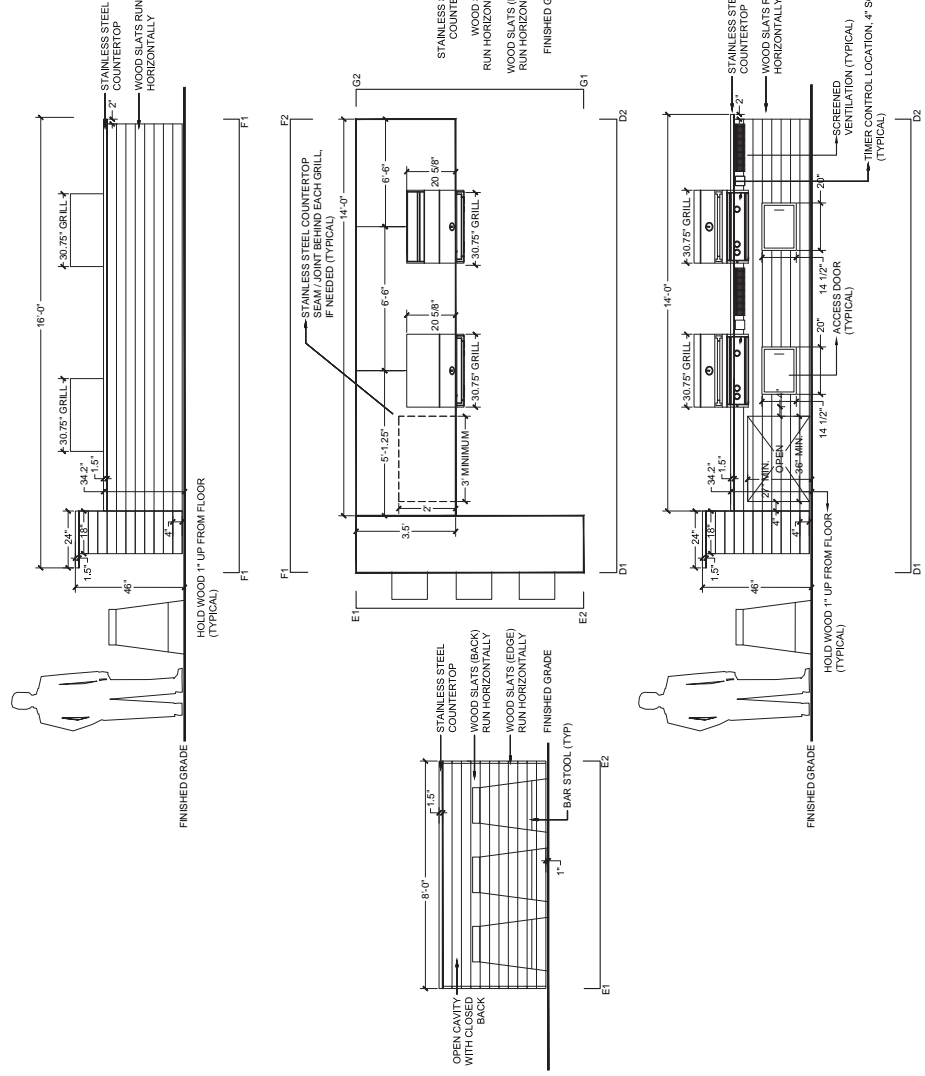
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OAK PARK, IL 60302

1542 Project No.  
Drawn By  
SJD  
Checked By  
North  
Drawing No.  
**L2.40**

Drawing Name  
LANDSCAPE PLAN - GREEN ROOF SPECIFICATIONS

**ROOF LEVEL DETAILS**

**COMMON OUTDOOR TERRACE AREA - DETAILS, GRILL / BAR COUNTER**



**GRILL / BAR COUNTER - SPECIFICATIONS**

1. GRILL COUNTERMATERIAL SHALL BE:
  - ALTERNATIVE 1 - THE WOOD SHALL BE FINISHED WITH TONGUE OIL TO GUARD AGAINST THE ELEMENTS
  - STAINLESS STEEL COUNTERTOP OR APPROVED EQUAL / ALTERNATIVE
2. GRILLS SHALL BE:
  - SOURCE BY OTHERS
  - 12 3/4" WIDE GRILLS OR APPROVED EQUAL
  - FINISHED WITH TONGUE OIL TO GUARD AGAINST THE ELEMENTS
  - PER MANUFACTURER'S SPECIFICATIONS INCLUDING PROPER VENTING
  - PER MANUFACTURER'S SPECIFICATIONS PRESSURE SUPPLIED TO GRILL SHALL BE 7" WC
  - SUPPLIED BY LESURE WORLD (TEL 847 586 1771 - WWW.LESUREL.COM) OR
  - HARLEON GOURMET GRILLES (WWW.HARLEONGRILLES.COM)
3. GRILL COUNTER SHALL HAVE OPERABLE DOORS ON FRONT FOR ACCESS (GASLINE STORAGE; ACCESS TO REFRIGERATOR; ACCESS TO EQUIPMENT) AND ACCESS TO REFRIGERATOR. DOOR SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS (SEE SPECIFICATIONS PAGE 8775 IN 194 - SHELBY TWP., IN) & MANUFACTURED BY PRE-MAC (WWW.PREMAC.COM)
4. GRILL COUNTER SHALL HAVE VENTILATION VENTILATION OPENINGS SHALL BE SCREENED
5. GRILL COUNTER SHALL HAVE PUSHLIGHTING MOUNTED ON BUILDING, DIRECTED TOWARD GRILL
6. INTERIOR OF CABINET SHALL BE CONSTRUCTED OF STAINLESS STEEL FRAME & DOORVENS
7. FINISH MATERIAL, SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE OWNER, LANDSCAPE ARCHITECT ASSUMES NO LIABILITY / RESPONSIBILITY FOR RECOMMENDED SELECTIONS
8. CONSTRUCTION DETAILS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY / RESPONSIBILITY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CONDITIONS (STRUCTURE & UTILITY LOCATIONS) AND PER PROJECT CLIMATE CONDITIONS.

ELEVATION & PLAN VIEWS  
SCALE: 1/2" = 1'-0"

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**ARCHITECTS & PLANNERS**

1522 N. Third Street  
 Champaign, IL 61814  
 www.nnna.com

**MILLER HULL**  
 71 Cambridge St. 6th Fl.  
 Salem, VA 23104

**dickson design**  
 studio

526 SKYLINE DRIVE  
 ALGONQUIN IL 60102  
 847 878 4019

NO.	ISSUED DATE	ISSUED FOR
1	4/24/16	Owner Review
2	4/15/16	Village Submittal
3	4/27/16	RRT Response

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PROJECT:  
**DISTRICT HOUSE**  
 708 LAKE STREET  
 OAK PARK, IL 60302

1542 Project No.  
 Drawn By  
 SLD Checked By  
 North Drawing No.

**L2.50**

Drawing Name  
**LANDSCAPE PLAN - GREEN ROOF SPECIFICATIONS**



# DISTRICT HOUSE

## **SECTION 22. DETAILED SIGN ELEVATIONS**

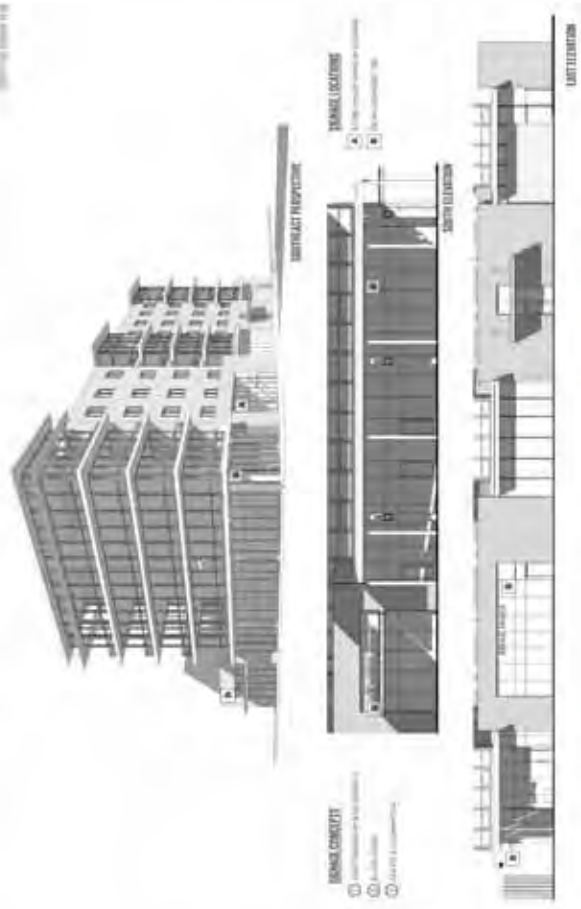
### **EXHIBIT 22.1: SIGN ELEVATIONS AND STANDARDS**

The District House team will establish an attractive and highly recognizable Project image through high quality modern architecture, signage, lighting, landscaping, and pedestrian amenities. While the signage associated with the Project and the retail component has not yet been finalized, restrictive signage and storefront standards will guide retailers on branding opportunities.

The purpose of the sign criteria is to promote consistent, high quality signage, while allowing tenants the freedom to create unique, customized graphics, which are consistent with the overall store design. The design of all signage and graphics is subject to prior written approval by Landlord. Conformance is strictly enforced, and non-conforming, uninteresting, or inappropriate signage will be rejected. Note that it will be the tenant's responsibility to obtain approval from the Village of Oak Park and to insure compliance with all local codes and ordinances.

Sign elevations and standards follow in Exhibit 22.1: Sign Elevations and Standards. Final sign design and the written documentation to be incorporated into leases will be finalized at a later date.

- Exhibit 22.1: Sign Elevations and Standards



**NORTHWORKS**  
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 1100 N. Dearborn Street  
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 Fax: 312.467.1001  
 www.campbellcoyle.com

**GENERAL NOTES**  
 1. CONCEPT SIGNAGE DESIGN IS FOR INFORMATION ONLY.  
 2. ALL SIGNAGE SHALL BE DESIGNED IN ACCORDANCE WITH THE ILLINOIS SIGN CODE, CHAPTER 7, ARTICLE 7.01, WHICH IS INCORPORATED BY REFERENCE INTO THE CITY OF CHICAGO ORDINANCES, CHAPTER 23, 2009, AMENDED THROUGH OCTOBER 7, 2014.

NO.	REVISION	DATE	ISSUED FOR
1	ISSUED FOR PERMITTED DEVELOPMENT		
2	ISSUED FOR PERMITTED DEVELOPMENT		

**PROFESSIONAL SEAL**  
 ARCHITECTURE  
 PROFESSIONAL SEAL

**PROJECT**  
 PROJECT NAME

**700 LAKE STREET**  
 PROJECT NO.  
 ADDRESS  
 CHECKED BY  
 DRAWING NO.

**A2.10**  
 DRAWING NUMBER

**SIGNAGE DESIGN CONCEPTS**

1. SIGNAGE DESIGN CONCEPTS





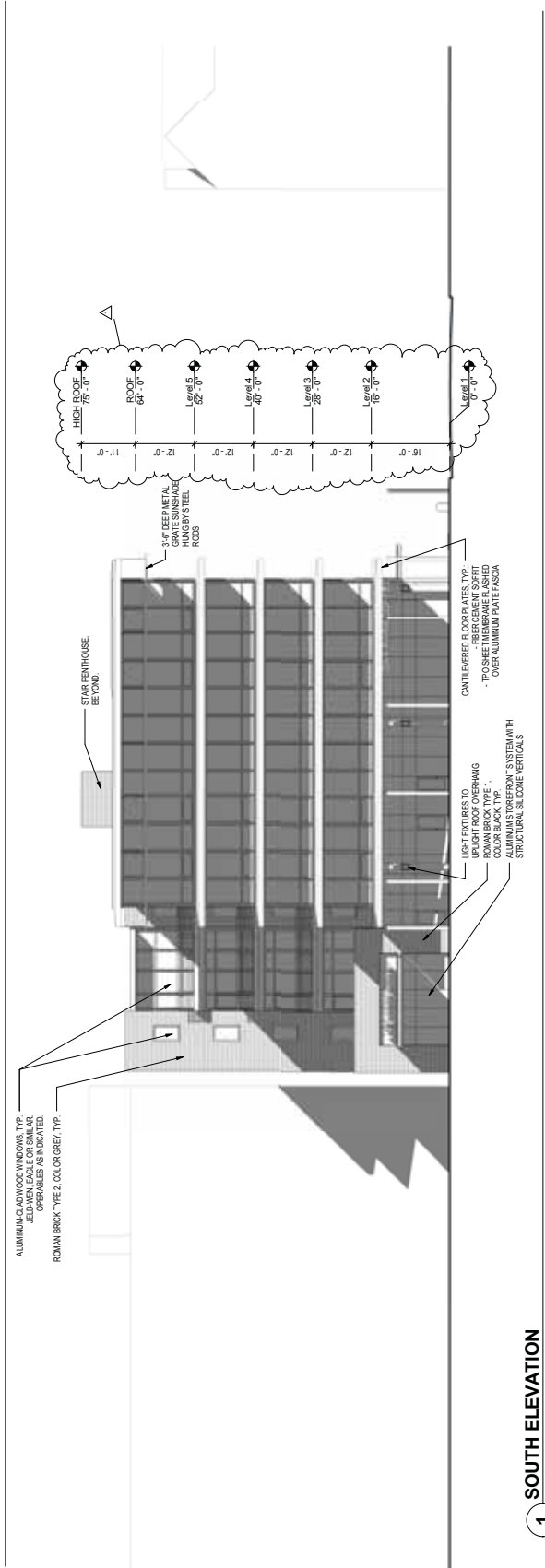


DISTRICT HOUSE

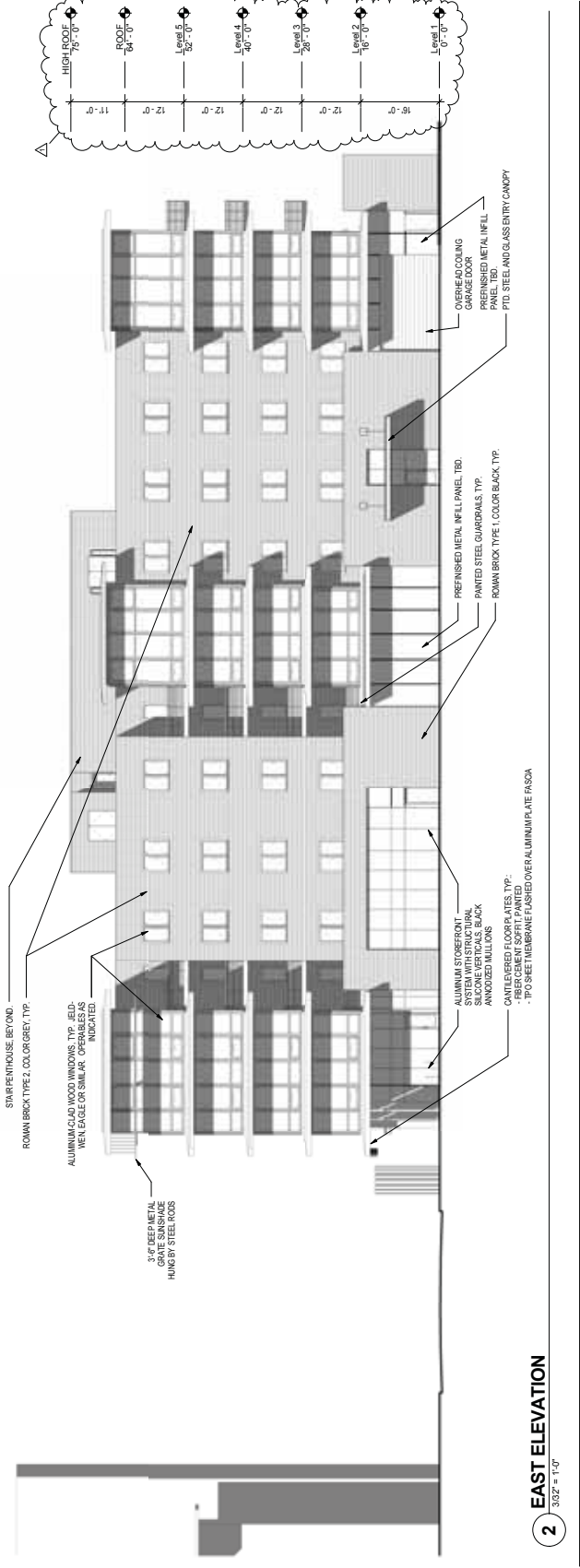
**SECTION 23.  
BUILDING ELEVATIONS**

**EXHIBIT 23.1: BUILDING ELEVATIONS**

<b>ARCHITECT</b> <b>NORTHWORKS</b> ARCHITECTS + PLANNERS 512 N. Third Street Chicago, IL 60610 www.nwks.com T 312.240.8800 F 312.240.8801		<b>CLIENT</b> <b>MILLER HULL</b> 710 W. Lake Street South, VA 20114 T 703.682.0827		<b>OWNER</b> <b>CAMPBELL COYLE</b> 152 W. Lake St. Chicago, IL 60604 T 312.282.8006		<b>GENERAL NOTES - EXTERIOR ELEVATIONS</b> 1. SEE SHEET A.027 FOR EXTERIOR WALL TYPES	
<b>PROJECT</b> 708 LAKE STREET		<b>PROJECT NO.</b> 0800		<b>ISSUED FOR</b> Planned Development		<b>NO.</b>   <b>ISSUED DATE</b>   <b>ISSUED FOR</b>	
<b>PROJECT STATUS</b> Project Status		<b>AUTHOR</b> Designer		<b>DATE</b> 3/24/16		<b>FOR</b> PRT Response	
<b>PROJECT</b>		<b>DRAWN BY</b> Designer		<b>NO.</b>   <b>DATE</b>   <b>DESCRIPTION</b>		© 2015 Northworks Architects & Planners. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Northworks Architects & Planners.	
<b>PROJECT</b>		<b>DIRECTED BY</b> Designer		<b>NO.</b>   <b>DATE</b>   <b>DESCRIPTION</b>		<b>PROFESSIONAL SEAL</b>	
<b>PROJECT</b>		<b>DRAWING NO.</b> North		<b>NO.</b>   <b>DATE</b>   <b>DESCRIPTION</b>		<b>DRAWING NAME</b> BUILDING ELEVATIONS	
<b>PROJECT</b>		<b>SCALE</b> North		<b>NO.</b>   <b>DATE</b>   <b>DESCRIPTION</b>		<b>SCALE</b> North	
<b>PROJECT</b>		<b>SCALE</b> North		<b>NO.</b>   <b>DATE</b>   <b>DESCRIPTION</b>		<b>SCALE</b> North	



**1** SOUTH ELEVATION  
3/32" = 1'-0"



**2** EAST ELEVATION  
3/32" = 1'-0"

ARCHITECT  
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 Washington, DC 20004  
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 F 202.462.9802  
 www.nwpa.com

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**MILLER HULL**  
 ARCHITECTS  
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 Seattle, WA 98104  
 T 206.462.0827

OWNER  
  
 2209 N. Harvard St.  
 Chicago, Illinois 60607  
 T 773.262.1400

OWNER  
  
 152 W. Market St.  
 Chicago, Illinois 60604  
 T 312.262.8096

**GENERAL NOTES - EXTERIOR ELEVATIONS**  
 1. SEE SHEET A2.02 FOR EXTERIOR WALL TYPES

NO.	ISSUED DATE	ISSUED FOR
1	3/24/16	Planned Development
	4/29/16	RPT Response

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PROFESSIONAL SEAL

Project Status

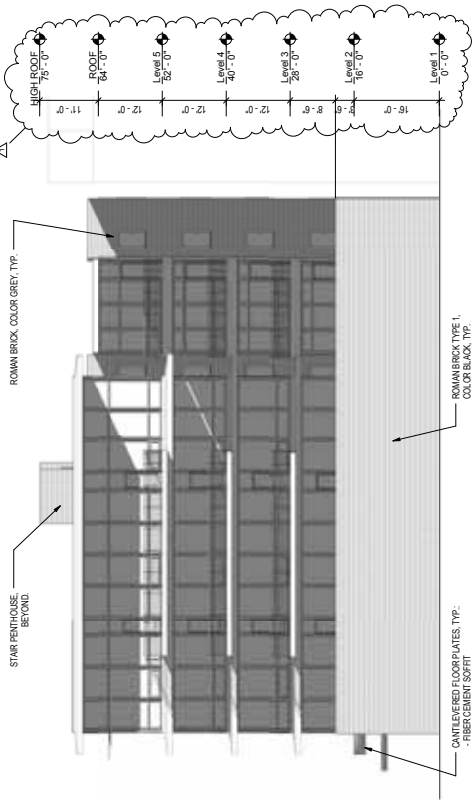
PROJECT

708 LAKE STREET

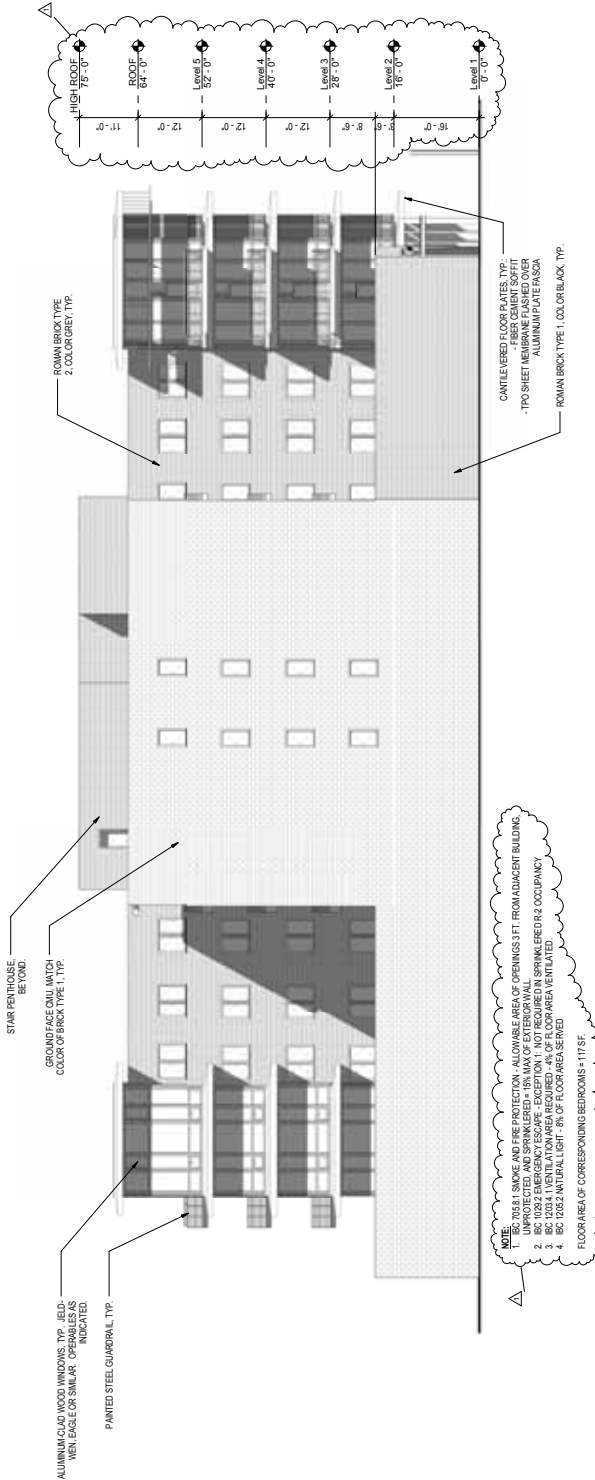
0800 Project No.  
 A2.02 Drawing No.  
 A2.02 Drawing No.  
 North Drawing No.

**A2.02**

Drawing Name  
 BUILDING ELEVATIONS



**1 NORTH ELEVATION**  
 3/32" = 1'-0"



**2 WEST ELEVATION**  
 3/32" = 1'-0"

NOTE:  
 1. ALL BRICK AND TILE PATTERNS IN THIS AREA OF PENNISI FROM ADJACENT BUILDING. UNPROTECTED AND SPRINKLED - 15A MAX OF EXTERIOR WALL.  
 2. BC 1029 EMERGENCY ESCAPE - EXCEPTION 1, NOT REQUIRED IN SPRINKLER R2 OCCUPANCY.  
 3. BC 1029 EMERGENCY ESCAPE - EXCEPTION 2, NOT REQUIRED IN SPRINKLER R2 OCCUPANCY.  
 4. BC 1029 NATURAL LIGHT OF FLOOR AREA SERVED.  
 FLOOR AREA OF CORRESPONDING BEDROOMS = 117 SF.



DISTRICT HOUSE

**SECTION 24.  
FLOOR PLANS**

**EXHIBIT 24.1: FLOOR PLANS**

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F 312.440.9801  
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**CAMPBELL COYLE**  
OWNER  
152 W. Jackson St.  
Chicago, Illinois 60604  
T 312.332.3006

NO.	ISSUED DATE	ISSUED FOR
1	2/15/16	Village Meeting
	2/19/16	Concept Pricing
	3/23/16	Planned Development
	4/29/16	PRT Response

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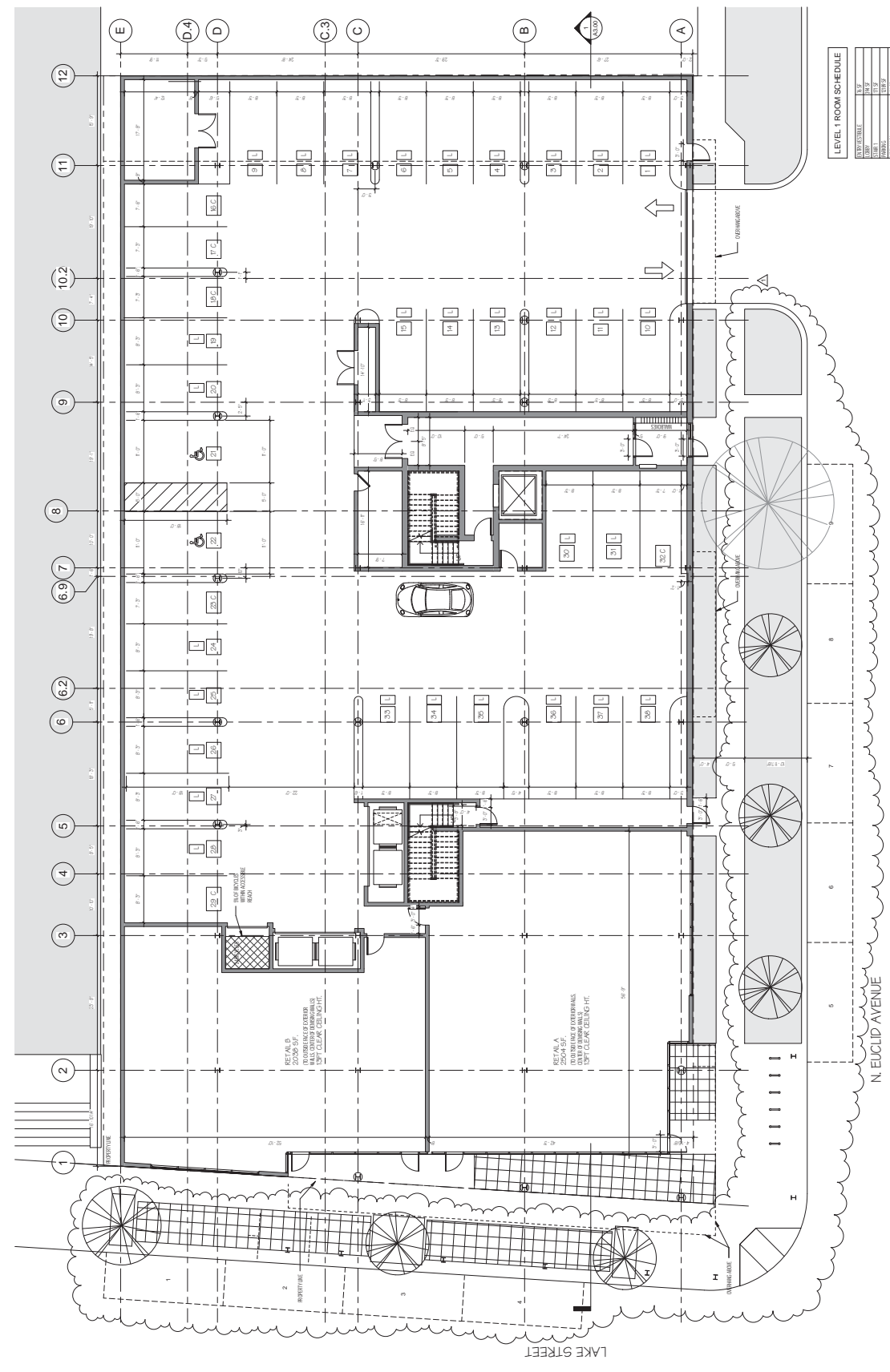
PROFESSIONAL SEAL

NOT FOR CONSTRUCTION

PROJECT  
DISTRICT HOUSE LLC  
708 LAKE STREET  
OAK PARK IL 60302

Project No. 1542  
Drawn By  
Checked By  
Drawing No. A1.01

Drawing Name  
LEVEL 1 PLAN

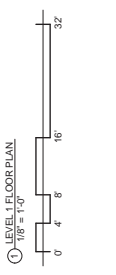


LEVEL 1 ROOM SCHEDULE

ROOM NO.	ROOM NAME	AREA
101	RECEPTION	15.9
102	OFFICE	15.9
103	OFFICE	15.9
104	OFFICE	15.9
105	OFFICE	15.9
106	OFFICE	15.9
107	OFFICE	15.9
108	OFFICE	15.9
109	OFFICE	15.9
110	OFFICE	15.9
111	OFFICE	15.9
112	OFFICE	15.9
113	OFFICE	15.9
114	OFFICE	15.9
115	OFFICE	15.9
116	OFFICE	15.9
117	OFFICE	15.9
118	OFFICE	15.9
119	OFFICE	15.9
120	OFFICE	15.9

ROOM AREA LEGEND

4489	RECEPTION	15.9
21805	OFFICE	15.9
15430	OFFICE	15.9
15431	OFFICE	15.9
15432	OFFICE	15.9
15433	OFFICE	15.9
15434	OFFICE	15.9
15435	OFFICE	15.9
15436	OFFICE	15.9
15437	OFFICE	15.9
15438	OFFICE	15.9
15439	OFFICE	15.9
15440	OFFICE	15.9
15441	OFFICE	15.9
15442	OFFICE	15.9
15443	OFFICE	15.9
15444	OFFICE	15.9
15445	OFFICE	15.9
15446	OFFICE	15.9
15447	OFFICE	15.9
15448	OFFICE	15.9
15449	OFFICE	15.9
15450	OFFICE	15.9

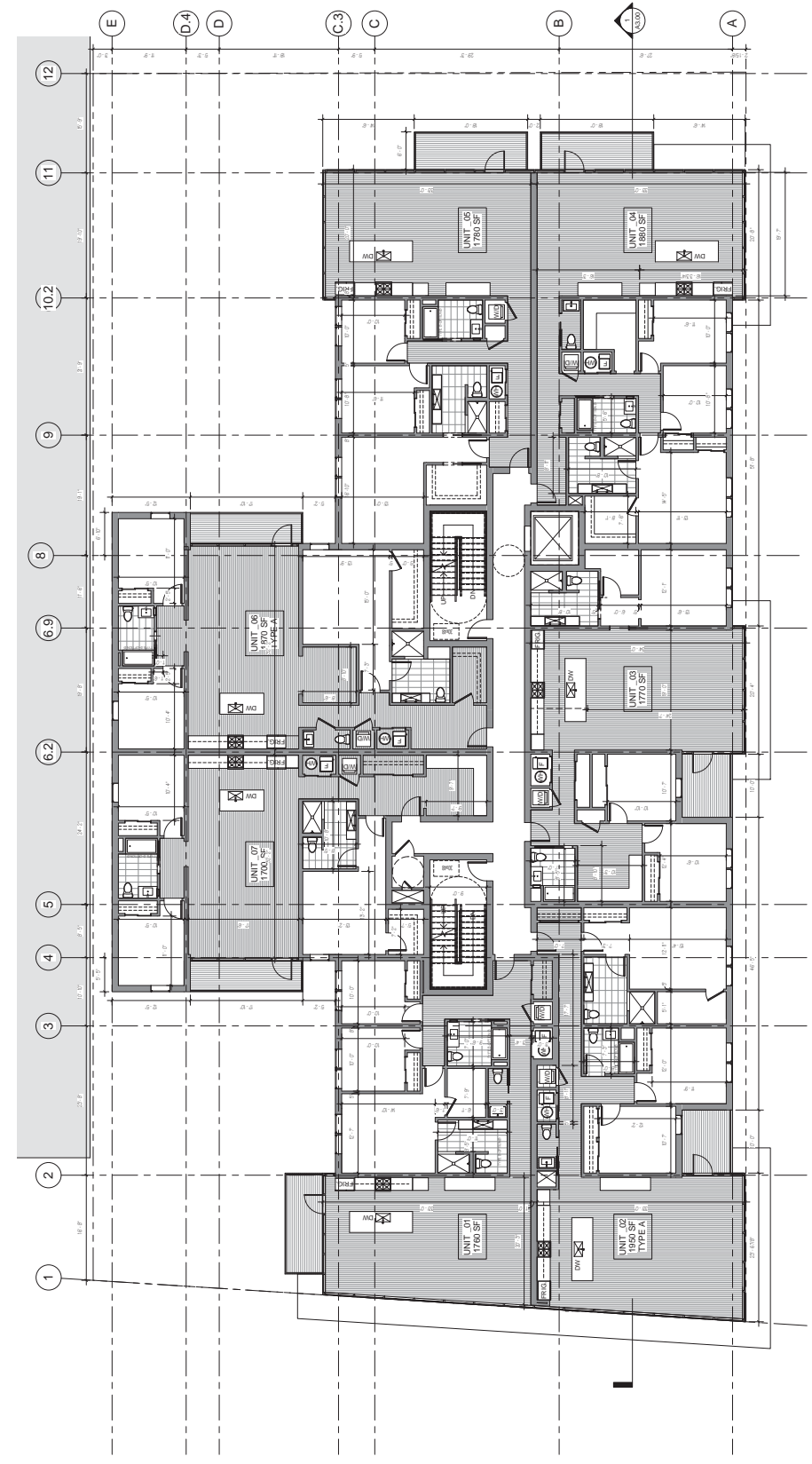


REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/15	ISSUED FOR PERMITS



<b>ARCHITECT</b> <b>NORTHWORKS</b> ARCHITECTS + PLANNERS 1512 N. Tripp Street Chicago, IL 60642 T 312.440.9800 F 312.440.9801 www.northworks.com		<b>ARCHITECT</b> <b>MILLER HULL</b> ARCHITECTS 71 LOANERS B. DR. #1 SUITE 100 SUITE, VA 20131 T 703.606.0020	
<b>OWNER</b> <b>DISTRICT HOUSE LLC</b> 708 LAKE STREET OAK PARK, IL 60302		<b>OWNER</b> <b>CAMPBELL COYLE</b> 152 W. Lake St. Suite 200 Chicago, Illinois 60604 T 773.292.5400 T 312.332.3006	
<b>NO.</b> 1542 <b>ISSUED FOR</b> Village Meeting <b>2/15/16</b> <b>2/19/16</b> Concept Pricing <b>2/24/16</b> Planned Development		<b>PROFESSIONAL SEAL</b> © 2015 Northworks, Architects & Planners - All rights reserved. No part of this drawing may be reproduced without the prior written consent of Northworks, Architects & Planners. Construction and installation to comply with applicable codes and regulations.	
NOT FOR CONSTRUCTION			
<b>PROJECT</b> <b>DISTRICT HOUSE LLC</b> 708 LAKE STREET OAK PARK, IL 60302		<b>Project No.</b> 1542 <b>Author</b> <b>Drawn By</b> <b>Checked By</b> <b>Drawing No.</b> A1.03	
<b>Drawing Name</b> LEVEL 3-5 PLAN			



KEYS

- CONTRACTOR SHALL VERIFY DIMENSIONS INDICATED BY FINISHES BEFORE PROCEEDING WITH CONSTRUCTION.
- REFER TO ARCHITECT'S NOTES FOR DIMENSIONS OF FINISH WALLS.

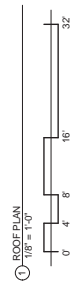
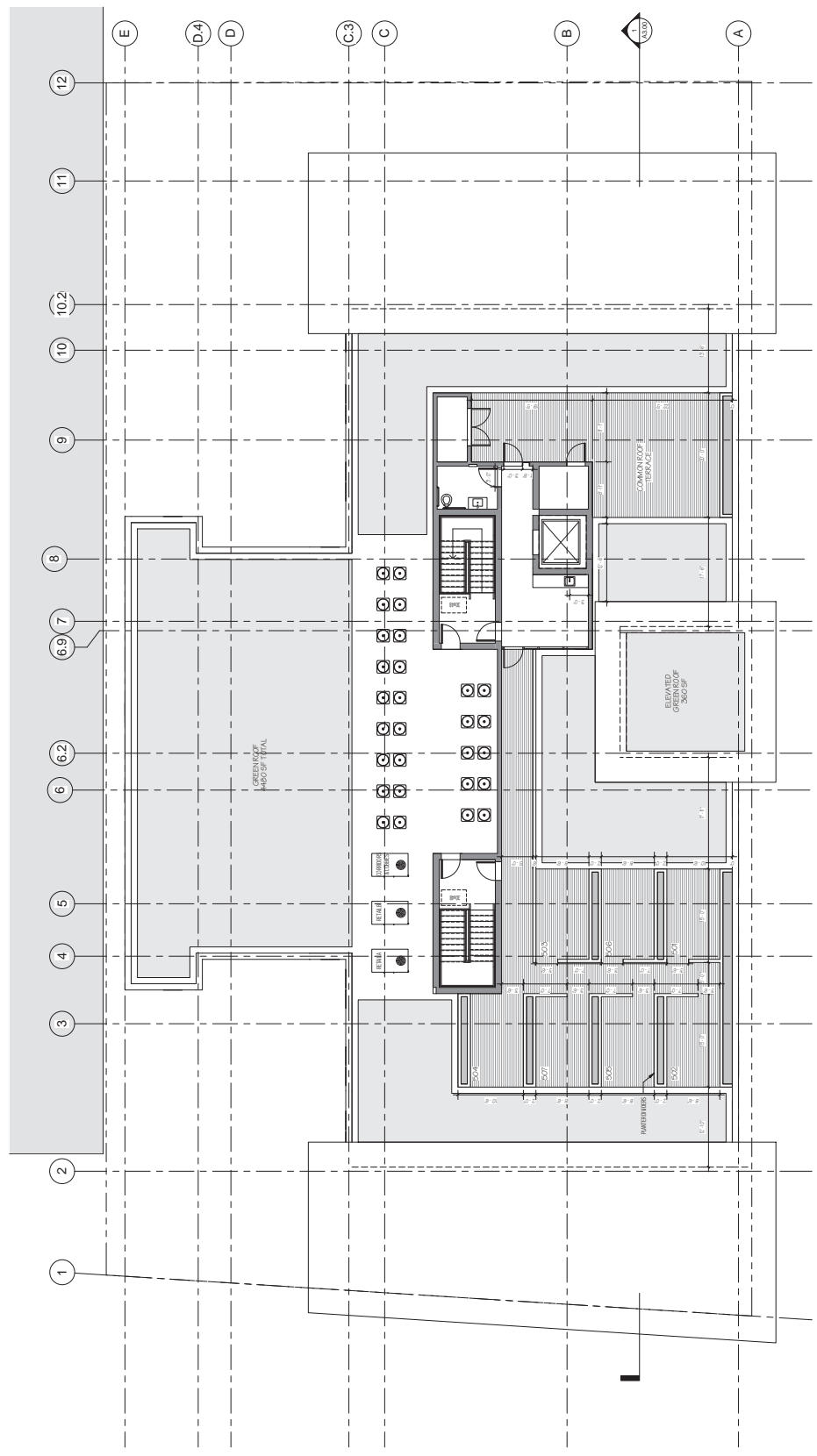
0' 4' 8' 16'  
 1" = 8'-0"  
 LEVEL 3-5 PLAN

**LEVEL 3-5 ROOM SCHEDULE - BY UNIT**

UNIT	ROOM	AREA	TYPE
01	0101	10.0	CL
01	0102	10.0	CL
01	0103	10.0	CL
01	0104	10.0	CL
01	0105	10.0	CL
01	0106	10.0	CL
01	0107	10.0	CL
01	0108	10.0	CL
01	0109	10.0	CL
01	0110	10.0	CL
01	0111	10.0	CL
01	0112	10.0	CL
01	0113	10.0	CL
01	0114	10.0	CL
01	0115	10.0	CL
01	0116	10.0	CL
01	0117	10.0	CL
01	0118	10.0	CL
01	0119	10.0	CL
01	0120	10.0	CL
01	0121	10.0	CL
01	0122	10.0	CL
01	0123	10.0	CL
01	0124	10.0	CL
01	0125	10.0	CL
01	0126	10.0	CL
01	0127	10.0	CL
01	0128	10.0	CL
01	0129	10.0	CL
01	0130	10.0	CL
01	0131	10.0	CL
01	0132	10.0	CL
01	0133	10.0	CL
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01	0179	10.0	CL
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01	0181	10.0	CL
01	0182	10.0	CL
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01	0189	10.0	CL
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01	0192	10.0	CL
01	0193	10.0	CL
01	0194	10.0	CL
01	0195	10.0	CL
01	0196	10.0	CL
01	0197	10.0	CL
01	0198	10.0	CL
01	0199	10.0	CL
01	0200	10.0	CL

NOTE: ROOMS ARE TO BE FINISHED AS SHOWN.

<b>NORTHWORKS</b> ARCHITECTS + PLANNERS 1512 N. Tripp Street Chicago, Illinois 60642 T 312-440-8800 F 312-440-8851 www.northworks.com		<b>MILLER HULL</b> ARCHITECTS 71 Columbia St. 9th Fl. Seattle, WA 98101 T 206-461-0222		<b>CAMPBELL COYLE</b> ARCHITECTS 150 W. Lake St. Suite 200 Chicago, Illinois 60604 T 773-292-1400 T 312-392-9006	
PROJECT: DISTRICT HOUSE LLC 708 LAKE STREET OAK PARK, IL 60302					
PROJECT NO. 1542 PROJECT NO. 1542 AUTHORITY: District House LLC CHECKED BY: [Signature] DRAWING NO. A1.04					
DRAWING NAME: ROOF PLAN					
ISSUED FOR: Village Meeting 2/15/16: Concept Pricing 2/19/16: Concept Pricing 2/24/16: Planned Development					
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PROFESSIONAL SEAL					
NOT FOR CONSTRUCTION					



ROOF ROOM SCHEDULE

NO.	ROOM	AREA	FINISH
01	MECH	15.2	CONC
02	MECH	15.2	CONC
03	MECH	15.2	CONC
04	MECH	15.2	CONC
05	MECH	15.2	CONC
06	MECH	15.2	CONC
07	MECH	15.2	CONC
08	MECH	15.2	CONC
09	MECH	15.2	CONC
10	MECH	15.2	CONC
11	MECH	15.2	CONC
12	MECH	15.2	CONC
13	MECH	15.2	CONC
14	MECH	15.2	CONC
15	MECH	15.2	CONC
16	MECH	15.2	CONC
17	MECH	15.2	CONC
18	MECH	15.2	CONC
19	MECH	15.2	CONC
20	MECH	15.2	CONC
21	MECH	15.2	CONC
22	MECH	15.2	CONC
23	MECH	15.2	CONC
24	MECH	15.2	CONC
25	MECH	15.2	CONC
26	MECH	15.2	CONC
27	MECH	15.2	CONC
28	MECH	15.2	CONC
29	MECH	15.2	CONC
30	MECH	15.2	CONC
31	MECH	15.2	CONC
32	MECH	15.2	CONC
33	MECH	15.2	CONC
34	MECH	15.2	CONC
35	MECH	15.2	CONC
36	MECH	15.2	CONC
37	MECH	15.2	CONC
38	MECH	15.2	CONC
39	MECH	15.2	CONC
40	MECH	15.2	CONC
41	MECH	15.2	CONC
42	MECH	15.2	CONC
43	MECH	15.2	CONC
44	MECH	15.2	CONC
45	MECH	15.2	CONC
46	MECH	15.2	CONC
47	MECH	15.2	CONC
48	MECH	15.2	CONC
49	MECH	15.2	CONC
50	MECH	15.2	CONC
51	MECH	15.2	CONC
52	MECH	15.2	CONC
53	MECH	15.2	CONC
54	MECH	15.2	CONC
55	MECH	15.2	CONC
56	MECH	15.2	CONC
57	MECH	15.2	CONC
58	MECH	15.2	CONC
59	MECH	15.2	CONC
60	MECH	15.2	CONC

NOTE: ROOMS ARE TO BE FINISHED TO FINISH OF WALLS





DISTRICT HOUSE

**SECTION 25.  
EXTERIOR LIGHTING PLAN**

**EXHIBIT 25.1: EXTERIOR LIGHTING PLAN**

- Exhibit 25.1: Exterior Lighting Plan

**ARCHITECT**  
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 www.nwks.com  
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 South, VA 20114  
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**OWNER**  
**CAMPBELL COYLE**  
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 Chicago, Illinois 60604  
 T 312.262.8206

**GENERAL NOTES - CONCEPT SITE LIGHTING**  
 1. MAXIMUM LIGHT LEVEL ONLY OCCURS DIRECTLY BELOW WALL MOUNTED DOWNLIGHTS. BUILDING LIGHTING WILL NOT BE CALCULATED FOR THIS PLAN. SEE RADIANT LIGHTING STANDARDS. SEE LIGHTING CALCULATIONS FOR MORE INFORMATION.

**NO. ISSUED DATE ISSUED FOR**  
 1 3/24/16 Planned Development  
 2 4/29/16 PRT Response

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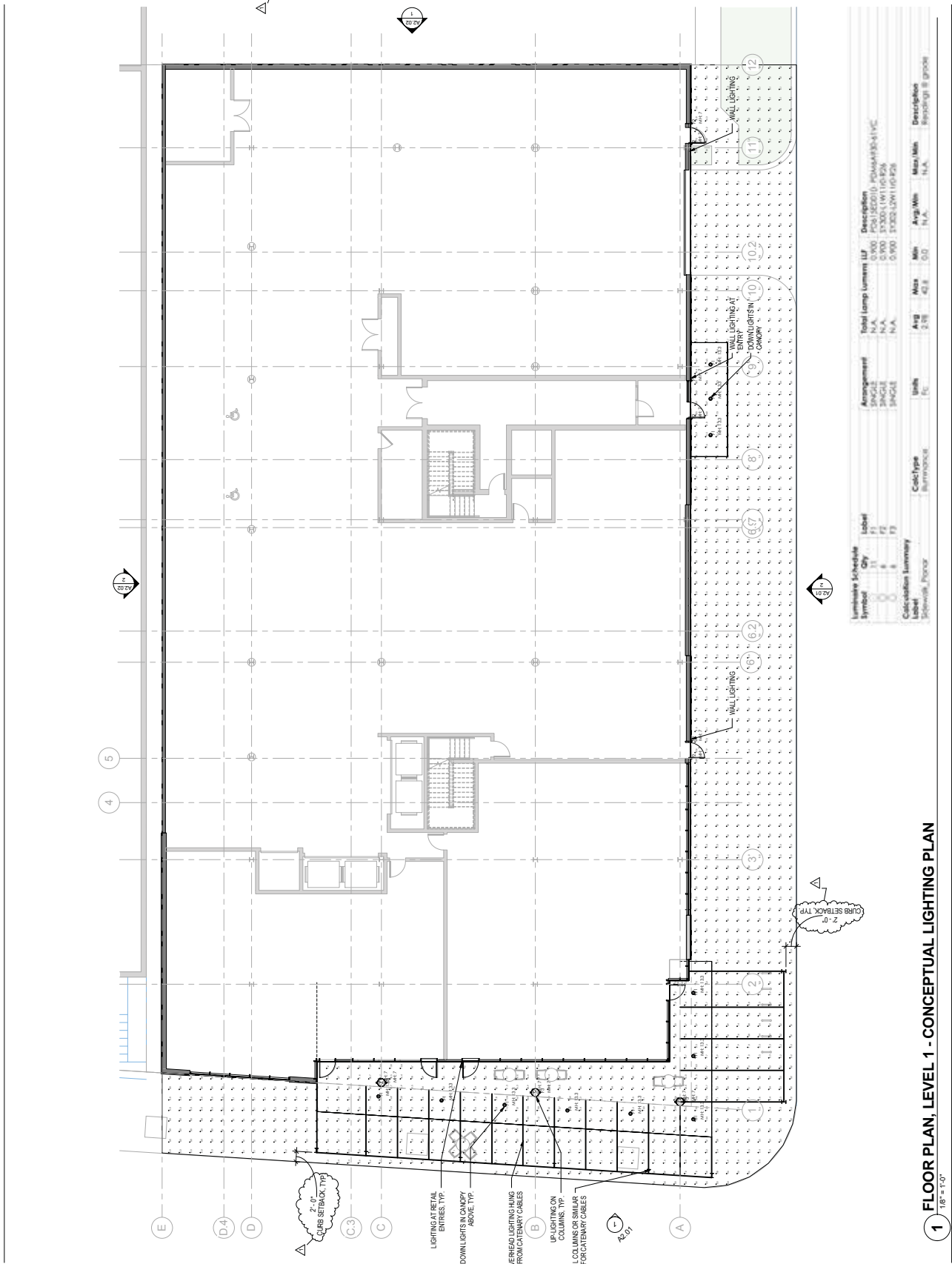
**PROFESSIONAL SEAL**

Project Status

**PROJECT**  
 708 LAKE STREET

Project No. 0800  
 Author  
 Drawn By  
 Checked By  
 Drawing No. G0.07

Drawing Name  
 CONCEPTUAL SITE LIGHTING PLAN



**1 FLOOR PLAN, LEVEL 1 - CONCEPTUAL LIGHTING PLAN**  
 1/8" = 1'-0"



DISTRICT HOUSE

**SECTION 26.  
SHADOW STUDY**

**EXHIBIT 26.1: SHADOW STUDY**

ARCHITECT

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ARCHITECTS + PLANNERS  
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Chicago, IL 60610  
www.nwfs.com

**MILLER HULL**  
71 Columbia St. 8th Fl.  
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**CONTRACTOR**  
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Chicago, Illinois 60614  
T 773-262-1400

**CAMPBELL COYLE**  
152 W. Belmont St.  
Chicago, Illinois 60604  
T 312-282-8206

NO.	ISSUED DATE	ISSUED FOR
1	2/15/16	Village Meeting
2	2/18/16	Concept Pricing
3	3/24/16	Planned Development

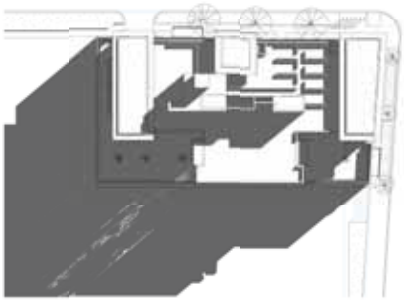
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PROFESSIONAL SEAL  
  
  
  
  
  
  
  
  
  
  
  
  
Project Status

PROJECT  
  
  
  
  
  
  
  
  
  
  
  
  
708 LAKE STREET

0800 Project No.  
Author  
Drawn By  
Checked By  
North

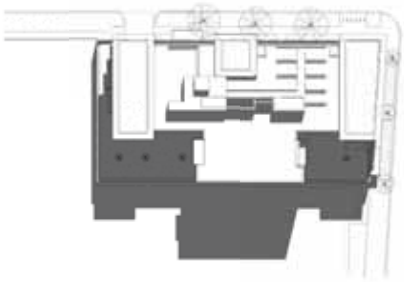
GO.06  
  
  
  
  
  
  
  
  
  
  
  
  
Drawing Name  
SITE SUN STUDY



SITE PLAN - DECEMBER 21, 9AM



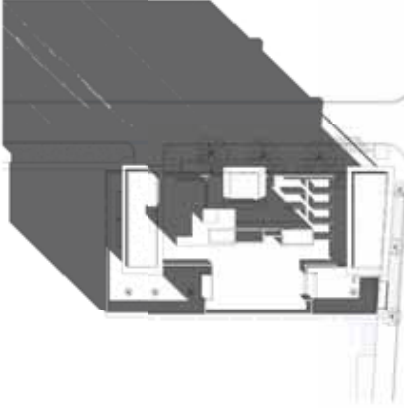
SITE PLAN - MARCH 20, 9AM



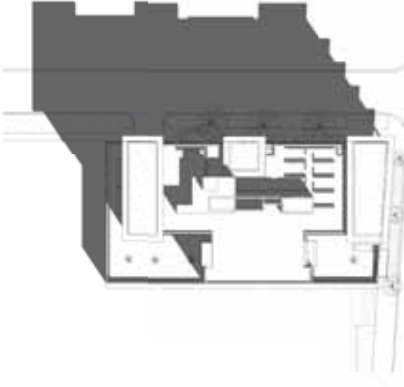
SITE PLAN - JUNE 21, 9AM



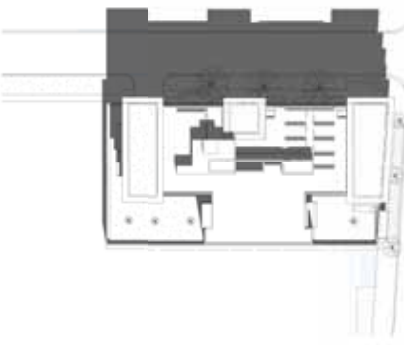
SITE PLAN - SEPTEMBER 22, 9AM



SITE PLAN - DECEMBER 21, 3PM



SITE PLAN - MARCH 20, 3PM



SITE PLAN - JUNE 21, 3PM



SITE PLAN - SEPTEMBER 22, 3PM



DISTRICT HOUSE

**SECTION 27.  
PRELIMINARY ENGINEERING PLAN**

**EXHIBIT 27.1: PRELIMINARY ENGINEERING PLAN**

- Exhibit 27.1: Preliminary Engineering Plan

# PROPOSED 5 STORY MIXED USED BUILDING 708 LAKE STREET, OAK PARK, COOK COUNTY, IL

- DRAWING INDEX:
1. GENERAL NOTES, LEGEND, SITE LOCATION, & AERIAL MAP TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
  2. EXISTING TOPOGRAPHY, EXISTING TOPOGRAPHY
  3. DEMOLITION & EROSION CONTROL PLAN/DEMOLITION & EROSION CONTROL PLAN
  4. UTILITIES PLAN, UTILITIES PLAN
  5. GEOMETRIC PLAN & BORING LOCATIONS - OVERALL SITE/GEOMETRIC PLAN & BORING LOCATIONS - OVERALL SITE

SITE LOCATION MAP



AERIAL MAP



NOTE

The location of existing underground utilities, such as water, gas, sewer, and telecommunications, has not been determined from the best available information and is given for the convenience of the Contractor. However, the Contractor shall verify the location of all utilities prior to any event that during construction, utilities other than those shown on the plans, are encountered, and that the actual location of those utilities may be different from the location as shown on the plans.

Bone Consulting, Inc. is not responsible for the safety of any performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in construction activities. The undersigned, as a Certified Structural Specialist of the Judicial Authority shall apply to the construction on this project.

NOTE: The seal number of all utilities shown on this plan are for informational purposes only.  
J. J. L. L. L. E. L. (604) 695-9423

THE SOUTH 75 FEET OF LOT 4 (EXCEPT THE WEST 100 FEET THEREOF) AND ALL OF LOT 5 (EXCEPT THE WEST 100 FEET THEREOF) IN BLOCK 1 IN SCOVILLE'S SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

KNOWN AS: 708 LAKE STREET, OAK PARK, ILLINOIS  
PERMANENT INDEX NUMBER: 16 - 07 - 218 - 029 - 0000  
AREA = 20,164 SQ. FT. OR 0.462 ACRE

1. I, HEREBY CERTIFY, THAT THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY AFFECT THE PUBLIC RIGHT-OF-WAY WITH RESPECT TO EXISTING UTILITIES, AND THAT A SAFE OVERFLOW ROUTE HAS BEEN ESTABLISHED.
2. I, HEREBY CERTIFY, THAT THE BASIS OF MY KNOWLEDGE OF THE PROPOSED AREAS BASED ON THE INFORMATION FROM THE FEMA MAPS.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

REFERENCE BENCHMARK

DESCRIPTION: ADJUSTED FLANGE BOLT ON FIRE HYDRANT AT NORTHWEST CORNER OF LINCOLN AVENUE AND LAKE STREET (PROVIDED BY VILLAGE OF OAK PARK) CUT CROSS NOTCH

EL = 43.30 (VILLAGE DATUM)

DESCRIPTION: SOUTH-EAST BOLT ON FIRE HYDRANT AT SOUTHWEST CORNER OF LINCOLN AVENUE AND LAKE STREET (PROVIDED BY VILLAGE OF OAK PARK) CUT CROSS NOTCH

EL = 43.88 (VILLAGE DATUM)

CONTROL POINTS:  
145 1902897.21 1130920.14 43.13 1099X  
150 1892823.57 1131804.89 44.77 1099X  
155 1892858.48 1131916.50 45.10 1099X  
STREET ABOUT 5 FT. EASTERN OF THE EAST ASH ABOUT 0.5 FEET NORTH OF THE BACK OF CURB.  
CP #149 IS IN THE TOP OF CURB AT THE SOUTHWEST CORNER OF EUCLID AVENUE AND LAKE STREET AT THE EASTERN END OF SECTION 7 NORTH OF THE LIGHT PALE.

CP # 149 IS IN THE TOP OF CURB AT THE NORTH-EAST SIDE OF SECTION 7 NORTH OF THE LIGHT PALE.  
CP # 150 IS IN THE TOP OF CURB AT THE WEST END OF SECTION 7, WESTERLY OF A CATCH BASIN.  
ALL ARE CUT CROSSSES.

LEGEND

PROPERTY LINE	ASBESTOS
Property Line	Asbestos
Survey Street Line	
Water Line	
Storm Sewer Line	
Storm Manhole	
Survey Manhole	
Combined Manhole	
Cast Iron	
Water Valve Vault	
Gas	
Gravel	
Drainage Ditch	
Clack & Solder	
Channel	
Downspout (Roof Drains)	
Water B. Box	
Tree Protection Fence	
Construction Fence	
Post Hole Marker	
Utility Construction Parameters	
Walk	
Fire Hydrant	
Top of Curb	
Bottom of Curb	
Bottom of Center	
Bottom of Outer	
Walk	
Bottom of Area	
Bottom of Center	
Bottom of Outer	
Available Curb	
Bottom of Center	
Bottom of Outer	

NOT FOR CONSTRUCTION

PROJECT  
DISTRICT HOUSE

708 LAKE STREET  
OAK PARK, IL 60302

1542 Project No.  
B. BOND Drawn By  
C. COYLE Checked By  
Drawing No.

C0.01

Drawing Name  
TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP

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**MILLER HULL**  
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**PROFESSIONAL ENGINEER**  
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Chicago, Illinois 60611  
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**CAMPBELL COYLE**  
152 W. Marion St.  
Chicago, Illinois 60604  
T 312.282.8306

NO.	ISSUED DATE	ISSUED FOR
1	4/27/16	Planned Development
		PRT RESPONSE

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ARCHITECT



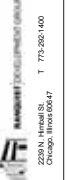
512 N. Tripp Street  
Chicago, IL 60642  
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ARCHITECT



71 Columbia St. 9th Fl.  
Seattle, WA 98104

OWNER



2289 N. Harvard St.  
Chicago, Illinois 60641

OWNER



152 W. Maroon St.  
Chicago, Illinois 60604

NO.	ISSUED DATE	ISSUED FOR
1	3/24/15	Planned Development
	4/29/16	PRT RESPONSE

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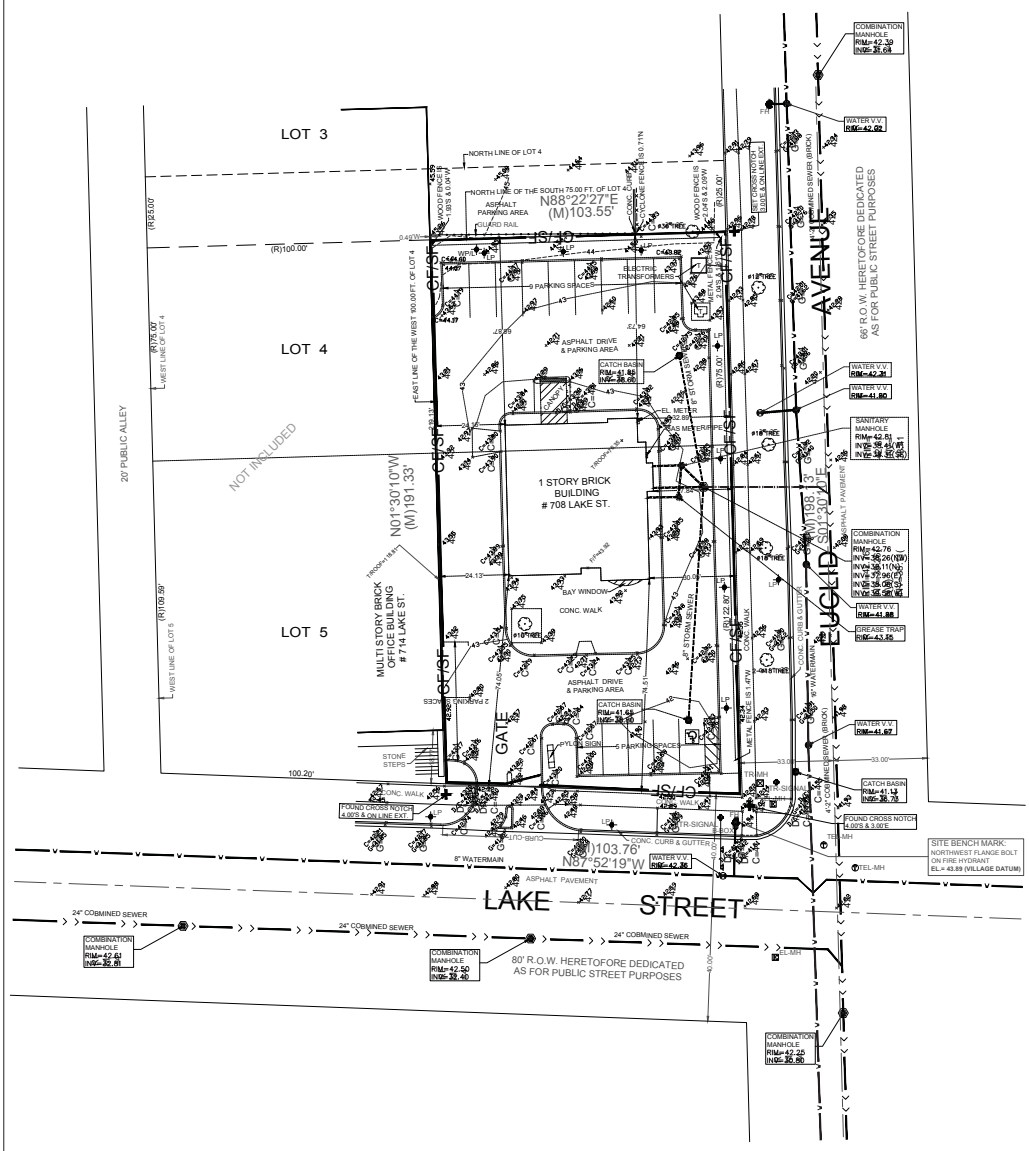
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PROJECT  
DISTRICT HOUSE  
708 LAKE STREET  
DINK PARK, IL 60602

PROJECT No.  
1542  
Drawn By  
B. BOND  
Checked By  
North

Drawing No.  
**C0.02**

Drawing Name  
EXISTING TOPOGRAPHY



LOT 3

LOT 4

LOT 5

20' PUBLIC ALLEY

1 STORY BRICK BUILDING # 708 LAKE ST.

LAKE STREET

BUCKLE UP AVENUE

COMBINATION MANHOLE  
RM=42.39  
IN=37.08

WATER V.V.  
RM=42.21  
IN=41.80

SANITARY MANHOLE  
RM=42.43  
IN=37.08  
IN=37.30

COMBINATION MANHOLE  
RM=42.76  
IN=38.11  
IN=37.08  
IN=38.08  
IN=37.30

WATER V.V.  
RM=41.88

WATER V.V.  
RM=41.67

CATCH BASIN  
RM=41.14  
IN=35.76

FRONT LINES NOTED  
ELEV=43.89

SITE BENCHMARK:  
NORTHWEST FLANGE BOLT  
ON FIRE HYDRANT  
E.L.= 43.89 (VILLAGE DATUM)

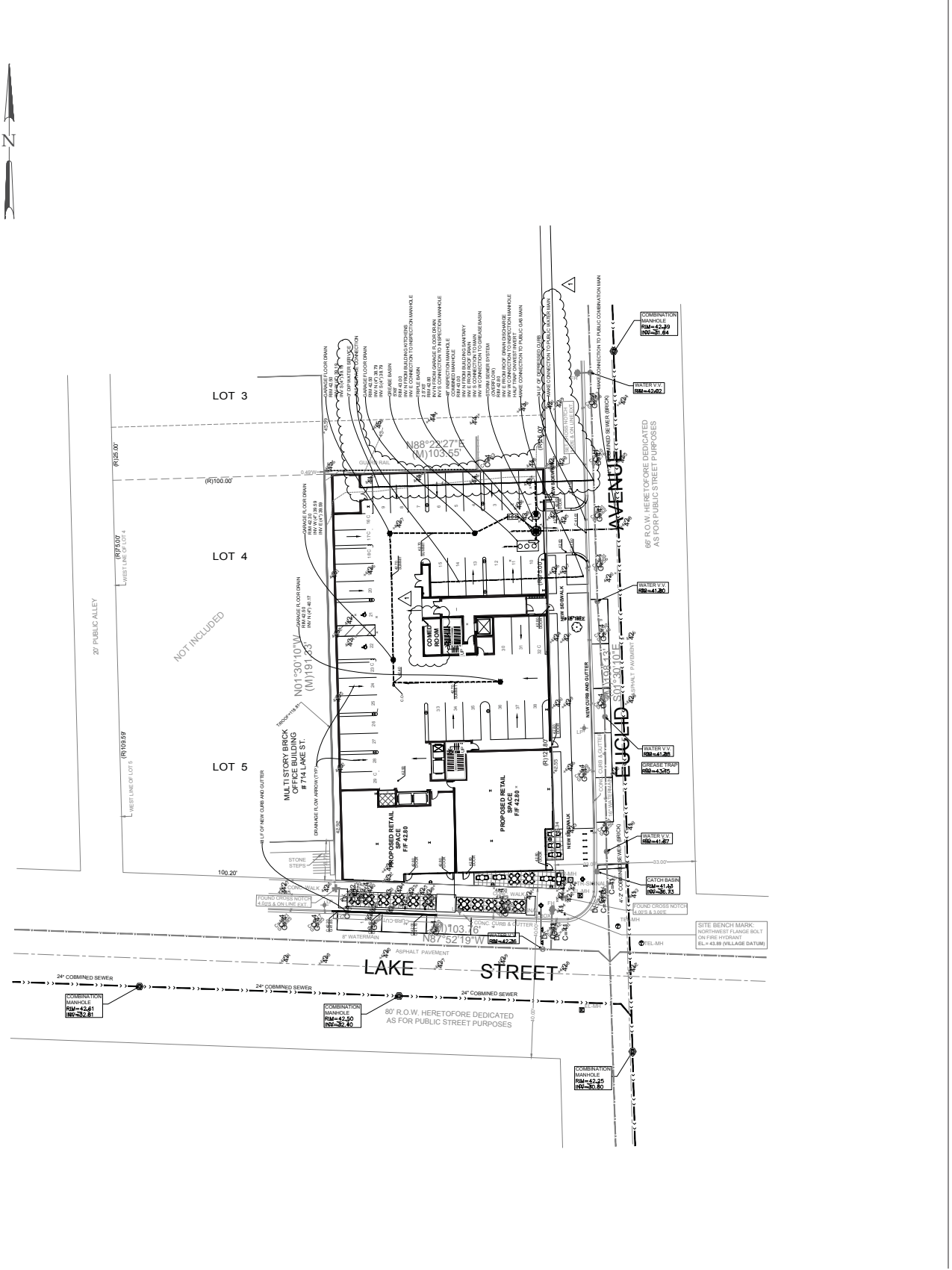
80' R.O.W. HERETOFORE DEDICATED  
AS FOR PUBLIC STREET PURPOSES







<b>ARCHITECT</b> <b>NORTHWORKS</b> ARCHITECTS + PLANNERS 1512 N. Tripp Street Chicago, IL 60642 P 312.440.9600 F 312.440.9657 www.nwpa.com	
<b>ARCHITECT</b> <b>MILLER HULL</b> 71 CAMPBELL BL, 6TH FL. SMITH, VA 05104 T. 206.692.6337	
<b>OWNER</b> <b>MANAGEMENT PROFESSIONAL SERVICES</b> 2209 N. Harvard St. Chicago, Illinois 60647 T. 773.292.1400	
<b>OWNER</b> <b>CAMPBELL COYLE</b> 152 W. Jackson St. Chicago, Illinois 60604 T. 312.282.8006	
<b>NO. ISSUED DATE</b> <b>ISSUED FOR</b> 1    4/29/16    Planned Development 4/29/16    PRT RESPONSE	
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<b>PROJECT</b> DISTRICT HOUSE 708 LAKE STREET OAK PARK, IL 60302	
Project No. 1542 Drawn By M. BALLOW Checked By B. BOND	
Drawing No. <b>CO.04</b>	
Drawing Name <b>PROPOSED GRADING UTILITY PLAN</b> <b>OVERALL SITE</b>	



NO.	ISSUED DATE	ISSUED FOR
1	4/29/16	Planned Development
	4/29/16	PRT RESPONSE

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**PROJECT**  
DISTRICT HOUSE  
708 LAKE STREET  
OAK PARK, IL 60302

Project No. 1542  
Drawn By M. BALLOW  
Checked By B. BOND

Drawing No. **CO.04**

Drawing Name  
**PROPOSED GRADING UTILITY PLAN**  
**OVERALL SITE**

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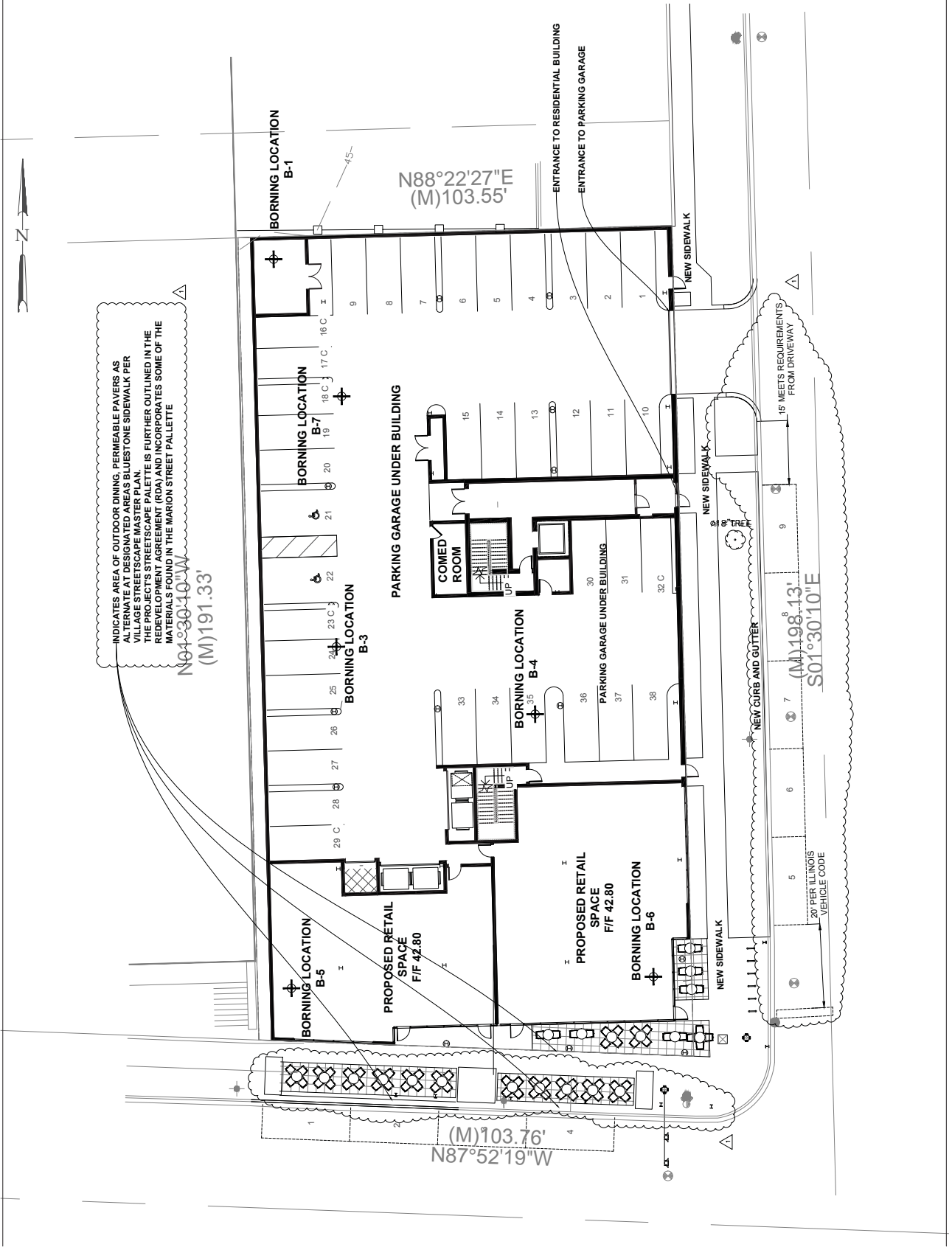
NO.	ISSUED DATE	ISSUED FOR
1	3/24/15	Planned Development
1	4/29/16	PRT RESPONSE

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PROJECT  
**DISTRICT HOUSE**  
 708 LAKE STREET  
 OAK PARK, IL 60302  
 PROJECT NO.  
 1542  
 DRAWN BY  
 B. BOND  
 CHECKED BY  
 B. BOND  
 DRAWING NO.  
**C0.05**

Drawing Name  
**GEOMETRIC PLAN AND BORING LOCATIONS**



INDICATES AREA OF OUTDOOR DINING, PERMEABLE PAVERS AS ALTERNATE AT DESIGNATED AREAS BLUESTONE SIDEWALK PER VILLAGE STREETSCAPE MASTER PLAN. THE PROJECT'S STREETSCAPE PALETTE IS FURTHER OUTLINED IN THE PROJECT'S STREETSCAPE PALETTE (R) AND INCORPORATES SOME OF THE ELEMENTS FOUND IN THE MARION STREET PALETTE METERS FOUND IN THE MARION STREET PALETTE

N04°30'10" W  
 (M)191.33'

15' MEETS REQUIREMENTS FROM DRIVEWAY

(M)198.13'  
 S01°30'10" E

20' PER ILLINOIS VEHICLE CODE

(M)103.76'  
 N87°52'19" W

N88°22'27" E  
 (M)103.55'



**SECTION 28.  
GREATER DOWNTOWN MODEL**

The Project falls within the Greater Downtown TIF area, and the Project Team commits to purchasing a simplistic, to-scale, three-dimensional model of the development. The Project Team will also provide an electronic three-dimensional model developed in Sketch-Up (or another acceptable format approved by the Village of Oak Park). The models will be provided once the Project's design has been finalized. The Project Team requests a list of approved vendors for the three-dimensional model from the Village of Oak Park.

Section 28. Greater Downtown Model does not include any exhibits.



## **SECTION 29. ENERGY ANALYSIS**

### **EXHIBIT 29.1: DILIGENT DESIGN GROUP INC. (DDG) GEOTHERMAL VIABILITY LETTER**

Pursuant to the Project Team's discussion with the Village of Oak Park on January 29, 2016 and March 4, 2016, the Project Team commits to completing an energy analysis as required for LEED certification. This energy analysis will be completed and submitted once the Project's design is advanced, a LEED consultant is fully engaged and energy efficiency targets are jointly established with the architects, contractor and MEP consultant. Providing this information prematurely will result in duplication of the costs necessary to complete the energy analysis.

The Project Team has submitted a letter in lieu of the life-cycle energy analysis incorporating a geothermal system, following the requested waiver to this requirement on January 29, 2016, re-confirming that request on March 4, 2016. Given significant site constraints, a geothermal system will be difficult to maintain. The size of the site is less than one-half acre and the proposed building encompasses the entire site area. Further, the operating challenges associated with geothermal may present marketability issues for the residential units and retail tenants.

- Diligent Design Group Inc. (DDG) Geothermal Viability Letter (dated March 23, 2016)



March 23, 2016

Village of Oak Park  
123 Madison Street  
Oak Park, Illinois 60302

Re: District House Geothermal Viability

To Whom It May Concern:

The District House development team has requested that we comment on the viability of geothermal for the proposed project located at the northwest corner of Lake Street and Euclid Avenue.

The proposed building encompasses the entire site area requiring a potential geothermal system to be installed entirely under the building's footprint. Installation below the footprint of the building presents risk associated with access to the system. Should any part of the well system become damaged repair would require access to or abandonment of the piping beneath the parking garage slab, potentially incurring a significant and prolonged disturbance to the businesses and residents above.

According to the development team, the outlined risks may present marketability issues for the residential units and retail tenants. Moreover, prolonged disturbances may trigger termination rights under anticipated retail lease provisions. As a result, we support the District House development team's desire to pursue more conventional building systems.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Cohen', is written over a horizontal line.

Daniel Cohen, PE, ASHRAE BEMP, LEED AP  
Diligent Design Group Inc.



DISTRICT HOUSE

**SECTION 30.  
HISTORICALLY SIGNIFICANT PROPERTIES**

The subject site does not include structures that are of historical significance as determined by any Village historic preservation district or as identified in any plan or study. At a meeting schedule January 29, 2016, the Village of Oak Park confirmed that the proposed development does not include any historic structures and is therefore exempt from this Planned Development requirement.

Section 30. Historically Significant Properties does not include any exhibits.



## **SECTION 31. LEED REQUIREMENTS**

The Project Team commits to registering with the U.S. Green Building Council in conjunction with the acquisition of the subject site and the commencement of construction. LEED certification will be pursued through the LEED for Homes program. In addition, the Project Team commits to engaging a LEED consultant as the Project's design advances. The LEED consultant will help facilitate the LEED certification process. Collectively, the Project Team will seek to maximize the Project's energy efficiency and to meet or exceed its sustainability objectives.

The Project Team formally requested a waiver to the bond requirement at a meeting with the Village of Oak Park scheduled January 29, 2016, re-confirming the request on March 4, 2016. Development entities are not well suited to provide performance bonds without substantial costs, financial audits and other qualification requirements.

Despite the request for the waiver, the Project Team is deeply committed to achieving its sustainability objectives. The team is particularly well suited to meet or exceed its sustainability objectives, blending practical experience with specific design elements to enhance this Project's performance:

- Seattle-based Miller Hull, the project's design architect, is renowned for sustainable design, most recently serving as the architect for the Bullitt Center, widely credited as the greenest commercial building in the world.
- The project's exterior design incorporates key horizontal design elements, a symbolic nod to the prairie style, but this design features serves a functional purpose as sun shades, helping the building achieve its energy efficiency goals.
- Campbell Coyle recently completed one of the most sustainable private sector developments in the City of Chicago, achieving five LEED certifications, including one platinum level certification (with one additional platinum level certification anticipated).

Section 31. LEED Requirements does not include any exhibits.



DISTRICT HOUSE

**SECTION 32.  
RECORDATION**

**EXHIBIT 32.1: STATEMENT REGARDING RECORDATION**

- Statement Regarding Recordation (dated March 21, 2016)





March 21, 2016

Village of Oak Park  
123 Madison Street  
Oak Park, Illinois 60302

RE: Recordation of Planned Development Ordinance for District House

Dear Village of Oak Park:

The undersigned Applicant does hereby acknowledge responsibility to record a certified copy of the zoning ordinance granting the planned development permit with the Cook County Recorder of Deeds. The Applicant is to provide evidence of said recording to the Village within (30) days in the event the proposed planned development is approved by the Village Board.

Thank you for your time and consideration.

Respectfully,

District House LLC,  
an Illinois limited liability company

By: Ranquist Partners II LLC,  
an Illinois limited liability company,  
its Managing Member

A handwritten signature in black ink, appearing to read 'Chris Dillion', is written over a faint signature line.

Christopher S. Dillion



DISTRICT HOUSE

ARTFUL URBAN RESIDENCES